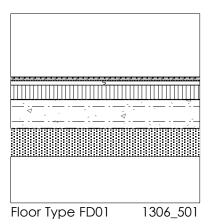
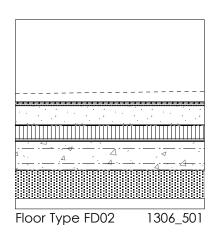
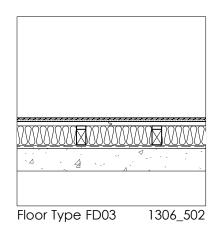
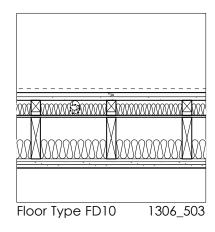
FLOOR TYPES - CONCRETE SUBFLOOR



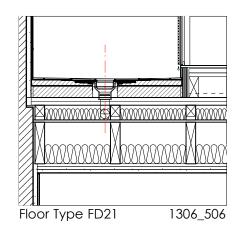


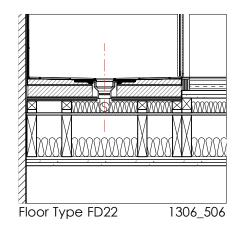


FLOOR TYPES - NEW TIMBER SOLID JOISTS

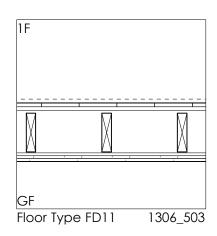


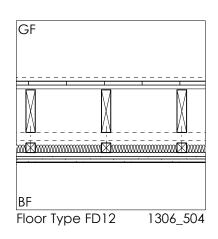
FLOOR TYPES - TIMBER SOLID JOISTS WITH SHOWER DRAIN

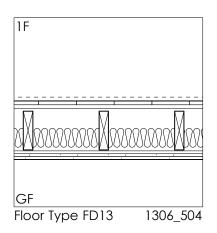


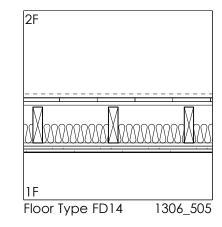


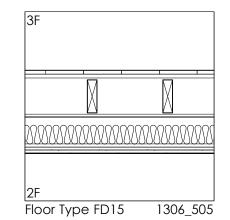
FLOOR TYPES - EXISTING TIMBER SOLID JOISTS











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divine ideas architects

Lecacy Business Centre, Suite 126, 2A Ruckhall Road, Leyton E10 SNP T | +44(0)20 8530 7632 W | divineideas .co.uk E| Infol@divineideas .co.uk

Client: Amba Holdings Ltd

Address: 61 Swinton Street
LONDON
WC1X 9NT

WC1X 9NT

Drawing Title: PROPOSED DETAILS
FLOOR TYPES SUMMARY

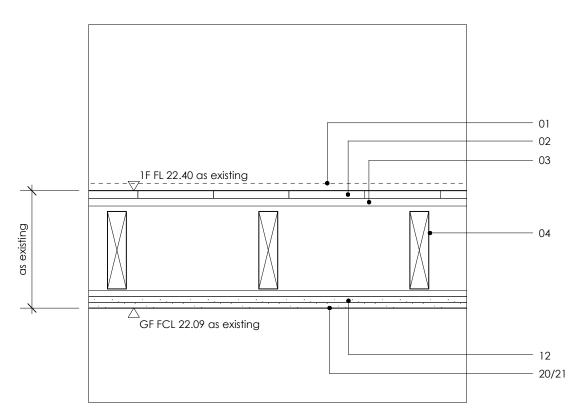
Date: 01.01.2016 Scale: 1:10 @ A3

Drawn By: RY Checked By: DC

Project No. Dwg No. Rev. 500 -

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Floor Type FD10 - new timber solid joists
Scale 1:10



2 Floor Type FD11 - existing joists, floor and ceiling retained Scale 1:10 (1F WEST ROOM FL)

- 01 Floor Finish Varies Typically 20mm allowed for carpet with underlay
- 02 22 mm moisture resistant floor grade chipboard T+G joints to be fully bonded
- 03 19 mm gypsum based board nominal 13.5 kg/m2 Gyproc or Knauf Drywall Plank
- 04 Robust Detail FFT-1 resilient composite deep battens

CMS Danskin Acoustics 78mm Reflex Bearer Acoustic Battens or equivalent (www.cmsdanskin.co.uk)

- 05 Services ensure any services do not bridge the resistant layer
- 06 60mm (min) 10-36kg/m3 mineral wool quilt laid between battens
- 07 11mm thick (min) wood based board(OSB), density 600 kg/m2 (min) or Walker Timber perforated deck system
- 08 Joists 220mm (min) solid timber joists at maximum 400mm centres to Structural Engineer's specification
- 09 100mm (min) mineral wool quilt insulation (10-36 kg/m3) between joists
- 10 16mm (min) resident bars with Robust Details CT2
- 11 Robust Details CT2

Two layers of gypsum-based board composed of 15mm (nominal 12.5 kg/m2) fixed with 25mm screws and second layer of 15mm (nominal 12.5 kg/m2) fixed with 42mm screws

12 Plaster skim and paint finish

Note

Detail based on Robust Details Edition 3 April 2011 Separating Floor E-FT-2

All products to be installed in accordance with the manufacturer's instruction.

