

Date: 16 March 2016

## DESIGN AND ACCESS STATEMENT



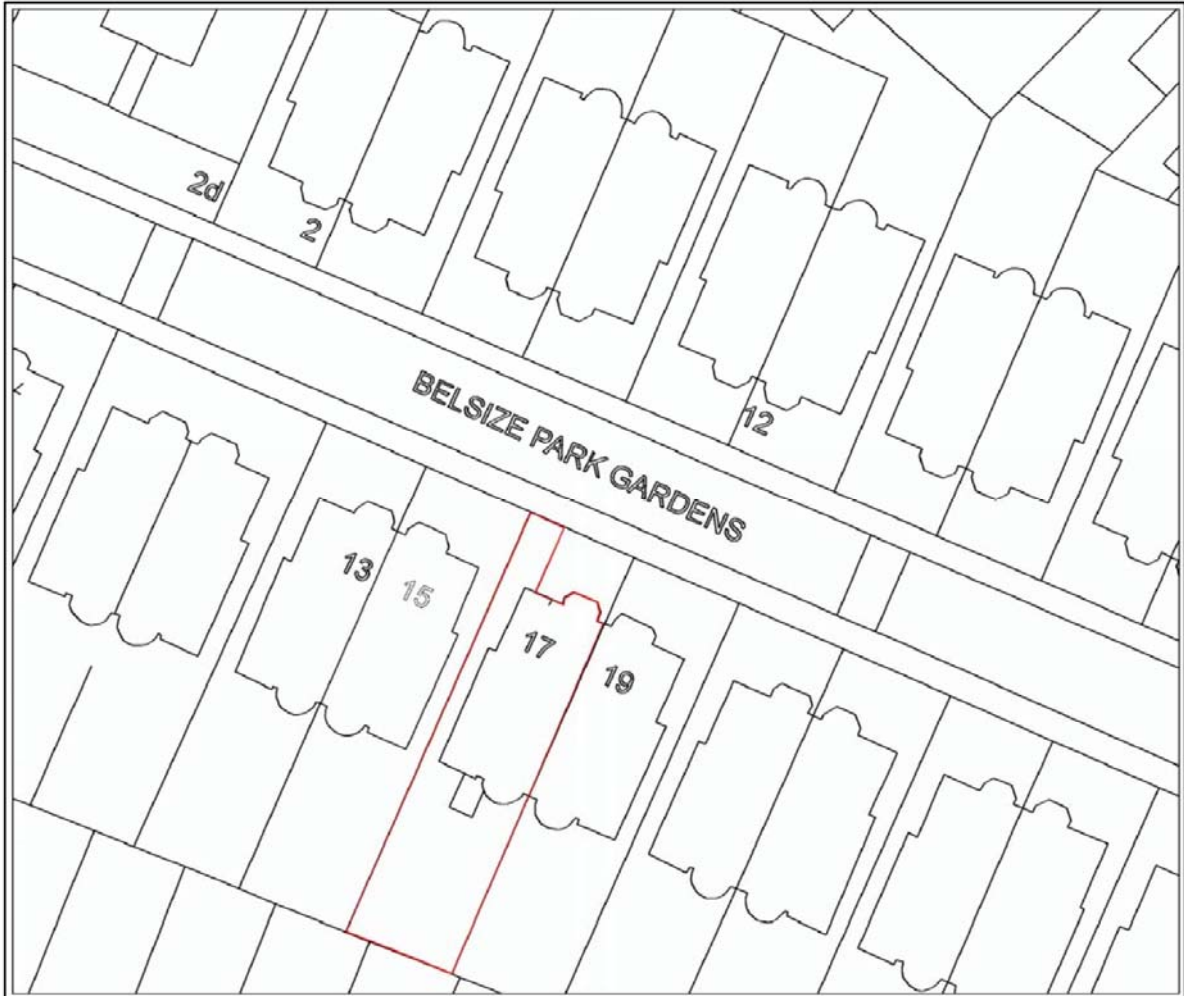
**Location:** 17 Belsize Park Gardens, London, NW3 4JG

**Proposal:** The works will consist of the following:

- The removal of existing window and security grille to the rear façade at basement level and replace with a sliding door set.
- Lowering of the window sills of the rear façade windows at basement level.
- The removal of an existing non-original window to the side façade at basement level and replace with a new door timber framed door.
- Replacement of existing UPVC side façade windows at raised ground floor level with double timber sash window set.
- The replacement of existing non-original timber side alley access door with new decorative metal gate, matching the ornate railings;
- Improved steps and access to the side alley.

**Site description**

The proposal site is a four storey residential building surrounded by similar residential buildings located within the Belsize Conservation Area (subarea 1: Belsize Park) in the borough of Camden. The architectural character of the street is one of semi-detached Victorian Villas of uniform appearance,



**Planning policy designations (Proposals Map)**

The proposal property is located within the Belsize Conservation Area. Within this overall conservation area, it is also located inside a sub area referred to as Belsize Park. The building itself is not a listed building nor is it within the setting of a listed building.



Belsize Conservation Area with numbered sub-areas: 1 – Belsize Park



Belsize Park Sub Area

## **Relevant planning history**

*First floor flat 17 Belsize Park Gardens, London, NW3 4JG*

Application 2014/6340/P: Installation of a metal balustrade to rear first floor bay window to create roof terrace. – Granted

Application 2014/6339/P: Replacement of existing timber window with larger timber window on side elevation at first floor level. – Granted

## **Relevant planning history of adjoining sites**

Flat C 80 Belsize Park Gardens, London NW3 4NG

Application 2015/7174/P: Replacement of existing timber and crittal frame single glazed windows and door with full height fitting timber frame double glazed windows and French door to the rear and side elevations of upper ground floor flat (Class C3). – Granted

53 Belsize Park Gardens, London NW3 4JL

Application 2015/3118/P: Demolition of existing upper ground floor rear bay window and construction of new bay window, new timber windows, new cast iron balustrade. – Granted

2 Belsize Park Gardens, London NW3 4LD

Application 2015/3129/P: Relocation of entrance door and window on side elevation, installation of metal bars to windows and addition of gate to side alleyway granted under reference 2014/2883/P dated 30/July/2014. – Granted

Flat 5 59 Belsize Park Gardens, London NW3 4JN

Application 2014/6119/P: Installation of replacement timber sash and casement windows. – Granted

2 Belsize Park Gardens, London NW3 4LD

Application 2014/2883/P: Erection of single storey rear extension, installation of 3 x new windows and door on side elevation and replacement of windows and walls of existing rear extension with glazed roof and sliding doors at ground floor level to flat (Class 3). – Granted

2 Belsize Park Gardens, London NW3 4LD

Application 2013/5354/P: Erection of a single storey rear extension, installation of 2 x new windows and door on side elevation and replacement of windows on existing rear extensions with sliding doors at ground floor level to flat (Class C3). – Granted

Flat 5 82 Belsize Park Gardens, London NW3 4NG

Application 2013/4911/P: Replacement of existing timber casement windows with timber double glazed, sliding sash windows on front elevation of existing flat (Class C3). – Granted

52 Belsize Park Gardens, London NW3 4ND

Application 2013/0642/P: Replacement of windows at first floor level on all elevations to residential flat (Class C3). – Granted

78A Belsize Park Gardens, London NW3 4NG

Application 2012/6756/P: Replacement of windows at upper ground floor level on front elevation, replacement of windows and doors at rear lower ground floor level and replacement and enlargement of window on side elevation at lower ground floor level all in connection with existing flat (Class C3). – Granted

66 Belsize Park Gardens, London NW3 4NE

Application 2012/6227/P: Replacement of windows with French doors and installation of metal railings around the roof of the bay window to form a terrace on the rear elevation at first floor level flat (Class C3). - Granted

Flat A 37 Belsize Park Gardens, London NW3 4JJ

Application 2011/5524/P: Alterations to fenestration at lower ground floor level including repositioning of side entrance door and replacement of timber framed windows with aluminium framed windows to side elevation and insertion of new door and replacement windows to lower ground floor rear elevation at residential flat (Class 3). - Granted

### Photomontage of nearby sites



The image above is an aerial view of Belsize Park Gardens local to the application site, number 17 Belsize Park Gardens. It is clear from this image and above stated planning history that various Planning Permissions have been granted for a variety of interventions to the rear of these building such as simple changes to fenestration, rear extensions (both traditional and contemporary in appearance), subterranean basement developments with large lightwells and sizable outbuildings. The lower levels of these rear facades cannot be seen from any public vantage points, and therefore the Council found it acceptable to allow a variety of design solution to be implemented and readily granted the necessary Planning Permission. The prevalent condition to the rear now is one of little consistency with regards to appearance in terms of fenestration, materiality and scale.

### Key issues

- Impact on existing Belsize Conservation Area
- Design
- Impact on neighbourhood character

## **Policies**

The Camden Core Strategy is the primary source for policy reference with additional policy provided by the London Plan (March 2015). The National Planning Policy Framework is a material consideration as well.

The proposal would be considered with regard to various policies including, but not exclusively:

### National Planning Policy Framework (2012)

Paragraphs 57 and 58 states that: “development should achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes” and should respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation”.

Paragraph 134 states that: “Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.”

### London Plan (March 2015)

Policy 7.6 Architecture

### Camden Core Strategy 2010-2025 – Local Development Framework

CS5 – Managing the impact of growth and development

CS14 – Promoting high quality places and conserving our heritage

DP24 – Securing high quality design

DP25 – Conserving Camden’s heritage

DP26 – Managing the impact of development on occupiers and neighbours

Belsize Conservation Area Statement

## Proposal

The works will consist of the following:

- The removal of existing window and security grille to the rear façade at basement level and replace with a sliding door set.
- Lowering of the window sills of the rear façade windows at basement level.
- The removal of an existing non-original window to the side façade at basement level and replace with a new door timber framed door.
- Replacement of existing UPVC side façade windows at raised ground floor level with double timber sash window set.
- The replacement of existing non-original timber side alley access door with new decorative metal gate, matching the ornate railings;
- Improved steps and access to the side alley.



window and security grill to be removed and replaced with sliding door set

bay window sills to be lowered to floor level

***Photo of rear existing rear elevation***



The proposal includes to change this UPVC window to double sash window set

The proposal includes to change this non-original doorblank to a decorative metal gate matching the ornate front railings.

*Photo of existing front elevation of the proposal site*



*Elevation drawings of existing and proposal rear elevations. Note that the size and scale of the alteration is modest in context of the host building.*





***Visualisation of the proposed rear façade.***

## **Design**

In this proposed design the rear elevation will be maintained with only the introduction of a sliding door set to the rear and the lowering of the sills to the bay. At basement level the side elevation will feature a new door to replace a non-original window and a new sash window set will replace a UPVC window at Upper Ground level.

The works proposed works are restricted to the narrow side passage and the basement level of the rear facade and would therefore not be visible from any public vantage point and will be limited to only private views.

The proposed works are considered to be sympathetic to the host building by virtue of its modest scale, position and the high quality materials used. It is an attractive addition to the rear and is not visible from any public vantage points. Also note that many neighbouring properties have had sizable rear extensions approved so the works proposed here are modest in comparison and would not harm the character or appearance of the host property or that of the Conservation Area. It is therefore considered to preserve the character and appearance of the Conservation Area.

## **Impact of adjoining and nearby uses on occupiers and users of proposed development**

No changes are being proposed to the size or shape of the existing structure therefore creating no new overlook or impacts to adjacent residential buildings.

## **Impact on character of the conservation area**

All alterations being made to the exterior of the building are located to the rear (at basement level) and side of the property and not visible from the street. Therefore, the street scene and existing neighbourhood character will not be adversely affected by the proposal. Furthermore, the changes to the side elevation will improve the visual appearance through the replacement of UPVC with timber framed windows.

## **Access**

Improved access will be provided to the rear garden through new steps to the side passage, insertion of a wider gate and level access to the rear garden.

## **Transport**

The current proposal should have no impact to the existing transport network.

## **Environmental impact assessment**

The Town and Country Planning (Environmental Impact Assessment) Regulations 2011

The proposed development lies outside the scope of the Town and Country Planning (Environmental Impact Assessment) Regulations 2011 and as such will not require the submission of an environmental impact assessment.

## **Impact on trees**

The works will have no impact on any surrounding trees.

## **Sustainable development**

In accordance to the NPPF and the Camden Local Development Framework (along with the Belsize Conservation Area Statement) development should not have a negative effect on the economic, environmental, or social aspects of the community.

No such negative impact would occur with this proposal. The alterations proposed here aim to enhance and protect the existing residential structure while still maintaining the appearance and character of the overall conservation area.

## **Flood risk**

The proposed development would not sit within any flood risk designated areas.

## **Conclusion**

In summary, due to the works being located in the rear and side, not readily visible from public vantage points (such as the highway) and allowing for high quality residential accommodation, it is not considered that the proposed alterations would be harmful to the setting of the Conservation Area. In fact it is considered on balance that the proposed alteration would make a positive contribution to the host building and the conservation area that it will outweigh any harm.

The Applicants therefore request that these proposals are received favourably and planning permission is granted within the statutory period. If, however, there are any outstanding matters that have not been addressed to enable such a decision to be made, then please make contact with us.