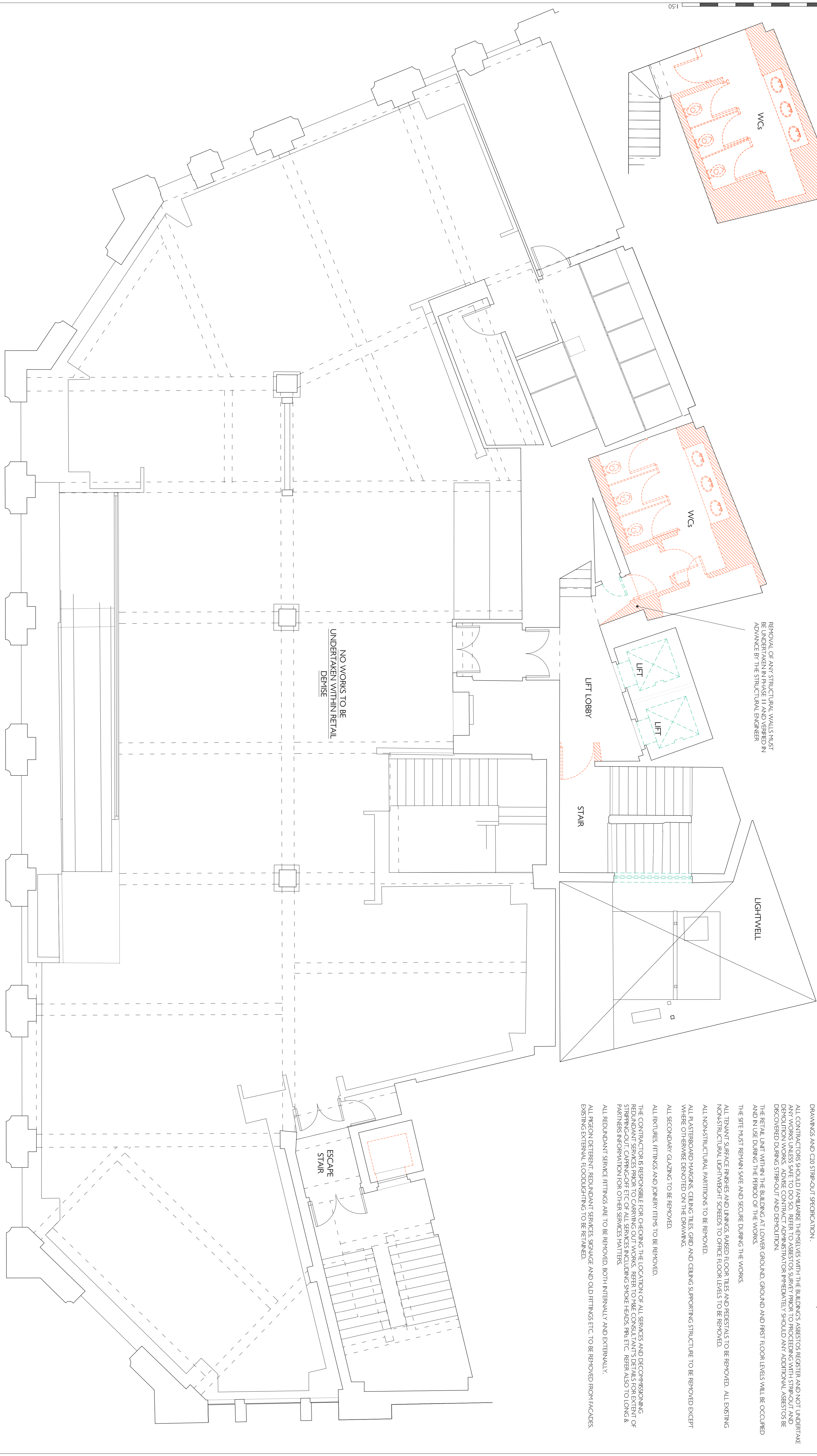


TOILETS @ LEVEL 33.01



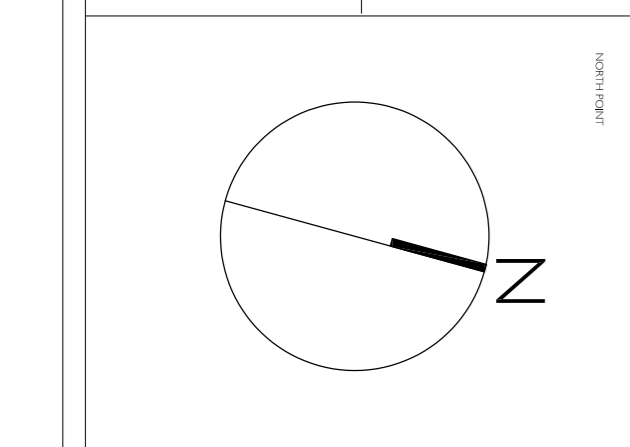
REMOVAL OF ANY STRUCTURAL WALLS MUST BE UNDERTAKEN IN PHASE 11 AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER

NO WORKS TO BE UNDERTAKEN WITHIN RETAIL DEMISE

GENERAL NOTES:
 THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND CDD STRIP-OUT SPECIFICATION.
 ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDINGS ASBESTOS REGISTER AND NOT UNDERTAKE ANY WORKS UNLESS SAFE TO DO SO. REFER TO ASBESTOS SURVEY PRIOR TO PROCEEDING WITH STRIP-OUT AND DEMOLITION WORKS. ADVISE CONTRACT ADMINISTRATOR IMMEDIATELY SHOULD ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.
 THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND, GROUND AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.
 THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.
 ALL TENANT SURFACE FINISHES AND LININGS, PAVED FLOOR TILES AND PEDESTALS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHTWEIGHT SCREEDS TO OFFICE FLOOR LEVELS TO BE REMOVED.
 ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.
 ALL PLASTERBOARD MARGINS, CEILING TILES, GRID AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DENOTED ON THE DRAWING.
 ALL SECONDARY GLAZING TO BE REMOVED.
 ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.
 THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING REDUNDANT SERVICES PRIOR TO STARTING STRIP-OUT WORKS. REFER TO PEARL CONSULTANT'S DETAILS FOR EXTENT OF SERVICES TO BE REMOVED. REFER TO PEARL CONSULTANT'S DETAILS FOR EXTENT OF SERVICES TO BE RETAINED FOR PARTNERS INCORPORATION FOR OTHER SERVICES MATTERS.
 ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.
 ALL PIGEON DETERRENT, REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC. TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.

- GENERAL NOTES**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY THE SURVEYORS
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE WRITTEN AGREEMENT OF THE ARCHITECT.

- SOFT STRIP PHASE ONE WORKS:**
- Demolition
 - Full extent of non-structural build-up to be demolished maybe unknown and site determined.
- MAIN CONTRACT DEMOLITION PHASE TWO WORKS:**
- Demolition
 - Full extent of existing construction to be demolished maybe unknown and site determined.