01 Floor Finish Varies

Typically 20mm allowed for carpet with high performance acoustic underlay - HUSH felt underlay or similar

- 02 Existing 2nd layer of floorboard retained and repaired if necessary
- 03 Existing 1st layer of floorboard retained and repaired if necessary
- 04 Existing timber joists retained
- 12 Existing original lath and plaster ceiling to be retained and repaired.

Note: Repair work to existing plaster and timber to be carried out sympathetically with matching traditional materials and methods.

FOR THE AREA WITH FIRE PROTECTION REQUIREMENT

20 Fire intumescent coating to achieve minimum 60 minutes fire protection
Envirograf* Product 105 - EP/CP Fire Protection smooth coating system for upgrading lath-and-plaser ceiling and walls.
EP/CP in two coats at 8m2 per litre per coat

Acrylic emulsion coating (matt) finish

21 Existing lath and plaster ceiling

Surface to be prepared for fire protection coating

Existing finishes (lining paper and flaking paint etc.) to be completely removed.

Repair and infill to form a continuos smooth surface with materials to match existing.

Note

For further information refer to www.envirograf.com Minimum 60 minutes Fire Protection to be archived. Notes:

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DRAWING STATUS:



divine ideas architects

cacy Business Centre, Sulte 126, 2A Ruckholf Road, Leyton E10 SNP
+44(0)(20 8330 7632 W) divinaideas .co.uk E] info@divinaideas .co.uk

61 SWINTON STREET

nt: Amba Holdings Ltd

Address: 61 Swinton Street LONDON

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Drawing Title: PROPOSED DETAILS

FLOOR TYPE FD10 & FD11

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03 Existing 1st layer of floorboard retained and repaired if necessary 04 Existing timber joists retained

Structural repair subject to Structural Engineer's survey

05 If found any old pugging to be undisturbed

Existing modern false plasterboard ceiling to be removed

06 Existing ceiling directly under joists to be surveyed. Lath and plaster ceiling to be retained and repaired.*

07 50 x 50mm timber battens fixed to joists - fixing method TBC

08 40mm (min) 10-36kg/m3 mineral wool quilt laid between battens

09 16mm (min) resident bars

10 Two layers of gypsum-based board** composed of 15mm (nominal 12.5 kg/m2) fixed with 25mm screws and second layer of 15mm (nominal 12.5 kg/m2) fixed with 42mm screws

11 Plaster skim and paint finish

02

03

09 10/11 * Repair work to existing plaster and timber to be carried out sympathetically with matching traditional materials and methods.

** Minimum 60 minutes Fire Protection to be archived.

05 07 BF FCL 18.65 as existing

GF FFL 19.08 as existing

Floor Type FD12 - existing joists with new suspended ceiling Scale 1:10

02 03 1F FFL 22.42 - 44 as existing 22.40 @ stair landing area 04 310 GF FCL 22.09 as existing 09 10/11 20/21

> Floor Type FD13 - existing joists with new ceiling 1F EAST ROOM Scale 1:10

01 Floor Finish Varies

Typically 20mm allowed for carpet with high performance acoustic underlay - HUSH felt underlay or similar

02 Existing 2nd layer of floorboard retained and repaired if necessary

03 Existing 1st layer of floorboard retained and repaired if necessary

04 Existing timber joists retained

Refer to Structural Engineer's Information for reinforcement Existing plain plaster ceiling to be opened up where joists reinforcement is required.

08 100mm (min) Flexible Wood Fibre Insulation Batts between joists

09 new timber lath

10 picking-up coat of lime putty and sand or earth mortars pushed through lath to form keys 5-15mm (1/4"-5/8") thick 2nd (floating) coat one part lime putty to three parts sand to thickness of 10-15mm (3/8" - 5/8")

11 Finishing coat - one part lime putty to one part fine sand or two parts lime putty to three parts fine sand to thickness of 2-5mm (1/16" 0 3/16")

Note: Repair work to existing plaster and timber to be carried out sympathetically with matching traditional materials and methods.

