

**Architectural Information** - The level of detail shown on the drawings is relative to the description of the ANNEXED/PROPOSED DEVELOPMENT.  
**DISCLAIMER** - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contracting, Contract or Construction) without subsequent checking/development by others.  
**Dimensions and Building** - All dimensions should be checked on site, use above drawings & construction. These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.  
**Building Control** - Where there is an on-going Architect's appointment the client/contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Full and Power.  
**Planning/Permitted Development** - Where there is an on-going Architect's appointment: The client/contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.  
**Services Information** - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications/voice or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, air water and waste disposal, mains water gas or electric meter and meter positions, cabling (copper), wiring conduit positions, service ducts/membranes or access trays is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.  
**Party Walls & Rights to Light** - The client will ensure that any notices and arrangements are completed before work commences.  
**Archaeological & Ecological** - The client will ensure that any notices and arrangements are completed before work commences.  
**Existing Information** - A specialist measured/topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.  
**Legal Matters** - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.



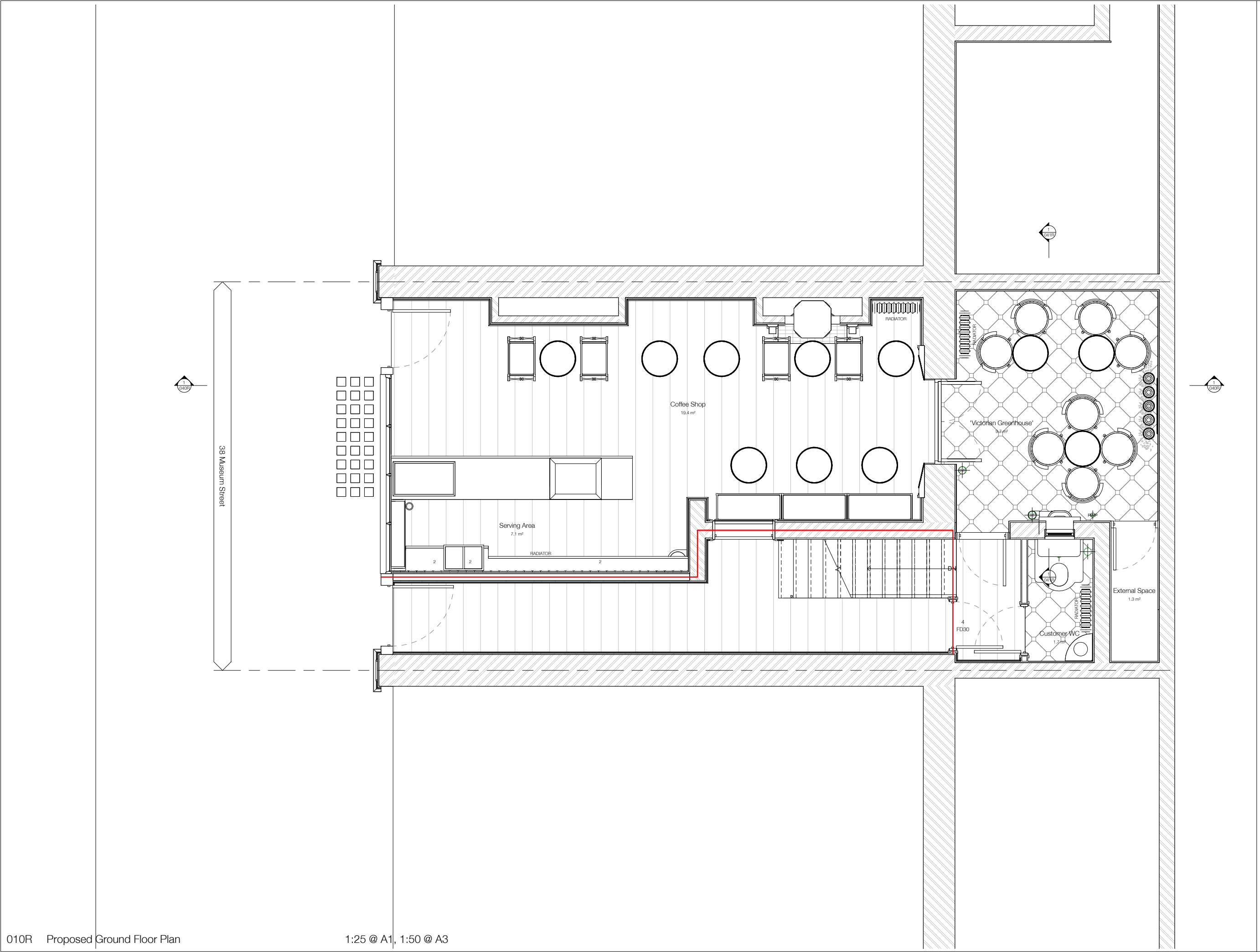
No.	Description	Date

# PLANNING

**TIM GREATREX**  
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
 Job No: 131  
 Level: Lower Ground  
 Drawing: Plan  
 Scale: 1:25 @ A1, 1:50 @ A3  
 Drawing No: 009R  
 Revision:



**Architectural Information** - The level of detail shown on the drawings is relative to the completion of a PLANNING PERMITTED DEVELOPMENT APPLICATION.  
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.  
**Dimensions and Setting Out** - All dimensions should be checked on site, use above ground levels unless otherwise stated.  
**Structure & Construction** - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.  
**Building Control** - Where there is an on-going Architect's appointment the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Clearing Applications will need to be negotiated with Building Control on Approved Drawings (All Construction of Full and Power).  
**Planning Permitted Development** - Where there is an on-going Architect's appointment: The client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.  
**Services Information** - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, comfort cooling, air extract installations, entry phone systems, intruder alarm systems, telecommunications ducts or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling (copper), wiring conduit positions, service ducts/membranes or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.  
**Party Walls & Rights to Light** - The client will ensure that any notices and easements are obtained before work commences.  
**Archaeological & Ecological** - The client will ensure that any notices and easements are obtained before work commences.  
**Existing Information** - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.  
**Liability** - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