NO.	REVISION
1	ISSUE FOR PLANNING SUBMISSION

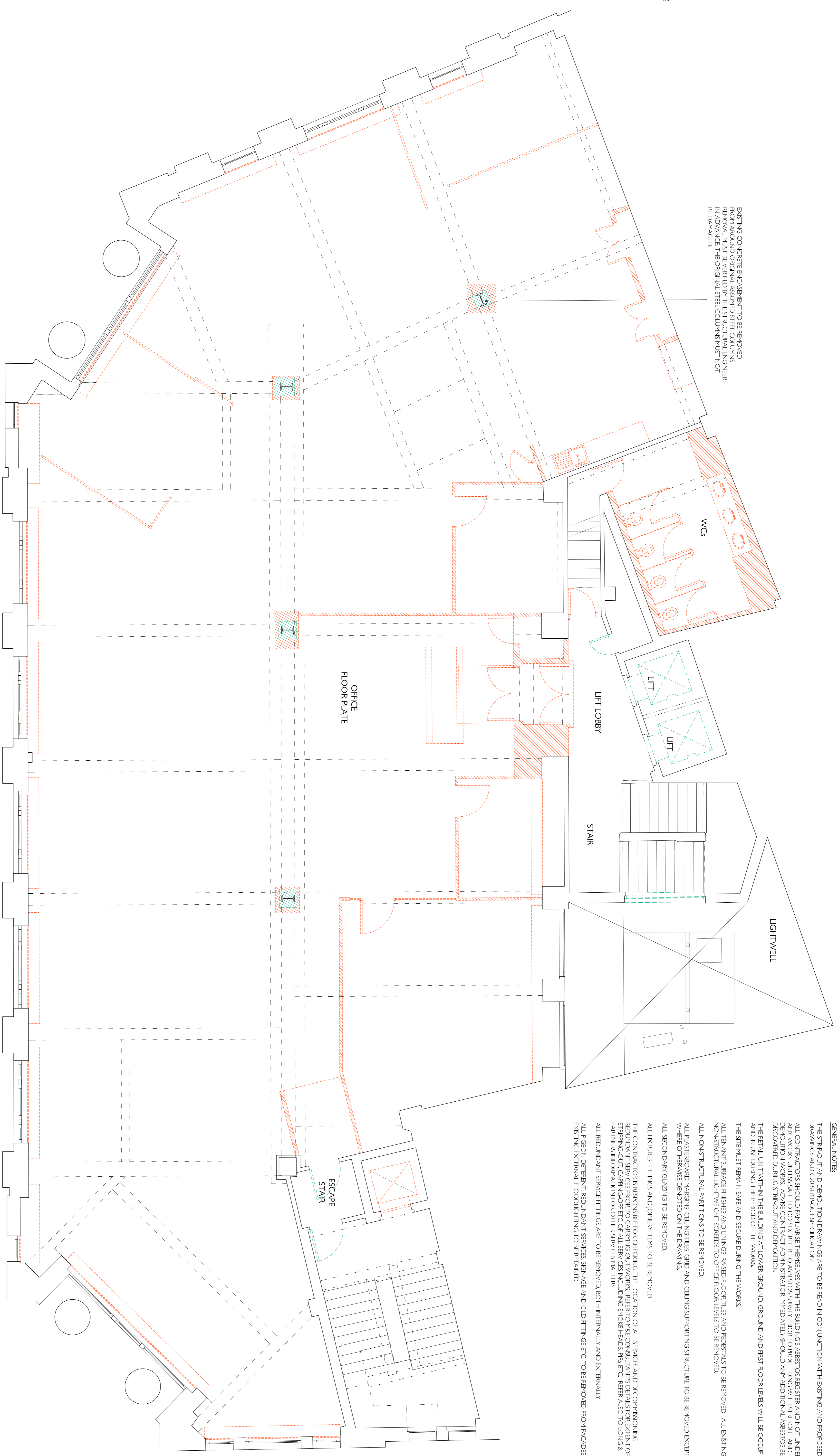
NO.	REVISION
1	ISSUE FOR PLANNING SUBMISSION

TREHEARNE ARCHITECTS
 170, CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON
 W14 7NS

**FIRST FLOOR PLAN
 STRIP OUT & DEMOLITION**

DATE: 06.16
 DRAWN BY: L1665
 CHECKED BY: L1665
 PROJECT NO: 1308A1
 DRAWING NO: L1665
 SCALE: 1:50

EXISTING CONCRETE ENCASMENT TO BE REMOVED FROM AROUND ORIGINAL ASSUMED STEEL COLUMNS. REMOVAL MUST BE VERIFIED BY THE STRUCTURAL ENGINEER IN ADVANCE. THE ORIGINAL STEEL COLUMNS MUST NOT BE DAMAGED.



GENERAL NOTES:

THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND C20 STRIP-OUT SPECIFICATION.

ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDINGS ASBESTOS REGISTER AND NOT UNDERTAKE ANY WORKS UNLESS SAFE TO DO SO. REFER TO ASBESTOS SURVEY RISK TO PROCEEDING WITH STRIP-OUT AND DEMOLITION WORKS. ADVISE CONTRACT ADMINISTRATOR IMMEDIATELY SHOULD ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.

THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND LEVEL AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.

THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.

ALL TENANT SURFACE FINISHES AND LININGS, BARED FLOOR TILES AND PEDESTALS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHTWEIGHT SCREDS TO OFFICE FLOOR LEVELS TO BE REMOVED.

ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.

ALL PLASTERBOARD MARGINS, CEILING TILES, GRID AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DENOTED ON THE DRAWING.

ALL SECONDARY GLAZING TO BE REMOVED.

ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.

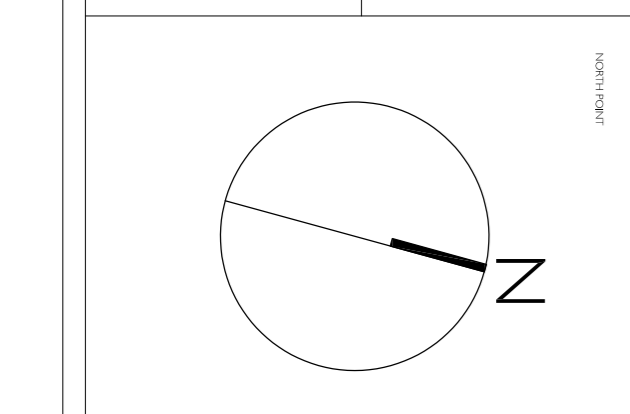
THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING REDUNDANT SERVICES PRIOR TO CARRYING OUT WORKS. REFER TO THE CONSULTANT'S DETAIL FOR EXISTING STRIP-OUT FITTINGS, CABINETS ETC OF ALL SERVICES INCLUDING SMOKE HEADS, PIRs ETC. REFER ALSO TO LONG & PARTNERS INFORMATION FOR OTHER SERVICES MATTERS.

ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.

ALL PIGEON DETERRENT, REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC. TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.