FOR THE AREA WITH FIRE PROTECTION REQUIREMENT

20 Fire intumescent coating to achieve minimum 60 minutes fire protection Envirograf* Product 105 - EP/CP Fire Protection smooth coating system for upgrading lath-and-plaser ceiling and walls. EP/CP in two coats at 8m2 per litre per coat Acrylic emulsion coating (matt) finish

21 Existing lath and plaster ceiling

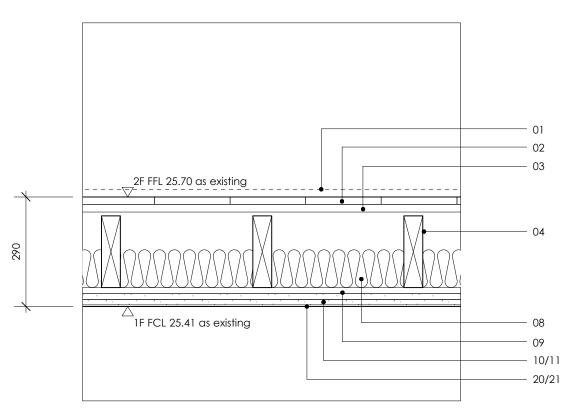
Surface to be prepared for fire protection coating Existing finishes (lining paper and flaking paint etc.) to be completely removed. Repair and infill to form a continuos smooth surface with materials to match existing.

* For further information refer to www.envirograf.com Minimum 60 minutes Fire Protection to be archived

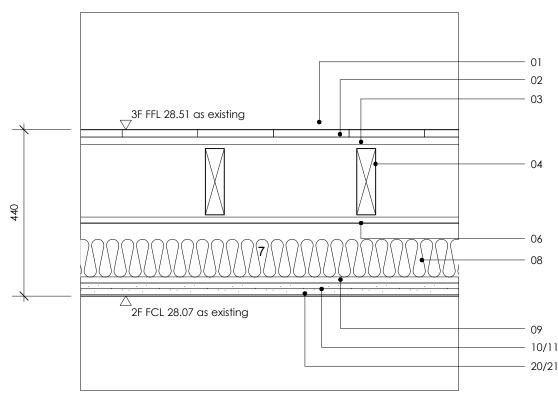
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Floor Type FD14 - existing joists with existing floor 2F Scale 1:10



Floor Type FD15 - existing joists with new floor 3F Scale 1:10

01 Floor Finish Varies

Typically 20mm allowed for carpet with high performance acoustic underlay - HUSH felt underlay or similar

02 Existing 2nd layer of floorboard retained and repaired if necessary

03 Existing 1st layer of floorboard retained and repaired if necessary

04 Existing timber joists retained

Refer to Structural Engineer's Information for reinforcement Existing plain plaster ceiling to be opened up where joists reinforcement is required.

08 100mm (min) Flexible Wood Fibre Insulation Batts between joists

09 new timber lath

10 picking-up coat of lime putty and sand or earth mortars pushed through lath to form keys 5-15mm (1/4"-5/8") thick 2nd (floating) coat one part lime putty to three parts sand to thickness of 10-15mm (3/8" - 5/8")

11 Finishing coat - one part lime putty to one part fine sand or two parts lime putty to three parts fine sand to thickness of 2-5mm (1/16" 0 3/16")

Note: Repair work to existing plaster and timber to be carried out sympathetically with matching traditional materials and methods.

FOR THE AREA WITH 60 MINS FIRE PROTECTION REQUIREMENT

20 Fire intumescent coating to achieve minimum 60 minutes fire protection

Envirograf* Product 105 - EP/CP Fire Protection smooth coating system for upgrading lath-and-plaser ceiling and walls.

EP/CP in two coats at 8m2 per litre per coat Acrylic emulsion coating (matt) finish

21 Existing lath and plaster ceiling

Surface to be prepared for fire protection coating

Existing finishes (lining paper and flaking paint etc.) to be completely removed.

Repair and infill to form a continuos smooth surface with materials to match existing.

* For further information refer to www.envirograf.com Minimum 60 minutes Fire Protection to be archived

01 Floor Finish Varies

Typically 20mm allowed for carpet with high performance acoustic underlay - HUSH felt underlay or similar

02 Existing plywood boards removed. New 2nd layer of timber floorboard to be reinstated to match existing

03 Existing 1st layer of floorboard retained and repaired if necessary

04 Existing timber joists retained

Refer to Structural Engineer's Information for reinforcement

Existing plain plaster ceiling to be opened up where joists reinforcement is required.

06 Existing ceiling directly under joists to be surveyed.

07 Unknown

08 100mm (min) Flexible Wood Fibre Insulation

09 new timber lath

10 picking-up coat of lime putty and sand or earth mortars pushed through lath to form keys 5-15mm (1/4"-5/8") thick

2nd (floating) coat one part lime putty to three parts sand to thickness of 10-15mm (3/8" - 5/8")

11 Finishing coat - one part lime putty to one part fine sand or two parts lime putty to three parts fine sand to thickness of 2-5mm (1/16" 0 3/16")

Note: Repair work to existing plaster and timber to be carried out sympathetically with matching traditional materials and methods.