**PLANNING**

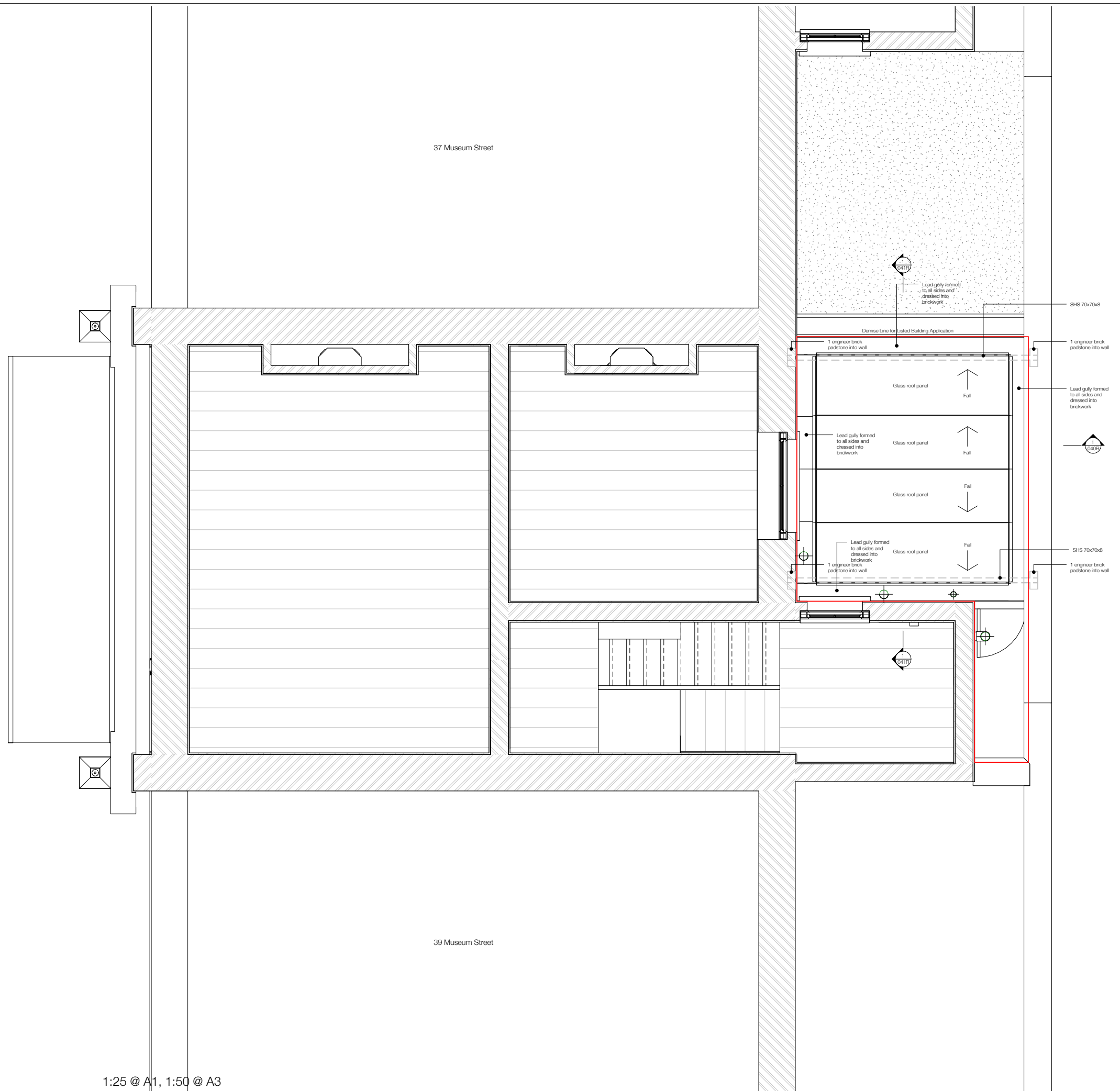
**TIM GREATREX**  
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
 Job No: 131  
 Level: Ground  
 Drawing: Plan  
 Scale: 1:25 @ A1, 1:50 @ A3  
 Drawing No: 010R  
 Revision:

37 Museum Street

39 Museum Street



**Architectural Information** - The level of detail shown on the drawings is relative to the description of THE ANNOUNCED DEVELOPMENT.  
**APPROVALS** - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.  
**Dimensions and Setting Out** - Should be checked on site, see above.  
**Structure & Construction** - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.  
**Building Control** - Where there is an on-going Architect's appointment the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Clearing / Alterations will need to be negotiated with Building Control on an Approved Drawing / Full Completion of Full and Power.  
**Party Walled Development** - Where there is an on-going Architect's appointment: The client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.  
**Services Information** - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning / comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications / data or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, main water gas or electric meter and meter positions, ceiling / pipework, wiring conduit positions, service ducts/terminals or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.  
**Party Walls & Rights to Light** - The client will ensure that any notices and consents are obtained before work commences.  
**Archaeological & Ecological** - The client will ensure that any notices and consents are obtained before work commences.  
**Existing Information** - A specialist measured / topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.  
**Legal Matters** - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

**PLANNING**

**TIM GREATREX**  
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
 Job No: 131  
 Level: First  
 Drawing: Plan  
 Scale: 1:25 @ A1, 1:50 @ A3  
 Drawing No: 011R  
 Revision:

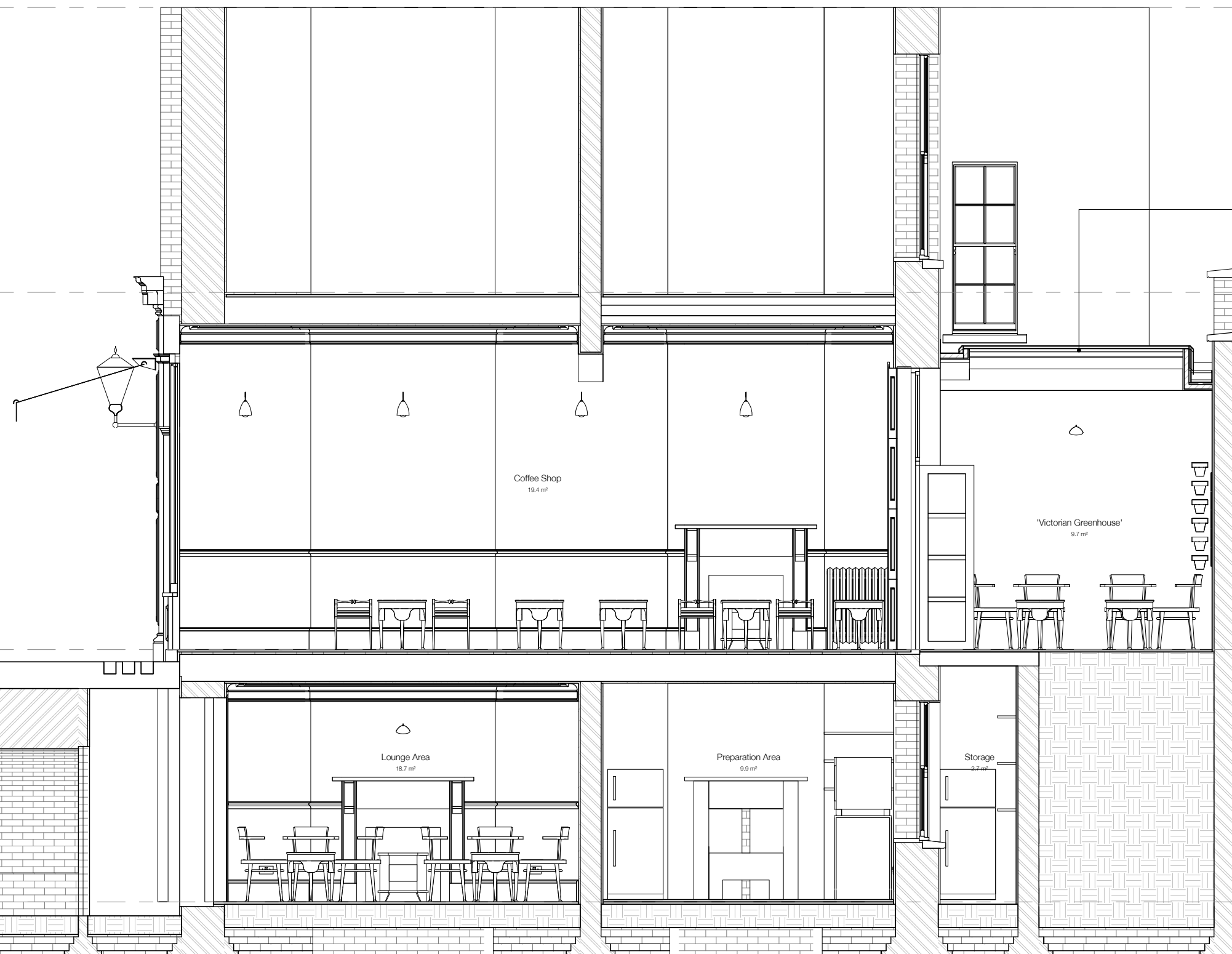
Second Floor  
6900

First Floor  
3840

Ground Floor  
0

Lower Ground Floor  
-2710

Foundation Level  
-3310



New arched glass roof installed to rear area of coffee shop. Glass roof arched to form over the doorway and fall to sit under the side party wall brick copings.