- GENERAL NOTES:**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY REPUTABLE SURVEYORS
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THE DRAWINGS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

- SOFT STRIP PHASE ONE WORKS:**
- Demolition
 - Full extent of non-structural build-up to be demolished maybe unknown and site determined.
- MAIN CONTRACT DEMOLITION PHASE TWO WORKS:**
- Demolition
 - Full extent of existing construction to be demolished maybe unknown and site determined.



REVISIONS

NO.	DATE	DESCRIPTION
1	17/04/16	RFP PLANNING SUBMISSION

TREHEARNE ARCHITECTS

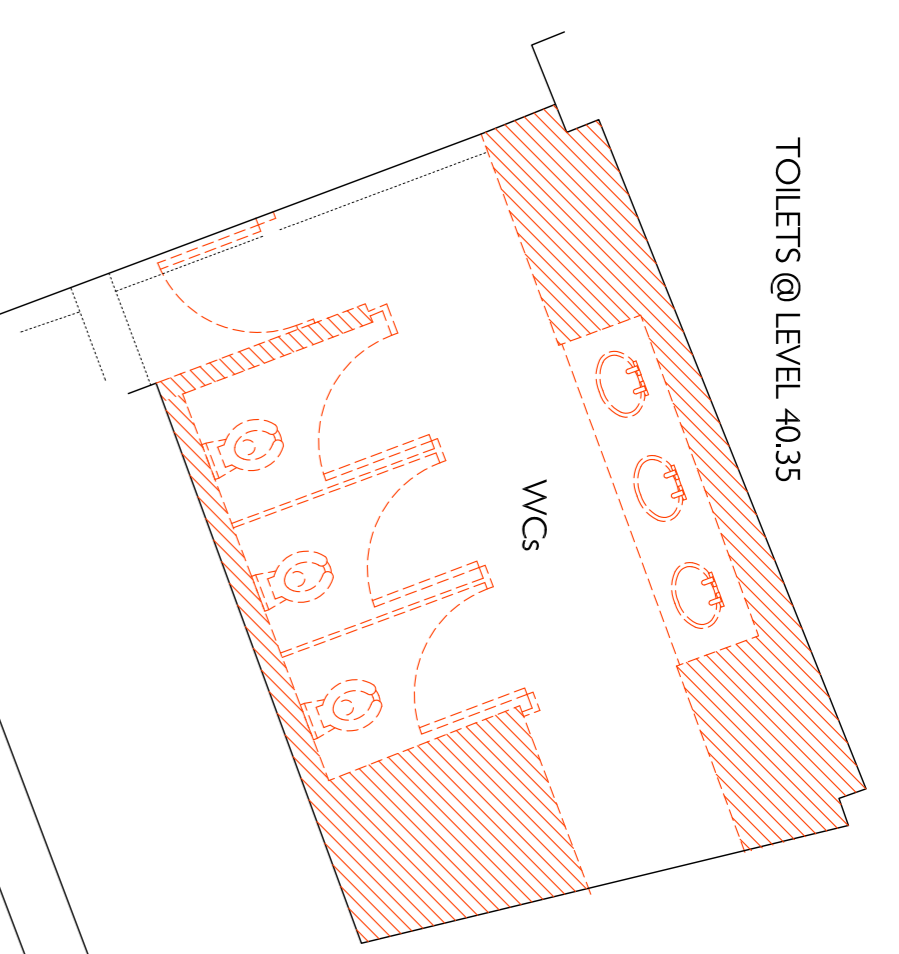
10 CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

SECOND FLOOR PLAN
STRIP OUT & DEMOLITION

DATE: 06/16
DRAWING NO: L1665
L1665
L1665

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 WWW.TREHEARNEARCHITECTS.COM

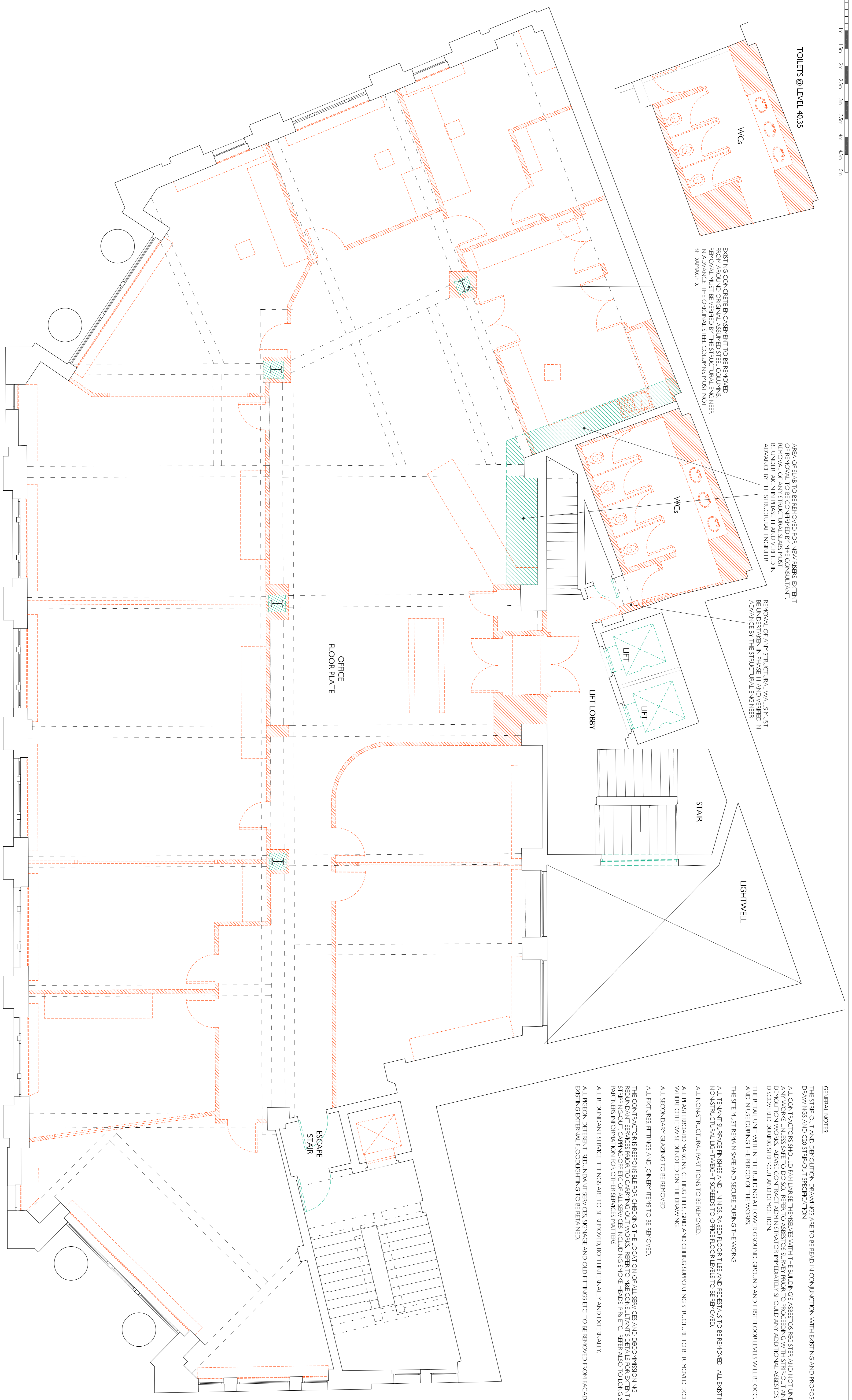
TOILETS @ LEVEL 40.35



EXISTING CONCRETE ENCASUREMENT TO BE REMOVED FROM AROUND ORIGINAL ASSURFED STEEL COLUMNS. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER. THE ORIGINAL STEEL COLUMNS MUST NOT BE DAMAGED.