FOR THE AREA WITH 60 MINS FIRE PROTECTION REQUIREMENT

20 Fire intumescent coating to achieve minimum 60 minutes fire protection Envirograf* Product 105 - EP/CP Fire Protection smooth coating system for upgrading lath-and-plaser ceiling and walls. EP/CP in two coats at 8m2 per litre per coat

Acrylic emulsion coating (matt) finish

21 Existing lath and plaster ceiling

Surface to be prepared for fire protection coating

Existing finishes (lining paper and flaking paint etc.) to be completely removed.

Repair and infill to form a continuos smooth surface with materials to match existing.

* For further information refer to www.envirograf.com Minimum 60 minutes Fire Protection to be archived

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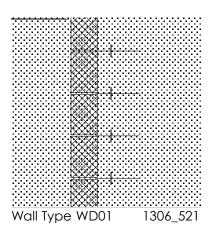
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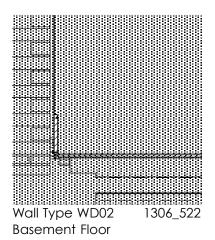
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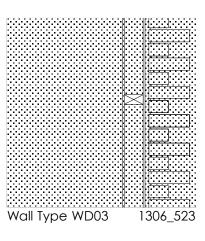
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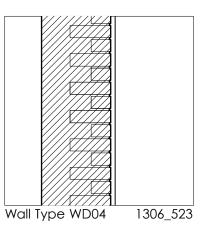
WALL TYPE - NEW CAVITY WALL



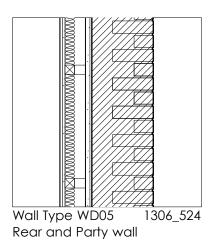
WALL TYPES - EXISTING SOLID MASONRY WALL

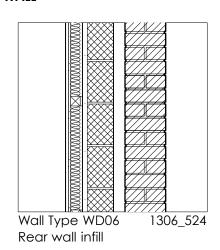






WALL TYPE - EXISTING SOLID MASONRY WALL





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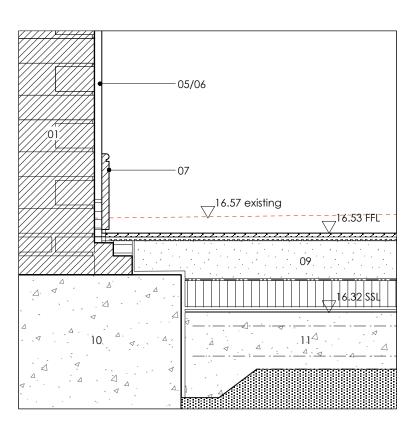
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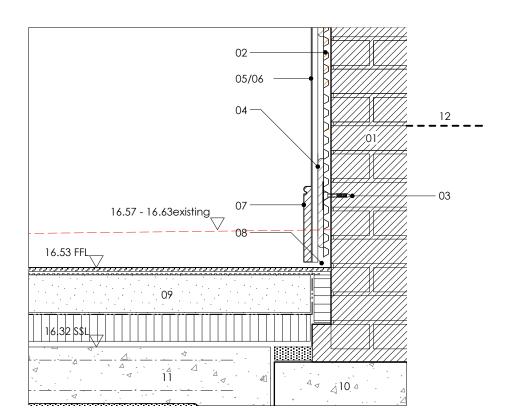
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WALL TYPES SUMMARY

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Wall Type WD02 - Existing Wall (Front)
Scale 1:10



Wall Type WD02A - Existing Wall (Rear)
Scale 1:10

WALL TYPE WD02 - BASEMENT FLOOR EXISTING SOLID BRICKWORK FRONT AND SIDE WALLS - NOT BELOW GROUND

- 01 Existing sold brickwork wall
- 05 Existing Iplaster retained
- 06 New plaster where repair or replacement plaster is necessar
- 07 Skirting board with silicon seal at floor joint
- 09 See Floor Type 01
- 10 Existing wall footing / foundation shown indicatively
- 11 New concrete RC slab detail to Structural Engineer's specification
- 12 Ground level of adjoining property unknown

Note

Existing Thermal Element Improved U-value = 0.25 W/m2K (minimum

WALL TYPE WD02A - BASEMENT FLOOR EXISTING SOLID BRICKWORK REAR WALL - PARTIALLY BELOW GROUND

- 01 Existing sold brickwork
- 02 Cavity membrane water proofing Delta PT installed according to manufacturer's specification
- 03 Delta PT Plug
- 04 Plaster dabs cavity
- 05 15mm plaster board (Gyproc Sound Bloc MR or equivalent) board joints sealed as VCL + Air Leakage Barrier
- 06 3mm Plaster, lightweight skim
- 07 Skirting board with silicon seal at floor joint
- 08 15mm aeration slots for cavity drainage at top and bottom
- 09 See Floor Type 01
- 10 Existing wall footing / foundation shown indicatively
- 11 New concrete RC slab detail to Structural Engineer's specification
- 12 Ground level of adjoining property unknown

Note:

Existing Thermal Element Improved U-value = 0.25 W/m2K (minimum)

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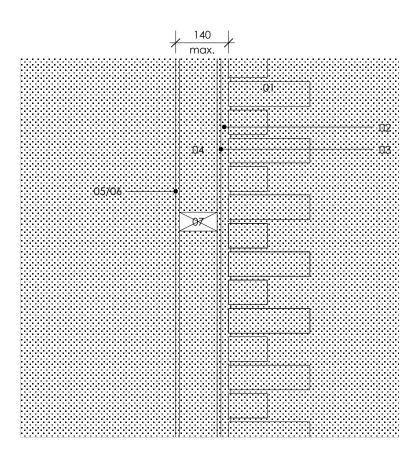
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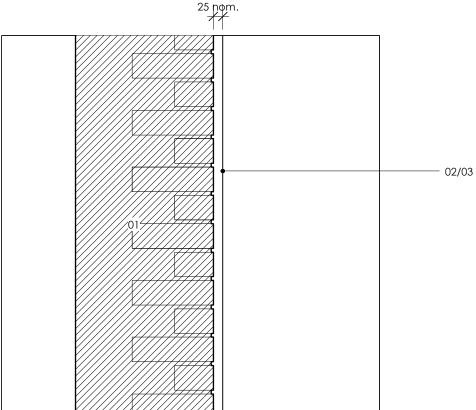
 Drawn By:
 RY
 Checked By:
 DC

 Project No.
 1306
 Dwg No.
 522
 Rev.

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Wall Type WD03 - Existing Wall (Existing Rear Extension)
Scale 1:10



2 Wall Type WD04 - Existing Wall Front Scale 1:10

WALL TYPE WD03 - GROUND FLOOR EXISTING SOLID BRICKWORK WALL (EXISTING REAR EXTENSION)

- 01 Existing brick wall existing finish removed / prepared to receive new plaster
- 02 Minimum 20mm hydraulic lime plaster
- 03 Adhesive 10mm combed coat
- 04 100 mm Flexible Wood Fibre Insulation Batts between timber battens Pavaflex or equivalent Insulation depth to be adjusted depending on existing uneven wall surface
- 05 Plaster 6mm meshed base coat and 3mm pre-mixed top coat plaster (Ty-Mawr system)
- 06 Vapour permeable paint finish
- 07 Timber batten fixed to existing wall with thermally broken fixings

Note:

Internal wall insulation applied to existing external walls where possible. Refer to Floor Type 03 for floor detail

WALL TYPE WD04 - EXISTING SOLID BRICKWORK WALL

- 01 Existing solid brickwork wall

 Repair with lime mortar and part replacement brick to match existing
- 02 Existing lime plaster retained
- 03 New lime base plaster where repair or replacement plaster is necessary;
 - Lime base coat plaster
 1st coat: Scratch Coat 6-9mm diamond scratched
 2nd coat: Float Coat 6-9mm
 - 2. Lime base top coat plaster 3rd coat: Finish Coat approx. 1.5mm

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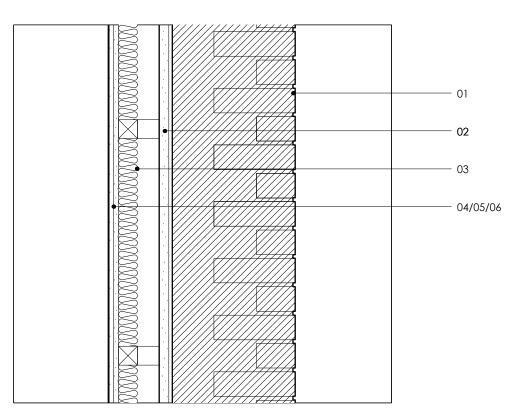
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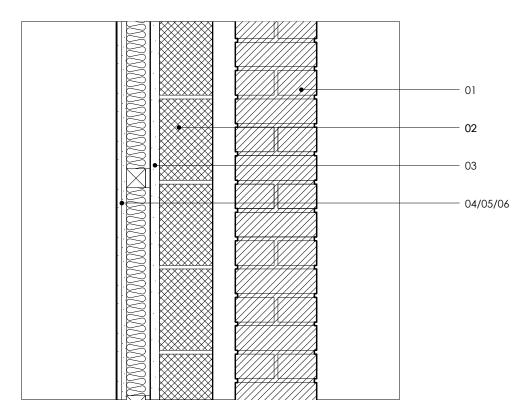
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WALL TYPE WD03 & WD04

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Wall Type WD05 - Existing Rear WAll & Party Wall (New Extension)
Scale 1:10