Glass roof requires rainwater gullies to all sides for water runoff to the rear of the rooflight. The side gullies to be formed with a timber frame and lined in traditional lead formed to shape. The timber and lead gullies also act to form around the existing soil and rainwater downpipes.

**Architectural Information** - The level of detail shown on the drawings is relative to the description of the WORKING DRAWING DEVELOPMENT APPLICATION.

The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

**Dimensions and Building Out** - Dimensions should be checked on site, see above.

**Structure & Construction** - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.

**Building Control** - Where there is an on-going Architect's appointment the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control on an Approved Drawing (All Construction of Full and Power).

**Planning / Permitted Development** - Where there is an on-going Architect's appointment: The client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

**Services Information** - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning / comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications / audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling / pipework, wiring conduit positions, service ducts/buried cables or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

**Party Walls & Rights to Light** - The client will ensure that any notices and consents are obtained before work commences.

**Archaeological & Ecological** - The client will ensure that any notices and consents are obtained before work commences.

**Existing Information** - A specialist measured / topographical survey has not been carried out / commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.

**Legal Matters** - The client is responsible for identifying and addressing matters relating to any third party claims or rights relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

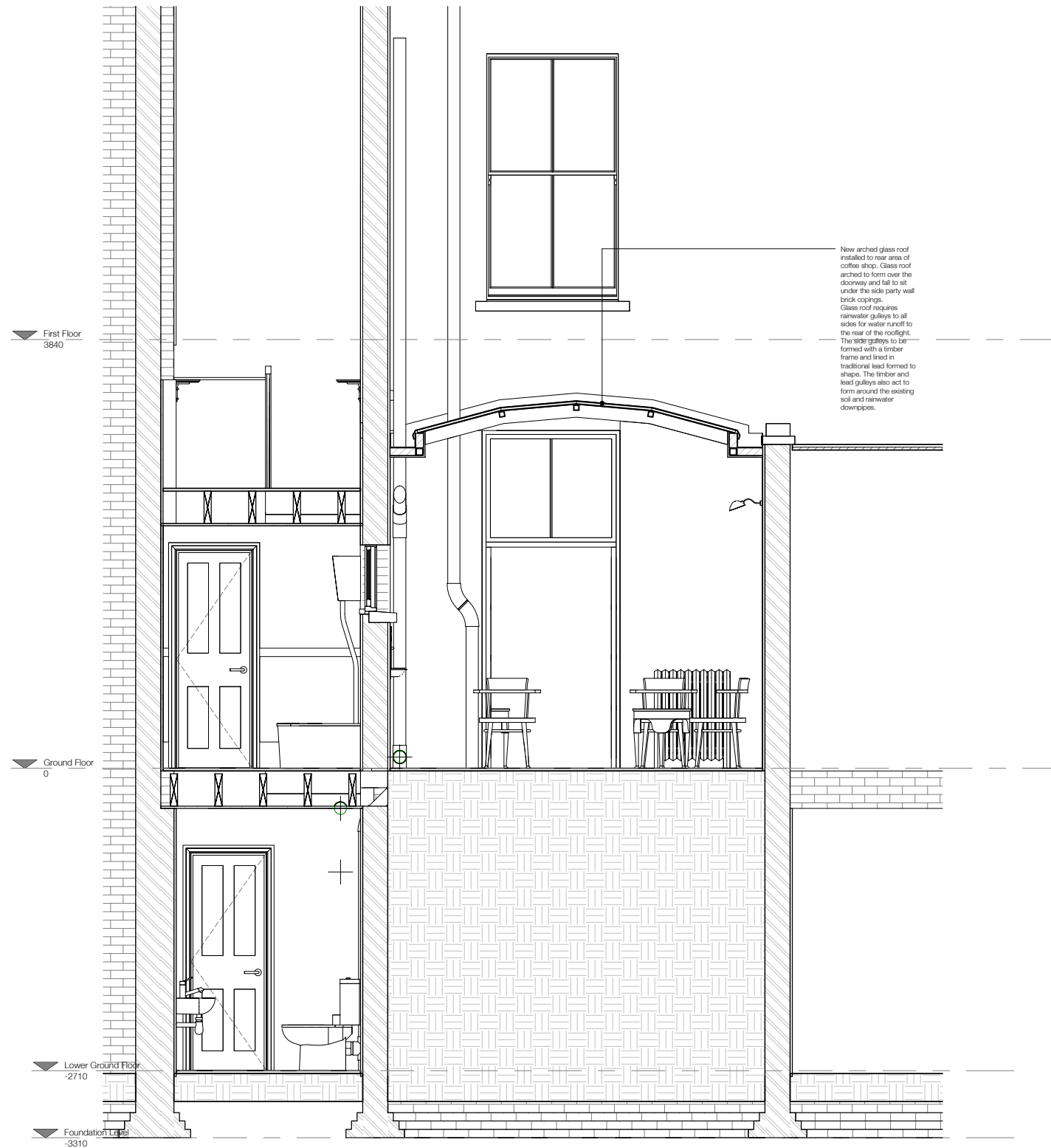
# PLANNING

Notes:  
1. The drawings are the property of the architect and shall not be used for any other purpose without the written consent of the architect.

**TIM GREATREX**  
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
Job No: 131  
Level: n/a  
Drawing: Section  
Scale: 1:25 @ A1, 1:50 @ A3  
Drawing No: 040R  
Revision:



**Architectural Information** - The level of detail shown on the drawings is relative to the description of the ANNEX/PROPOSED DEVELOPMENT APPLICATION.  
The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking/development by others.

**Dimensions and Building Out** - Dimensions should be checked on site, see above.

**Structure & Construction** - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.

**Building Control** - Where there is an on-going Architect's appointment the client/the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Documents (all Construction of Walls and Floors).

**Planning/Permitted Development** - Where there is an on-going Architect's appointment: The client/the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

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**Party Walls & Rights to Light** - The client will ensure that any notices and consents required are obtained before work commences.

**Archaeological & Ecological** - The client will ensure that any notices and consents required are obtained before work commences.