AREA OF SLAB TO BE REMOVED FOR NEW RISERS. EXTENT OF REMOVAL TO BE CONFIRMED BY THE CONSULTANT. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

REMOVAL OF ANY STRUCTURAL WALLS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.



GENERAL NOTES:

THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND C20 STRIP-OUT SPECIFICATION.

ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDING ASBESTOS REGISTAR AND NOT UNDERTAKE ANY WORKS UNLESS SAFE TO DO SO. ALL ASBESTOS SURVEY PRIOR TO ANY STRIP-OUT AND DEMOLITION WORKS. ADVISE CONTRACT ADMINISTRATOR IMMEDIATELY SHOULD ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.

THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND, GROUND AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.

THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.

ALL TENANT SURFACE FINISHES AND JOININGS, RAISED FLOOR TILES AND REDCASTS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHTWEIGHT SCREEDS TO OFFICE FLOOR LEVELS TO BE REMOVED.

ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.

ALL PASTERBOARD MARGINS, CEILING TILES, GRID AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DENOTED ON THE DRAWINGS.

ALL SECONDARY GLAZING TO BE REMOVED.

ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.

THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING REDUNDANT SERVICES PRIOR TO CARRYING OUT WORKS. REFER TO M&E CONSULTANT'S DETAILS FOR EXTENT OF STRIPPING-OUT, CAPPING-OFF ETC OF ALL SERVICES INCLUDING SMOKE HEADS, FIRE ETC. REFER ALSO TO LONG & PARTNERS INFORMATION FOR OTHER SERVICES PARTNERS.

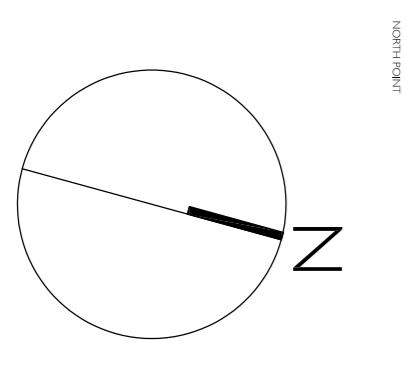
ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.

ALL PIGEON DETRIMENT, REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC. TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.

- GENERAL NOTES:**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY FISHER SURVEYS
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE WRITTEN AGREEMENT OF THE ARCHITECT.

- SOFT STRIP PHASE ONE WORKS:**
- Demolition
 - Full extent of non-structural build-up to be demolished maybe unknown and site determined.

- MAIN CONTRACT DEMOLITION PHASE TWO WORKS:**
- Demolition
 - Full extent of existing construction to be demolished maybe unknown and site determined.



NO. 1720416 RFR FIRST ISSUE

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT TO WORK	06/16
2	ISSUE FOR PERMIT TO WORK	06/16
3	ISSUE FOR PERMIT TO WORK	06/16
4	ISSUE FOR PERMIT TO WORK	06/16
5	ISSUE FOR PERMIT TO WORK	06/16
6	ISSUE FOR PERMIT TO WORK	06/16
7	ISSUE FOR PERMIT TO WORK	06/16
8	ISSUE FOR PERMIT TO WORK	06/16
9	ISSUE FOR PERMIT TO WORK	06/16
10	ISSUE FOR PERMIT TO WORK	06/16

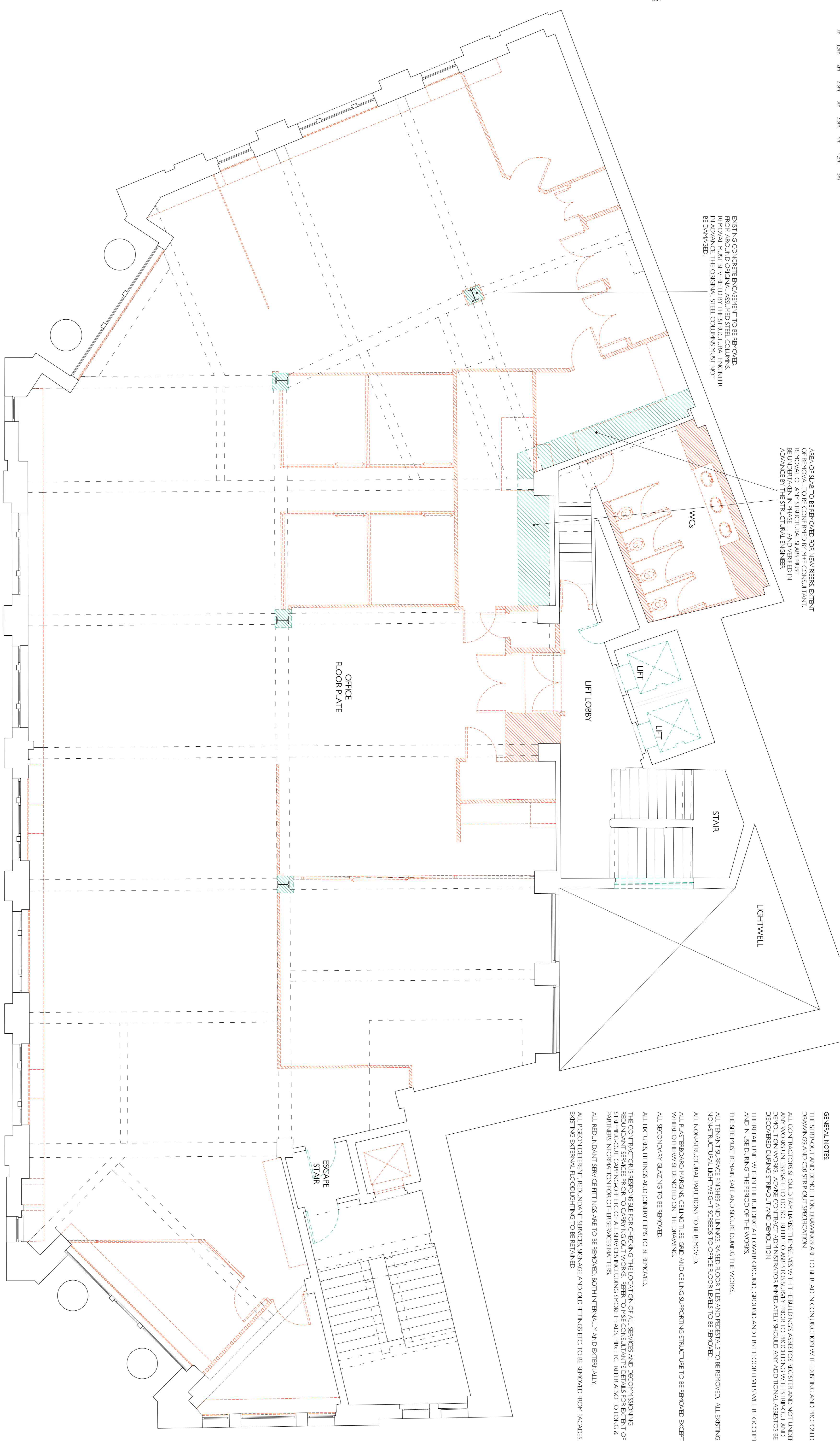
TREHEARNE ARCHITECTS

10 CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

THIRD FLOOR PLAN
STRIP OUT & DEMOLITION

NO. 130841 DATE 06/16 REV. 11665 DRAWING NO. L50/04

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 WWW.TREHEARNEARCHITECTS.COM



EXISTING CONCRETE ENCASMENT TO BE REMOVED FROM AROUND ORIGINAL ASSUMED STEEL COLUMNS. REMOVAL MUST BE VERIFIED BY THE STRUCTURAL ENGINEER IN ADVANCE. THE ORIGINAL STEEL COLUMNS MUST NOT BE DAMAGED.

AREA OF SLAB TO BE REMOVED FOR NEW RISERS. EXTENT BEYOND OF WORK SHOWN BY THE CONSULTANT. BE UNDER TAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

GENERAL NOTES:

THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND CDD STRIP-OUT SPECIFICATION.

ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDING'S ASBESTOS REGISTER AND NOT UNDERTAKE ANY WORK UNLESS SAFE TO DO SO. REFER TO ASBESTOS SURVEY PRIOR TO PROCEEDING WITH STRIP-OUT AND DEMOLITION WORKS. ADVISE CONTRACT ADMINISTRATOR IMMEDIATELY SHOULD ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.

THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND, GROUND AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.

THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.

ALL TENANT SURFACE FINISHES AND LININGS, RAISED FLOOR, TILES AND REDUSTALS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHTWEIGHT SCREDS TO OFFICE FLOOR LEVELS TO BE REMOVED.

ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.

ALL PASTERBOARD MARGINS, CEILING, TILES, GIRD AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DERIVED ON THE DRAWINGS.

ALL SECONDARY GLAZING TO BE REMOVED.

ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.

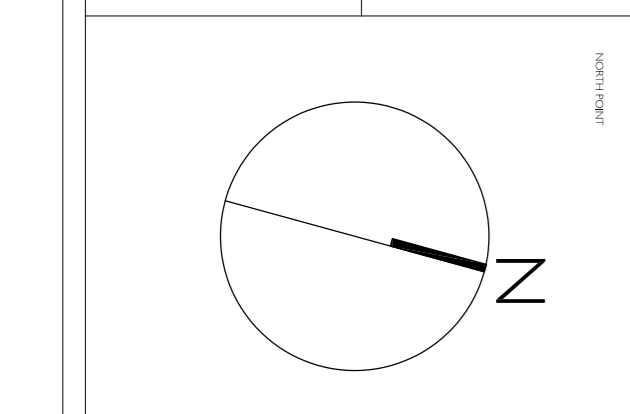
THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING REDUNDANT SERVICES PRIOR TO CARRYING OUT WORKS. REFER TO THE CONSULTANT'S DETAILS FOR EXTENT OF STRIP-OUT, CAPPING-OFF ETC OF ALL SERVICES INCLUDING SHOCK HEADS, FIRE ETC. REFER ALSO TO LONG & PARTNERS INFORMATION FOR OTHER SERVICES PARTIALS.

ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.

ALL PIGEON DETERRENT, REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC. TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.

- GENERAL NOTES:**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY THE SURVEYORS.
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

- SOFT STRIP PHASE ONE WORKS:**
- Demolition
 - Full extent of non-structural build-up to be demolished maybe unknown and site determined.
- MAIN CONTRACT DEMOLITION PHASE TWO WORKS:**
- Demolition
 - Full extent of existing construction to be demolished maybe unknown and site determined.



NO.	REVISION
1	ISSUE FOR PLANNING SUBMISSION

NO.	REVISION
1	ISSUE FOR PLANNING SUBMISSION

TREHEARNE ARCHITECTS

OF CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

FOURTH FLOOR PLAN
STRIP OUT & DEMOLITION

DATE: 06.16
DRAWING NO: L1665
DRAWING NO: L16005

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 WWW.TREHEARNEARCHITECTS.COM

EXISTING CONCRETE ENCASMENT TO BE REMOVED FROM AROUND ORIGINAL ASSUMED STEEL COLUMNS. REMOVAL MUST BE VERIFIED BY THE STRUCTURAL ENGINEER IN ADVANCE. THE ORIGINAL STEEL COLUMNS MUST NOT BE DAMAGED.