2 Wall Type WD06 - Existing Rear Wall Scale 1:10

WALL TYPE WD05 - EXISTING REAR WALL and PARTY WALL

- 01 Existing solid brickwork wall
- Repair with lime mortar and part replacement brick to match existing
- Brickwork to be left exposed
- 02 Existing lime plaster retained
- 03 New lime base plaster where repair or replacement plaster is necessary;
- 04 Minimum 35mm cavity with 25mm acoustic insulation (Isover APR1200 or equivalent) between timber joists
- 05 Wall lining 2 x 12.5mm acoustic plasterboard (Gyproc SoundBloc)
- 06 3mm plaster skim finish

Alternatively, where there is no space available for insulation:

- 01 Same as above
- 02 Same as above
- 03 Same as above
- 04 10mm cavity with dot & dab
- 05 1 layer of 15mm acoustic plasterboard (Gyproc Sound Bloc)
- 06 3mm plaster skim finish

WALL TYPE WD06 - EXISTING REAR WALL

- 01 New solid brickwork wall infill to match existing wall Brickwork to be left exposed
- 02 New Blockwork or brickwork infill
- 03 New lime base plaster to match existing
- 04 Minimum 35mm cavity with 25mm acoustic insulation (Isover APR1200 or equivalent) between timber joists
- 05 Wall lining 2 x 12.5mm acoustic plasterboard (Gyproc SoundBloc)
- 06 3mm plaster skim finish

Alternatively, where there is no space available for insulation:

- 01 Same as above
- 02 Same as above
- 03 Same as above
- 04 10mm cavity with dot & dab
- 05 1 layer of 15mm acoustic plasterboard (Gyproc Sound Bloc)
- 06 3mm plaster skim finish

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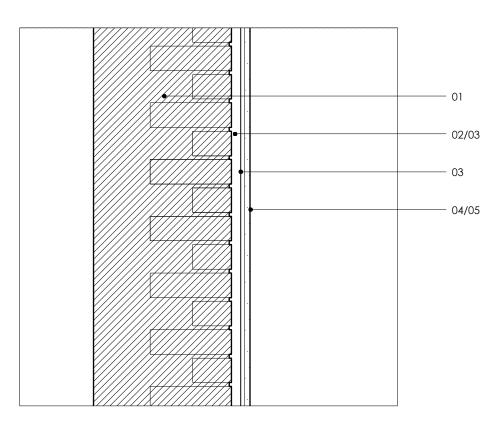
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WALL TYPE WD05 & WD06

Date: 01.01.2016 | Scale: 1.10 @ A2

Drawn By: RY Checked By: DC Project No. 1306 Dwg No. 524 -

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Wall Type 07 - Existing Party Wall (Existing Front Building) Scale 1:10

WALL TYPE WD07 - EXISTING SOLID BRICKWORK WALL PARTY WALL WITH ACOUSTIC IMPROVEMENT

01 - 03 Refer to WALL TYPE WD04

04 10mm cavity dot & dab

05 13mm plasterboard staggered joints 06 03mm plaster light skim and paint finish

07 Silicon seal to all floor and ceiling joints

Detail in case of necessary improvement on acoustic separationDetail based on Robust Details Edition 3 April 2011 E-WM-9

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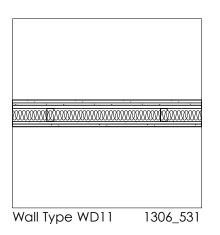
Amba Holdings Ltd

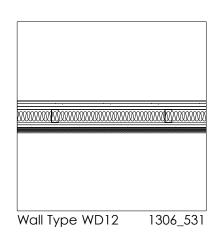
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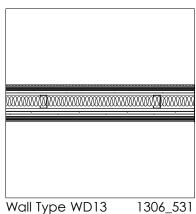
Drawing Title: PROPOSED DETAILS WALL TYPE WD07

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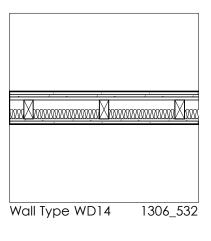
WALL TYPE - NEW INTERNAL PARTITION WALL

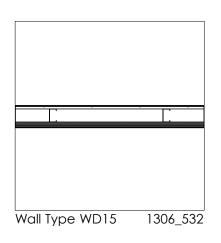


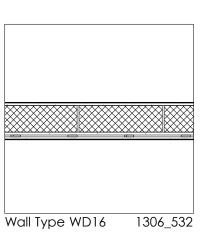




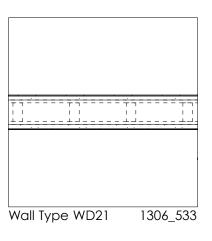
WALL TYPE - NEW INTERNAL PARTITION WALL

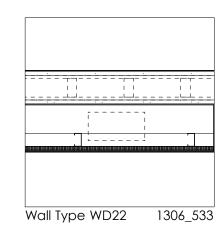






WALL TYPE - EXISTING INTERNAL PARTITION WALL





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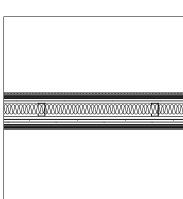
divine ideas architects Lecacy Business Centre, Suite 126, 2A Ruckhollt Road, Leyton E10 SNP T|+44(0)20 8530 7632 W| divineideas.co.uk E| infolitidivineideas.co.uk

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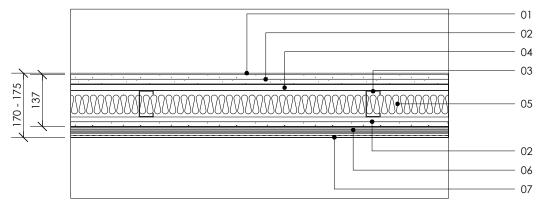
61 Swinton Street LONDON WC1X 9NT

Drawing Title: PROPOSED DETAILS
INTERNAL WALL TYPES SUMMARY

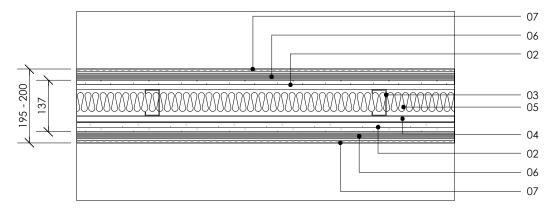
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Wall Type 11 - Typical Metal Stud Wall
Detail Plan Scale 1:10



Wall Type 12 - Wall with Shower Room One Side
Detail Plan Scale 1:10



Wall Type 13 - Wall with Shower Room Both Sides
Detail Plan Scale 1:10

INTERNAL PARTITION WALL

Gypwall QUIET SF 70mm Gypframe 'C' Studs Solutions to satisfy the requirements of BS476: Part 22: 1987

- 01 Plaster skim and paint finish
- 02 2 layers of Gypwall SoundBloc 12.5mm or equivalent
- 03 70mm Gypframe 'C' studs at 600mm centres
- 04 Gypframe RB1 resilient bar or equivalent at 600mm centres to one side
- 05 50mm Isover APR1200 or equivalent in cavity

Sound insulation Rw (Rw+Ctr) dB = 61 (53)

60 minutes fire resistance

Partition nominal thickness = 145mm (137mm + plaster skim both sides)

INTERNAL PARTITION WALL - SHOWER ROOM ONE SIDE

Gypwall QUIET SF 70mm Gypframe 'C' Studs Solutions to satisfy the requirements of BS476: Part 22: 1987

- 01 Plaster skim and paint finish
- 02 2 layers of Gypwall SoundBloc 12.5mm or equivalent
- 03 70mm Gypframe 'C' studs at 600mm centres
- 04 Gypframe RB1 resilient bar or equivalent at 600mm centres to one side
- 05 50mm Isover APR1200 or equivalent in cavity
- 06 18mm WPB Plywood + membrane waterproofing (eg. Schulter-KERDI)
- or 18mm WPB Plywood + liquid waterproofing (eg. BAL WP1 waterproofing system)
- 07 Porcelain or ceramic tile covering on thin mortar bed

Sound insulation Rw (Rw+Ctr) dB = 61 (53)

60 minutes fire resistance

Partition nominal thickness = 170 - 175 mm depending on tile thickness

INTERNAL PARTITION WALL - SHOWER ROOM BOTH SIDES

Gypwall QUIET SF 70mm Gypframe 'C' Studs Solutions to satisfy the requirements of BS476: Part 22: 1987

See notes above

Sound insulation Rw (Rw+Ctr) dB = 61 (53)

60 minutes fire resistance

Partition nominal thickness = 195 - 200 mm depending on tile thickness

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ddress: 61 Swinton Street

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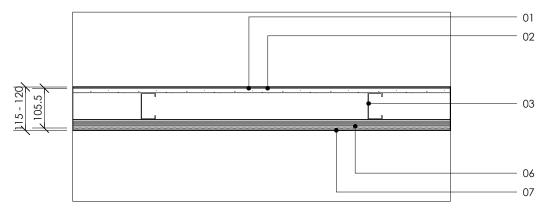
Drawing Title: PROPOSED DETAILS

WALL TYPE WD11, WD12, WD13

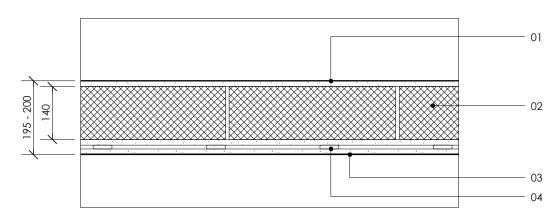
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Wall Type 14 - Structural Timber Stud Wall Detail Plan Scale 1:10



Wall Type 15 - Shower Room Wall within Bedroom Detail Plan Scale 1:10



Wall Type 16 - Blockwork separating wall Detail Plan Scale 1:10

INTERNAL PARTITION WALL with STRUCTURAL TIMBER STUDS GF

- 01 Plaster skim and paint finish
- 02 2 layers of Gypwall SoundBloc 12.5mm or equivalent
- 03 100 x 50 Structural Timber Stud at 400mm centres Refer to S.E. Drawing & Specification
- 04 Gypframe RB1 resilient bar or equivalent at 400mm centres to one side
- 05 50mm Isover APR1200 or equivalent in cavity

Sound insulation Rw (Rw+Ctr) dB = 61 (53)

60 minutes fire resistance

Partition nominal thickness = 175 - 180 mm (167mm + plaster skim both sides including 5mm tolerance)

INTERNAL PARTITION WALL - SHOWER ROOM WALL WITHIN BEDROOM (NO ACOUSTIC REQUIREMENT)

- 01 Plaster skim and paint finish
- 02 1 layers of Gypwall SoundBloc 12.5mm or equivalent
- 03 70mm Gypframe 'C' studs at 600mm centres
- 06 18mm WPB Plywood + membrane waterproofing (eg. Schulter-KERDI)
- or 18mm WPB Plywood + liquid waterproofing (eg. BAL WP1 waterproofing system)
- 07 Porcelain or ceramic tile covering on thin mortar bed

Partition nominal thickness = 115 - 120 mm depending on tile thickness

INTERNAL PARTITION WALL - NEW STRUCTURAL MASONRY SEPARATING WALL

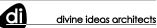
- 01 Plaster & paint finish
- 02 140mm thick Dense blockwork
- 03 Gypum-based board (nominal mass per unit area 12.5 kg/m2)
- 04 mounted on dabs, on cement:sand render (nominal 15mm, minimum 13mm) with scratch finish.

Sound Insulation Rw dB > 52 (predicted figure based on wall mass and calculation in accordance with BS 8233) 60 minutes fire resistance

Partition nominal thickness = 200 mm including 5mm tolerance

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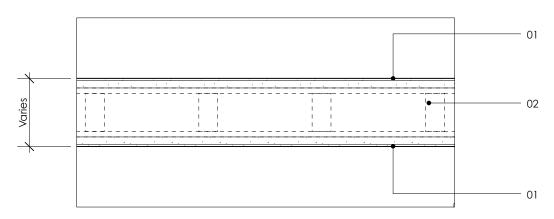
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LONDON

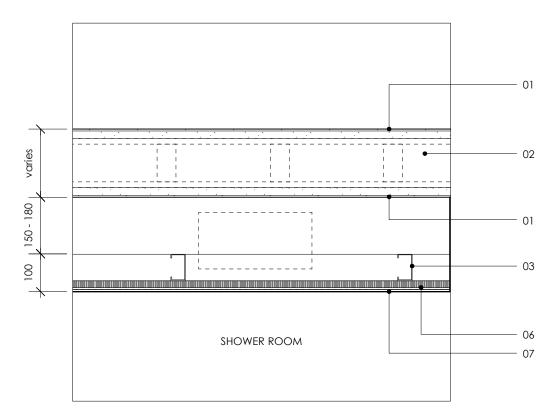
Drawing Title: PROPOSED DETAILS

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Wall Type 21 - Existing partition wall
Detail Plan Scale 1:10



Wall Type 22 - Existing partition wall (Shower Room)
Detail Plan Scale 1:10

INTERNAL PARTITION WALL - EXISTING PARTITION WALL WITH FIRE PROTECTION IMPROVEMENT (FR60)

01 Fire intumescent coating to achieve minimum 60 minutes fire protection
Envirograf* Product 105 - EP/CP Fire Protection smooth coating system for upgrading lath-and-plaser ceiling and walls.
EP/CP in two coats at 8m2 per litre per coat
Acrylic emulsion coating (matt) finish

02 Existing lath and plaster partition wall
Surface to be prepared for fire protection coating
Existing finishes (wallpaper, tile, matchboard dado, flaking paint etc.) to be completely removed.
Repair and infill to form a continuos smooth surface with materials to match existing.

Note: For further information refer to www.envirograf.com

INTERNAL PARTITION WALL - EXISTING PARTITION WALL WITH FIRE PROTECTION IMPROVEMENT (FR60) & SHOWER ROOM ONE SIDE

- 01 See above
- 02 See above
- 03 Service void and 70mm Gypframe 'C' studs at 600mm centres
- 06 18mm WPB Plywood + membrane waterproofing (eg. Schulter-KERDI)
- or 18mm WPB Plywood + liquid waterproofing (eg. BAL WP1 waterproofing system)
- 07 Porcelain or ceramic tile covering on thin mortar bed

GENERAL NOTE

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Project: 61 SWINTON STREET

Client: Amba Holdings Ltd

LONDON WC1X 9NT

Drawing Title: PROPOSED DETAILS
WALL TYPE WD21 & WD22 (EXISTING)

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