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No.	Description	Date

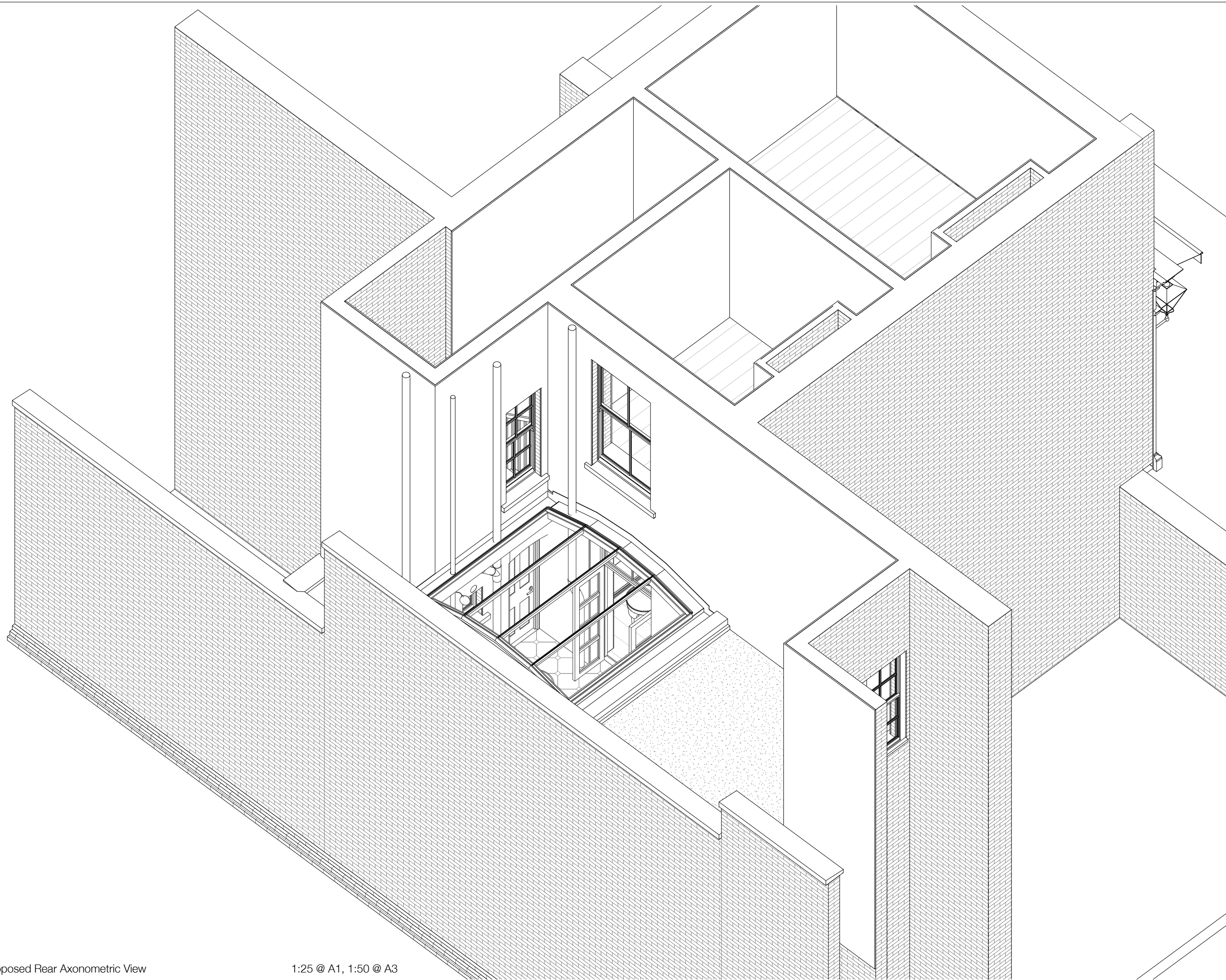
# PLANNING

Notes:  
Do not build from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

**TIM GREATREX**  
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
Job No: 131  
Level: n/a  
Drawing: Section  
Scale: 1:25 @ A1, 1:50 @ A3  
Drawing No: 041R  
Revision:



052R Proposed Rear Axonometric View

1:25 @ A1, 1:50 @ A3

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**Planning Permitted Development** - Where there is an on-going Architect's appointment: The client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.  
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No.	Description	Date