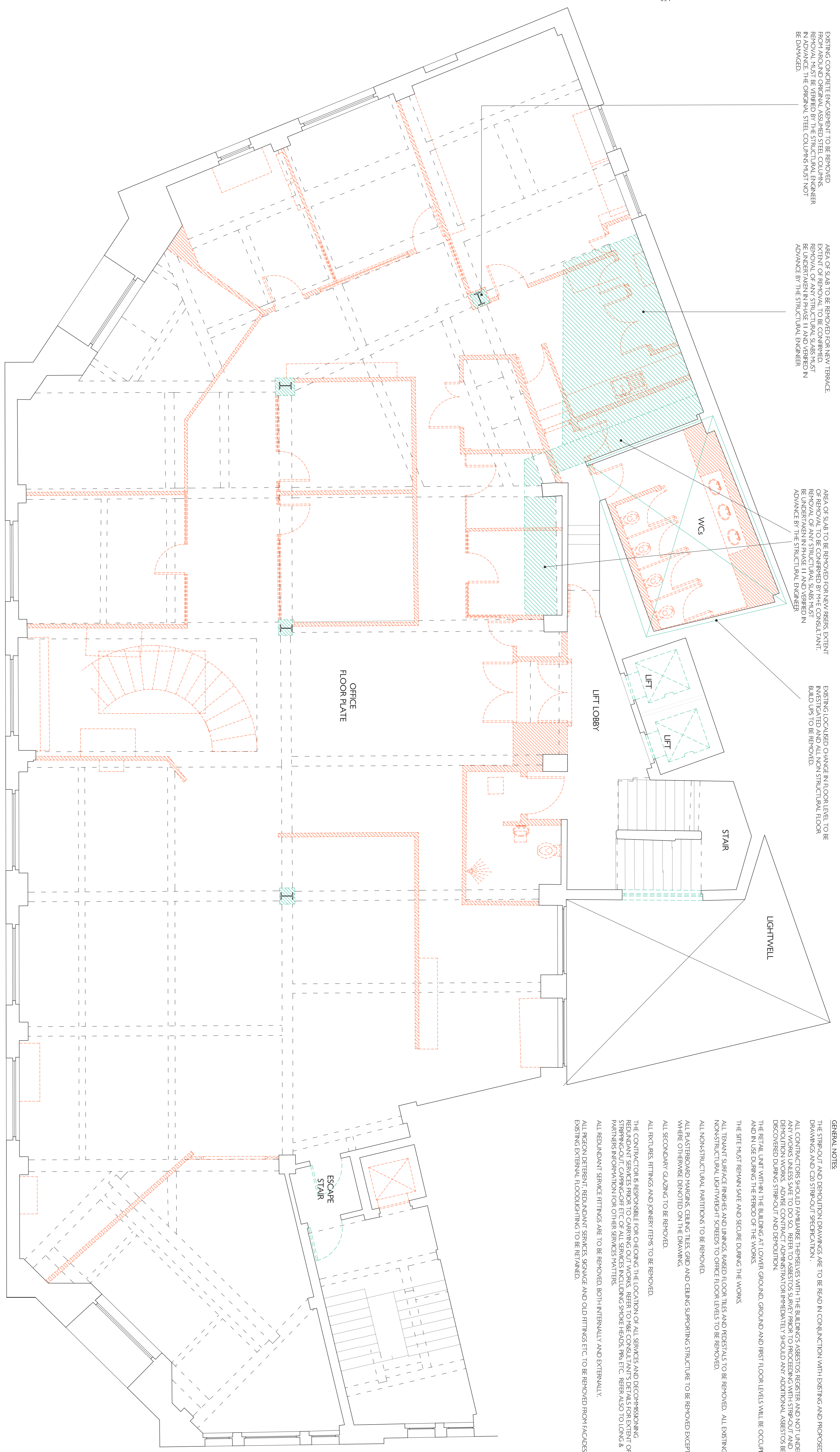
AREA OF SLAB TO BE REMOVED FOR NEW TERRACE. EXTENT OF REMOVAL TO BE CONFIRMED. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

AREA OF SLAB TO BE REMOVED FOR NEW RERS. EXTENT OF REMOVAL TO BE CONFIRMED BY THE CONSULTANT. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

EXISTING LOCALISED CHANGE IN FLOOR LEVEL TO BE INVESTIGATED AND ALL NON STRUCTURAL FLOOR BUILDS UPS TO BE REMOVED.

GENERAL NOTES:

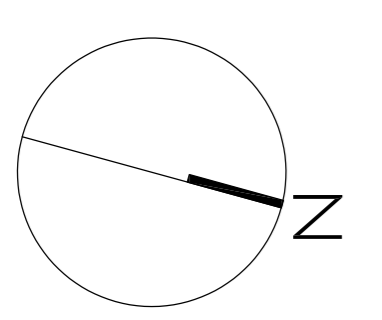
- THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND C2D STRIP-OUT SPECIFICATION.
- ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDINGS ASBESTOS REGISTER AND NOT UNDERTAKE DEMOLITION WORKS UNLESS THEY HAVE BEEN ADVISED BY THE BUILDING SURVEYOR AND CONTRACT ADMINISTRATOR IMMEDIATELY SHOULD ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.
- THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND, GROUND AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.
- THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.
- ALL TENANT SURFACE FINISHES AND LININGS, MAJED FLOOR TILES AND SEDRESTALS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHTWEIGHT SCREEDS TO ORICE FLOOR LEVELS TO BE REMOVED.
- ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.
- ALL PLASTERBOARD MANGINS, GRID AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DENOTED ON THE DRAWING.
- ALL SECONDARY GLAZING TO BE REMOVED.
- ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING REDUNDANT SERVICES PRIOR TO CARRYING OUT WORKS. REFER TO R&E CONSULTANT'S DETAILS FOR EXTENT OF STRIPPING-OUT CARPING-OFF ETC OF ALL SERVICES INCLUDING SMOKE HEADS, FIRE ETC. REFER ALSO TO LONG & PARTNERS INFORMATION FOR OTHER SERVICES MATTERS.
- ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.
- ALL REDUNDANT EXTERNAL REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.



- GENERAL NOTES:**
- DO NOT SCALE FROM THE DRAWING
 - THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY THE ARCHITECTS
 - ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.
 - THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

- SOFT STRIP PHASE ONE WORKS:**
- Demolition
 - Full extent of non-structural build-up to be demolished maybe unknown and site determined.

- MAIN CONTRACT DEMOLITION PHASE TWO WORKS:**
- Demolition
 - Full extent of existing construction to be demolished maybe unknown and site determined.



NO DATE
17/04/16 RFP FIRST ISSUE

TREHEARNE ARCHITECTS

ARCHITECTS
CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

FIFTH FLOOR PLAN
STRIP OUT & DEMOLITION

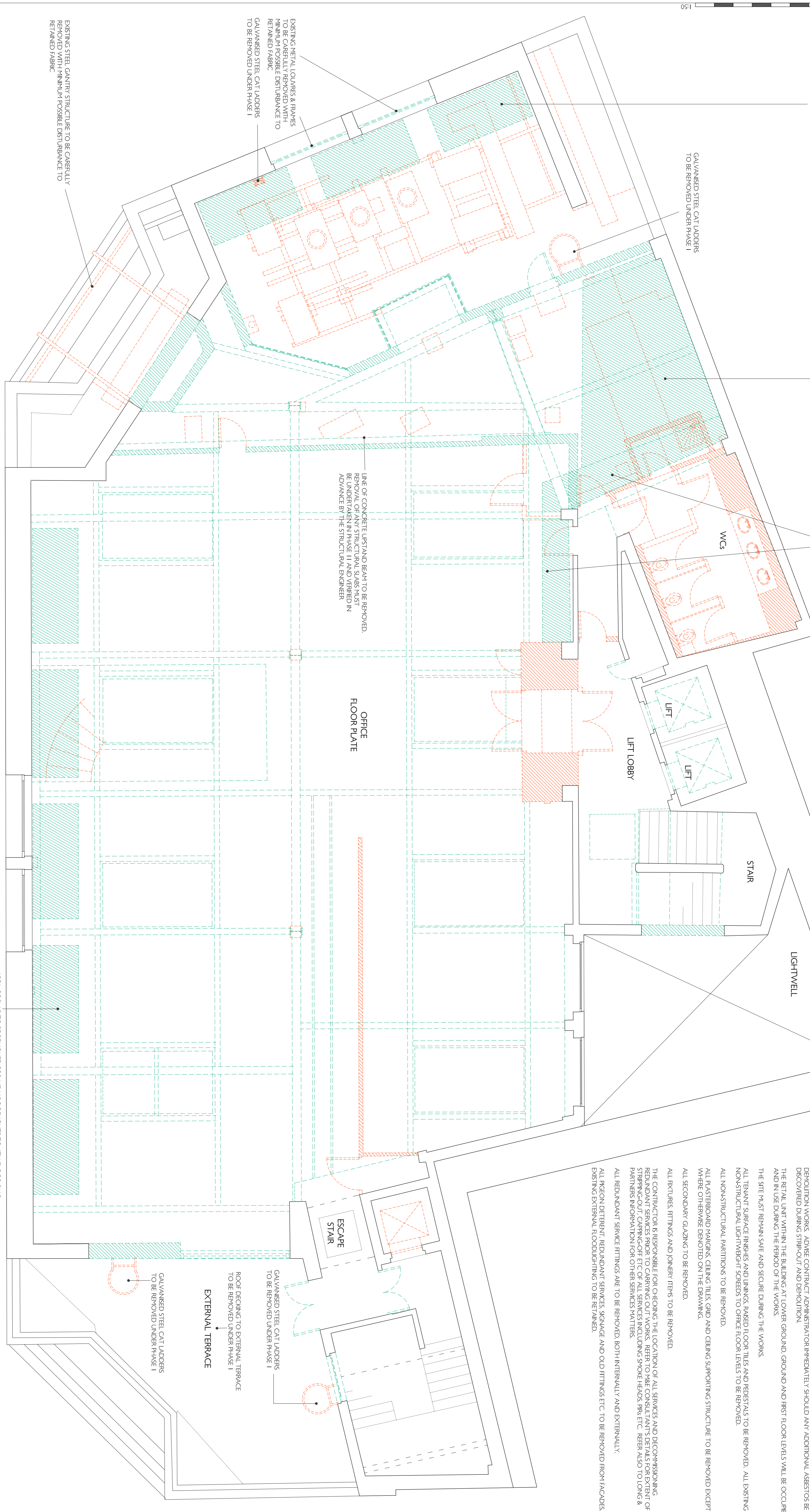
NO: 1308A1 DATE: 06.16 RENO: L1665 DRAWING NO: L50/06

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 WWW.TREHEARNEARCHITECTS.COM

AREA OF SLAB TO BE REMOVED FOR NEW ROOFLIGHTS TO 6TH FLOOR SLAB. EXTENT OF REMOVAL TO BE CONFIRMED BY THE CONSULTANT. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

AREA OF SLAB TO BE REMOVED OVER NEW TERRACE. EXTENT OF REMOVAL TO BE CONFIRMED BY THE CONSULTANT. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

AREA OF SLAB TO BE REMOVED FOR NEW BRIBES. EXTENT OF REMOVAL TO BE CONFIRMED BY THE CONSULTANT. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.



GENERAL NOTES:
 THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND C20 STRIP-OUT SPECIFICATION.
 ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDING'S ASBESTOS REGISTER AND NOT UNDERTAKE ANY WORKS UNLESS SAFE TO DO SO. REFER TO ASBESTOS SURVEY REPORT TO PROCEEDING WITH STRIP-OUT AND DEMOLITION WORKS. THE STRIP-OUT AND DEMOLITION WORKS SHOULD NOT BE UNDERTAKEN UNLESS ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.
 THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND, GROUND AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.
 THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.
 ALL TENANT SURFACE FINISHES AND LINKING, RASSED FLOOR TILES AND PEGSTALS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHT WEIGHT SOLEDS TO OTHER FLOOR LEVELS TO BE REMOVED.
 ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.
 ALL PLASTERBOARD MARGINS, CEILING TILES, GRID AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DENOTED ON THE DRAWING.
 ALL SECONDARY GLAZING TO BE REMOVED.
 ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.
 THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING REDUNDANT SERVICES PRIOR TO CARRYING OUT WORKS. REFER TO M&E CONSULTANT'S DETAILS FOR EXTENT OF STRIP-OUT, CAPPING-OFF ETC OF ALL SERVICES INCLUDING SMOKE HEADS, FIRE ETC. REFER ALSO TO LONG & PARTNERS INFORMATION FOR OTHER SERVICES MATTERS.
 ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.
 ALL REDUNDANT REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.

AREA OF SLAB TO BE REMOVED FOR NEW ROOFLIGHTS TO 6TH FLOOR SLAB. EXTENT OF REMOVAL TO BE CONFIRMED. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER.

- GENERAL NOTES:**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY REPAIR STARTERS
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THE DRAWINGS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

SOFT STRIP PHASE ONE WORKS:

- Demolition
- Full extent of non-structural build-up to be demolished maybe unknown and site determined.

MAIN CONTRACT DEMOLITION PHASE TWO WORKS:

- Demolition
- Full extent of existing construction to be demolished maybe unknown and site determined.

TREHEARNE ARCHITECTS

1702416 RFR PLANNING SUPERVISION
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON

SIXTH FLOOR PLAN
 STRIP OUT & DEMOLITION

DATE: 06.16
 DRAWING NO: L1665
 PROJECT NO: L1300A1
 DRAWING NO: L1665
 PROJECT NO: L1300A1

AREA OF SLAB TO BE REMOVED OVER NEW TERRACE. EXTENT OF REMOVAL TO BE CONFIRMED. REMOVAL OF ANY STRUCTURAL SLABS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER

EXISTING DROPPED ROOF TO PLANT AREA TO BE REMOVED. REMOVAL OF ANY STRUCTURAL ELEMENTS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER

EXISTING LVR ROOF & RENDERED BRICK PERIMETER WALLS TO BE REMOVED DOWN TO MAIN LFT SHAFT CONCRETE STRUCTURE (PROBABLY AT MAIN ROOF LEVEL). REMOVAL OF ANY STRUCTURAL ELEMENTS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER

EXISTING FITTED ROOF & SMOKE VENT OVER STAIRCASE TO BE REMOVED. REMOVAL OF ANY STRUCTURAL ELEMENTS MUST BE UNDERTAKEN IN PHASE II AND VERIFIED IN ADVANCE BY THE STRUCTURAL ENGINEER

LIGHTWELL (BELOW)

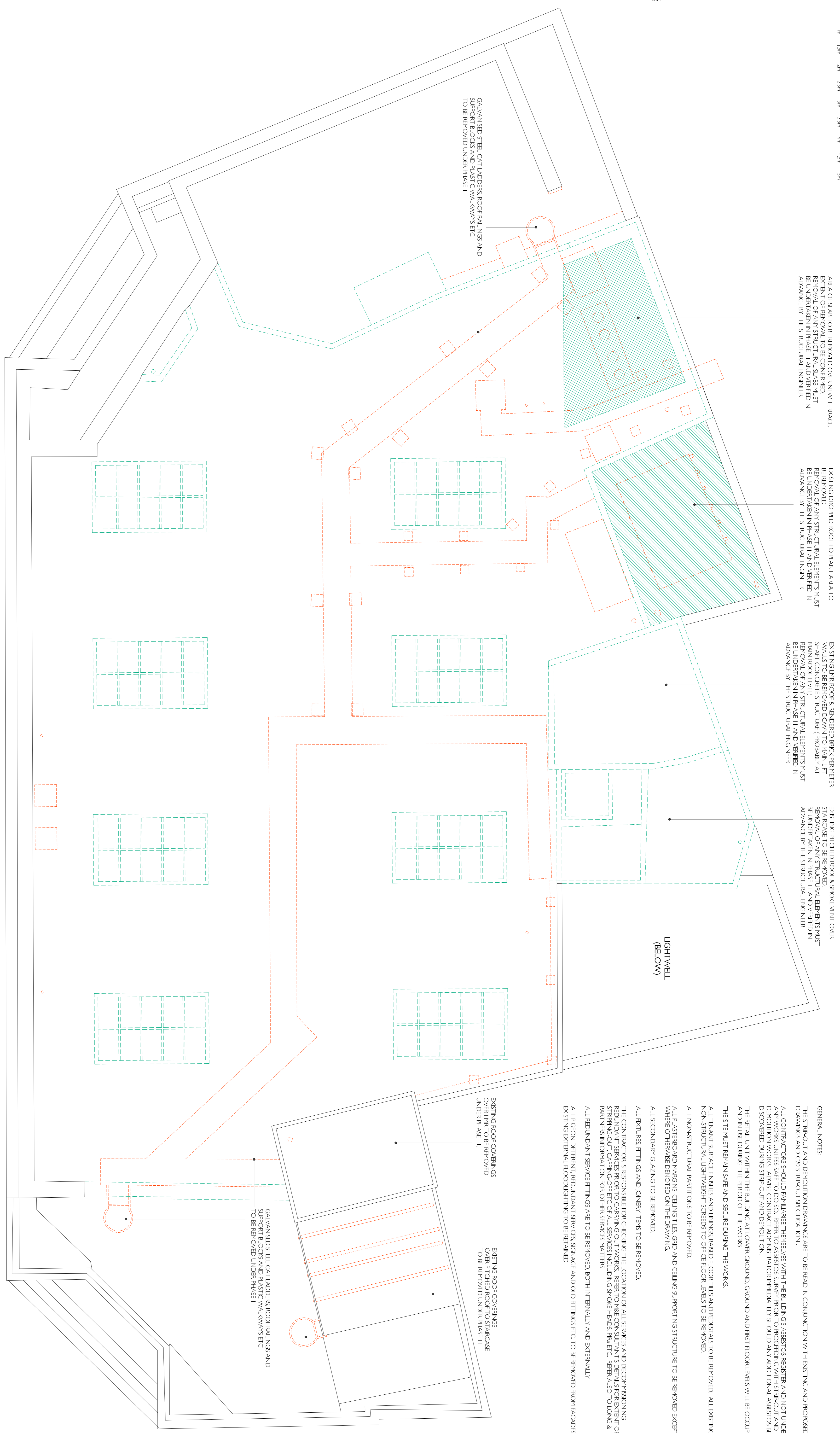
GENERAL NOTES:
 THE STRIP-OUT AND DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND CDM STRIP-OUT SPECIFICATION.
 ALL CONTRACTORS SHOULD FAMILIARISE THEMSELVES WITH THE BUILDING'S ASBESTOS REGISTER AND NOT UNDERTAKE ANY WORKS UNLESS SAFE TO DO SO. REFER TO ASBESTOS SURVEY PRIOR TO PROCEEDING WITH STRIP-OUT AND DEMOLITION WORKS. ADVISE CONTRACT ADMINISTRATOR IMMEDIATELY SHOULD ANY ADDITIONAL ASBESTOS BE DISCOVERED DURING STRIP-OUT AND DEMOLITION.
 THE RETAIL UNIT WITHIN THE BUILDING AT LOWER GROUND, GROUND AND FIRST FLOOR LEVELS WILL BE OCCUPIED AND IN USE DURING THE PERIOD OF THE WORKS.
 THE SITE MUST REMAIN SAFE AND SECURE DURING THE WORKS.
 ALL TENANT SURFACE FINISHES AND LININGS, RAISED FLOOR TILES AND PEDISTALS TO BE REMOVED. ALL EXISTING NON-STRUCTURAL LIGHTWEIGHT SCREEDS TO OFFICE FLOOR LEVELS TO BE REMOVED.
 ALL NON-STRUCTURAL PARTITIONS TO BE REMOVED.
 ALL PLASTERBOARD MARGINS, CEILING TILES, GRID AND CEILING SUPPORTING STRUCTURE TO BE REMOVED EXCEPT WHERE OTHERWISE DENOTED ON THE DRAWING.
 ALL SECONDARY GLAZING TO BE REMOVED.
 ALL FIXTURES, FITTINGS AND JOINERY ITEMS TO BE REMOVED.
 THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE LOCATION OF ALL SERVICES AND DECOMMISSIONING RELEVANT SERVICES FROM APPOINTED CONTRACTORS. REFER TO ALL CONSULTANT'S DETAILS FOR EXTENT OF STRIPPING SERVICES FROM EXISTING SERVICES INCLUDING SERVICE TRAYS ETC. REFER ALSO TO LOBBY & PARTNERS INFORMATION FOR OTHER SERVICES MATTERS.
 ALL REDUNDANT SERVICE FITTINGS ARE TO BE REMOVED, BOTH INTERNALLY AND EXTERNALLY.
 ALL PIGEON DETERRENT, REDUNDANT SERVICES, SIGNAGE AND OLD FITTINGS ETC TO BE REMOVED FROM FACADES. EXISTING EXTERNAL FLOODLIGHTING TO BE RETAINED.

GALVANISED STEEL CAT LADDERS, ROOF RAILINGS AND SUPPORT BLOCKS AND PLASTIC WALKWAYS ETC TO BE REMOVED UNDER PHASE I

EXISTING ROOF COVERINGS OVER FITTED ROOF TO STAIRCASE UNDER PHASE I

EXISTING ROOF COVERINGS OVER FITTED ROOF TO STAIRCASE TO BE REMOVED UNDER PHASE I

GALVANISED STEEL CAT LADDERS, ROOF RAILINGS AND SUPPORT BLOCKS AND PLASTIC WALKWAYS ETC TO BE REMOVED UNDER PHASE I



SOFT STRIP PHASE ONE WORKS:

- Demolition
- Full extent of non-structural build-up to be demolished maybe
- unknown and site determined.

MAIN CONTRACT DEMOLITION PHASE TWO WORKS:

- Demolition
- Full extent of existing construction to be demolished maybe
- unknown and site determined.

- GENERAL NOTES:**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY THE CLIENT'S SURVEYORS.
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

TREHEARNE ARCHITECTS

1702416
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON

DATE: 06.16
 DRAWING NO: L1665
 DRAWING TITLE: ROOF PLAN DEMOLITION

39 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 www.trehearne.co.uk