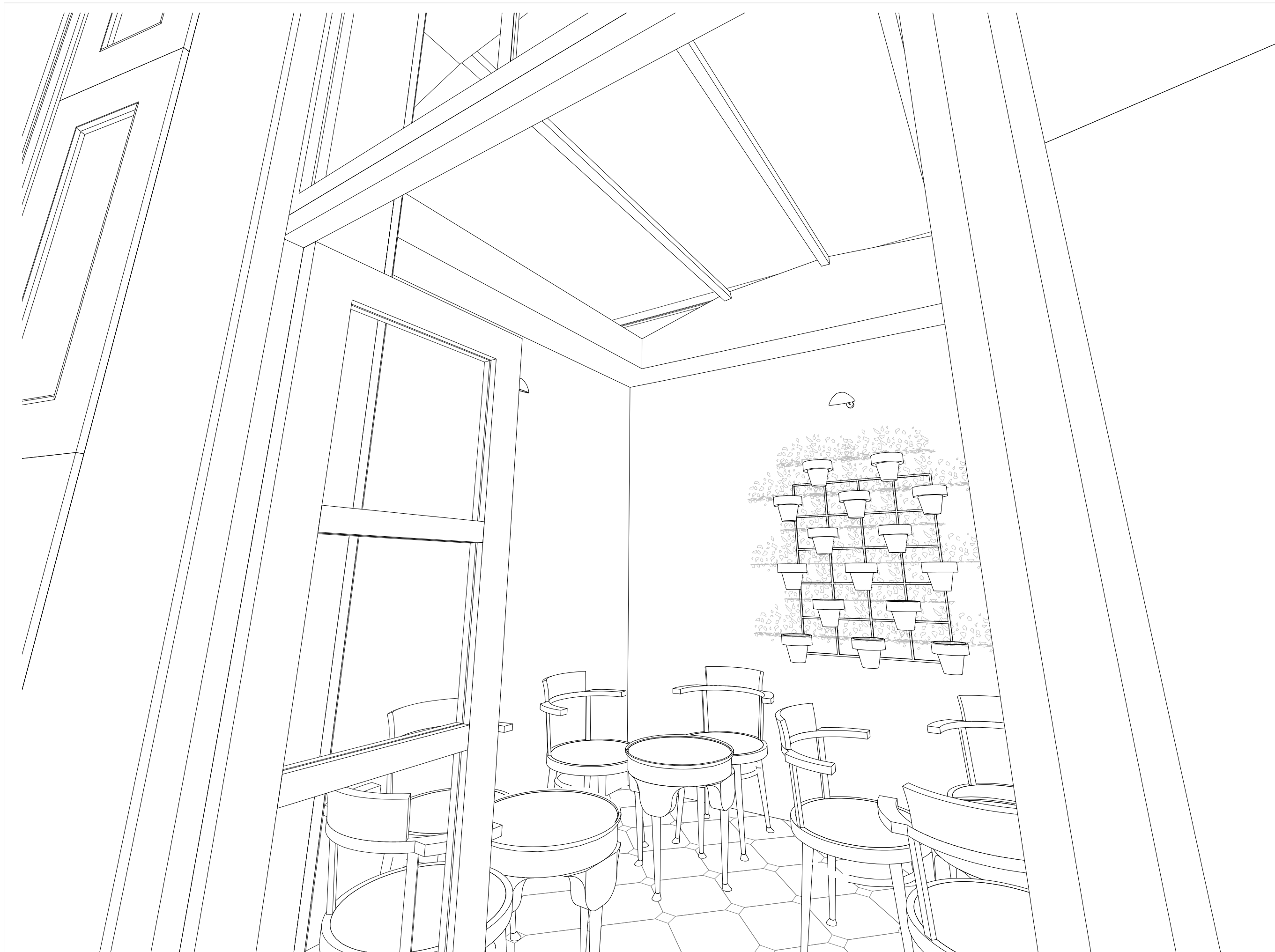
# PLANNING

Notes:  
 1. All dimensions from the drawing are dimensions to be checked on site by the contractor unless otherwise stated.

**TIM GREATREX**  
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
 Job No: 131  
 Level: n/a  
 Drawing: Axonometric  
 Scale: 1:25 @ A1, 1:50 @ A3  
 Drawing No: 052R  
 Revision:



059R Proposed Rear Yard Perspective View

NTS

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**Structure & Construction** - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.  
**Building Control** - Where there is a planning application, the architect's role is to ensure that the project is completed in accordance with the Building Regulations. Client/Architect will need to be regulated with Building Control as per Approved Document L1B Construction of Walls and Floors.  
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No.	Description	Date

# PLANNING

Notes:  
 1. Do not scale from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

**TIM GREATREX**  
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street  
 Job No: 131  
 Level: n/a  
 Drawing: Perspective  
 Scale: NTS  
 Drawing No: 059R  
 Revision: