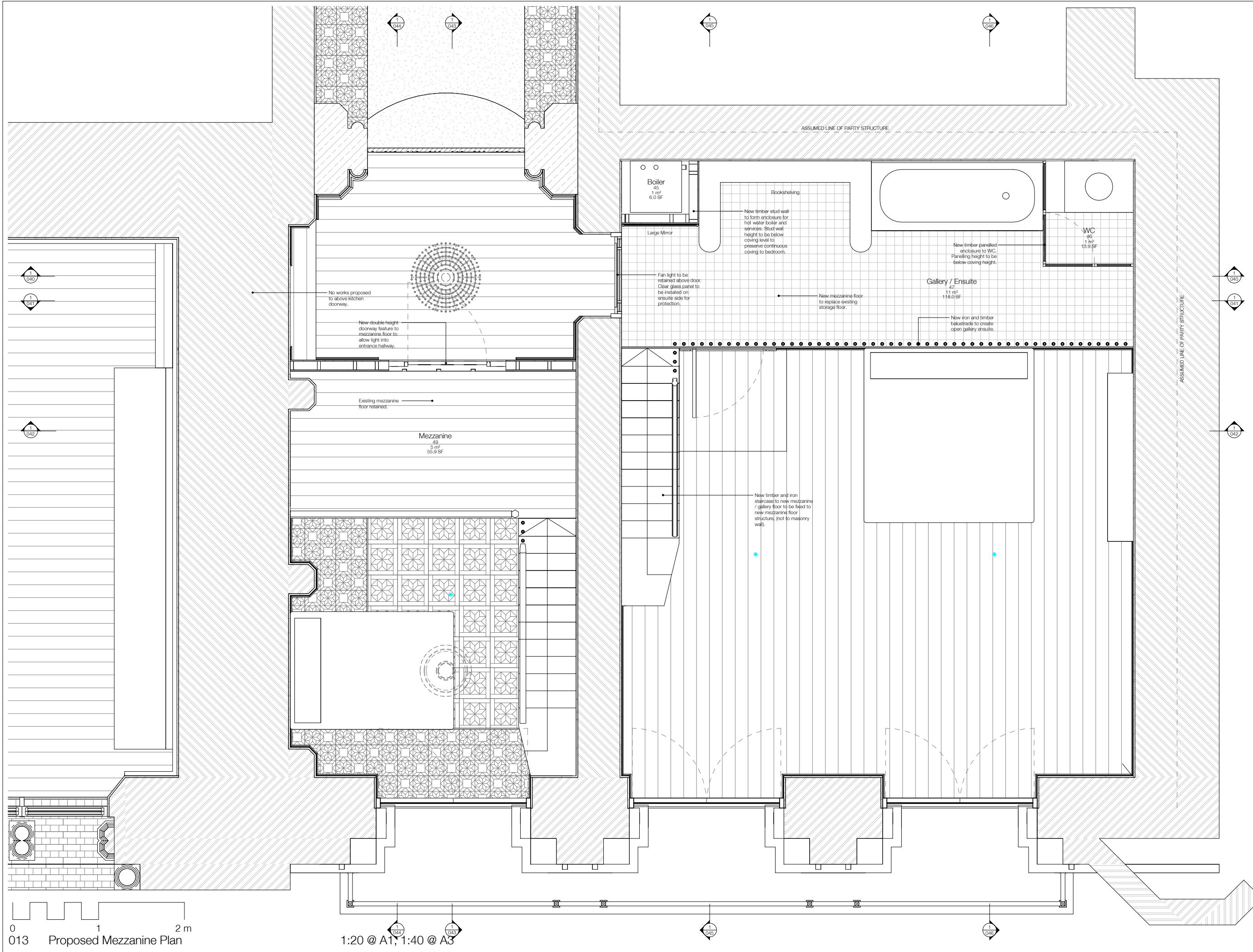


PLANNING

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: Second
Drawing: Plan
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 012
Revision: /



Architectural Information - The level of detail shown on the drawings is related to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting out - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and any indicative construction build-ups only.

Building Control - Where there is an on-going Architect's appointment, the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Planning/Permitted Development - Where there is an on-going Architect's appointment, the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and later responsible for the discharge of any planning conditions.

Services Information - Any services information shown (placental layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, ceiling/gypsum/ wiring/ conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters within the deeds/lease/documents/solicitor's reports relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners', agreements and permissions from freeholders or restrictive conditions or covenants.

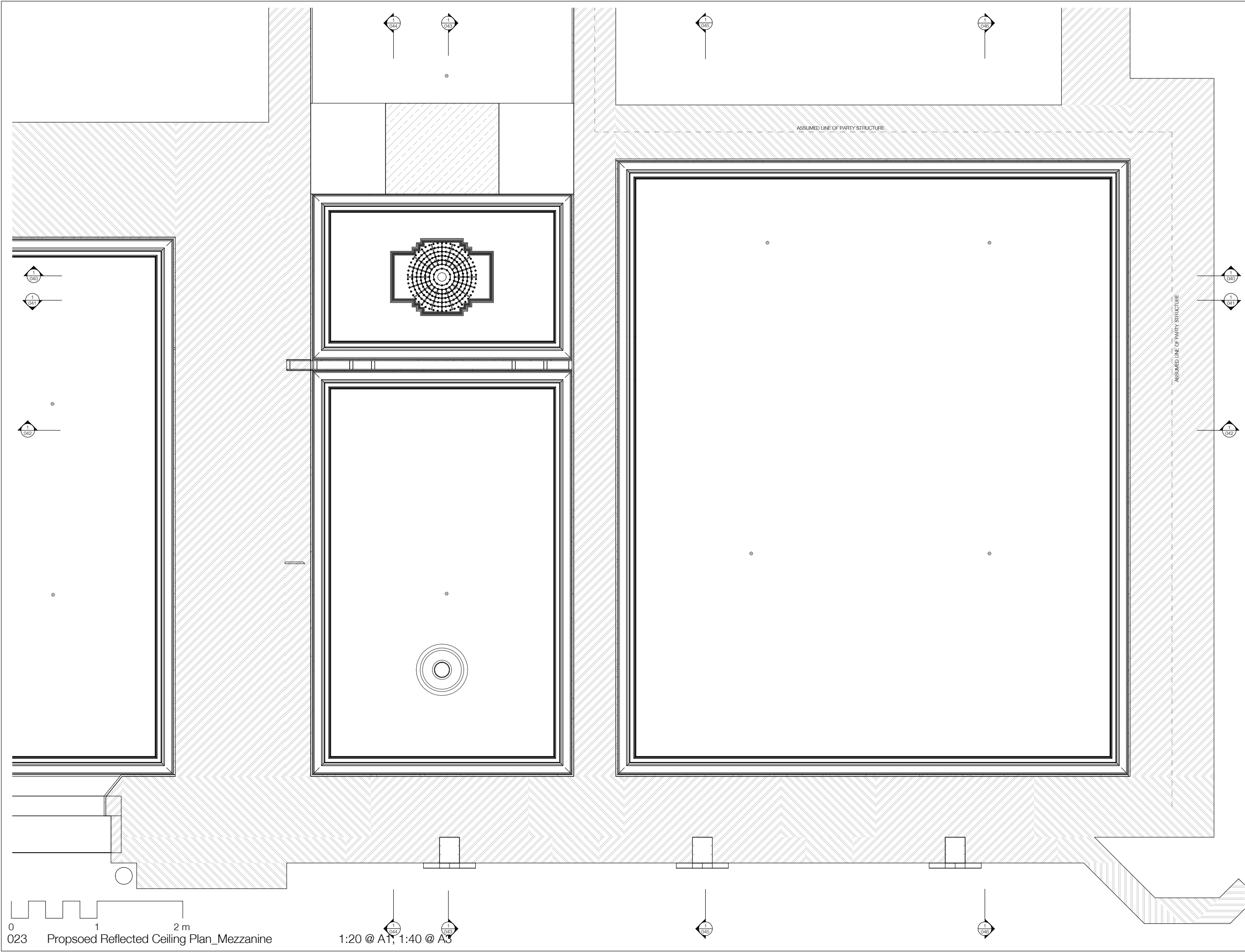
No.	Description	Date

PLANNING

Tim Greatrex
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: Mezzanine
Drawing: Plan
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 013
Revision: /



Architectural Information - the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting out - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and above indicative construction build-ups only.

Building Control - Where there is an on-going Architect's appointment, the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Planning/Permitted Development - Where there is an on-going Architect's appointment, the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (placental layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/ comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, ceiling (downward) wiring/ conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters within the deeds/lease/documents/solicitor's reports relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners', agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

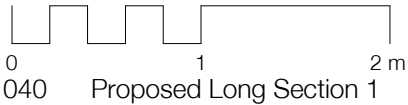
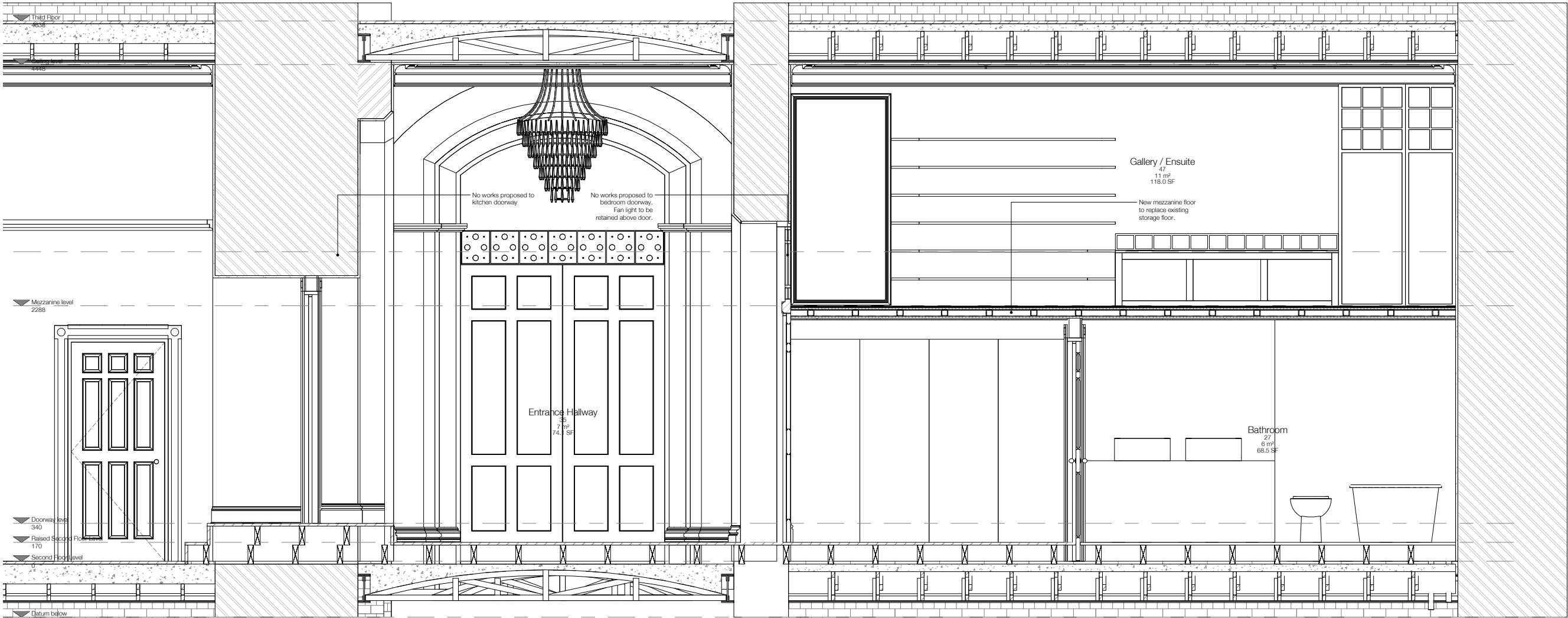
PLANNING

Notes:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: Mezzanine
Drawing: Reflected Ceiling Plan
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 023
Revision: /



1:20 @ A1, 1:40 @ A3

Architectural Information - The level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

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Planning/Permitted Development - Where there is PLANNING on going Architect's appointment, the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/ comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, cabling (power/ wiring) conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

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Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

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Legal Matters - The client is responsible for identifying and addressing matters within the deeds/lease/documents/solicitor's reports relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners', agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

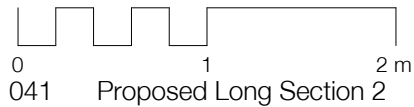
Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 040
Revision: /

APARTMENT 3.09 ST PANCRAS CHAMBERS



ST PANCRAS HOTEL



1:20 @ A1, 1:40 @ A3

Architectural Information - the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

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Glazing Information - A specialist measured/ topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

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No.	Description	Date

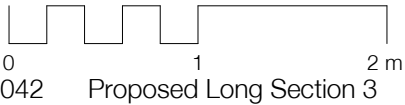
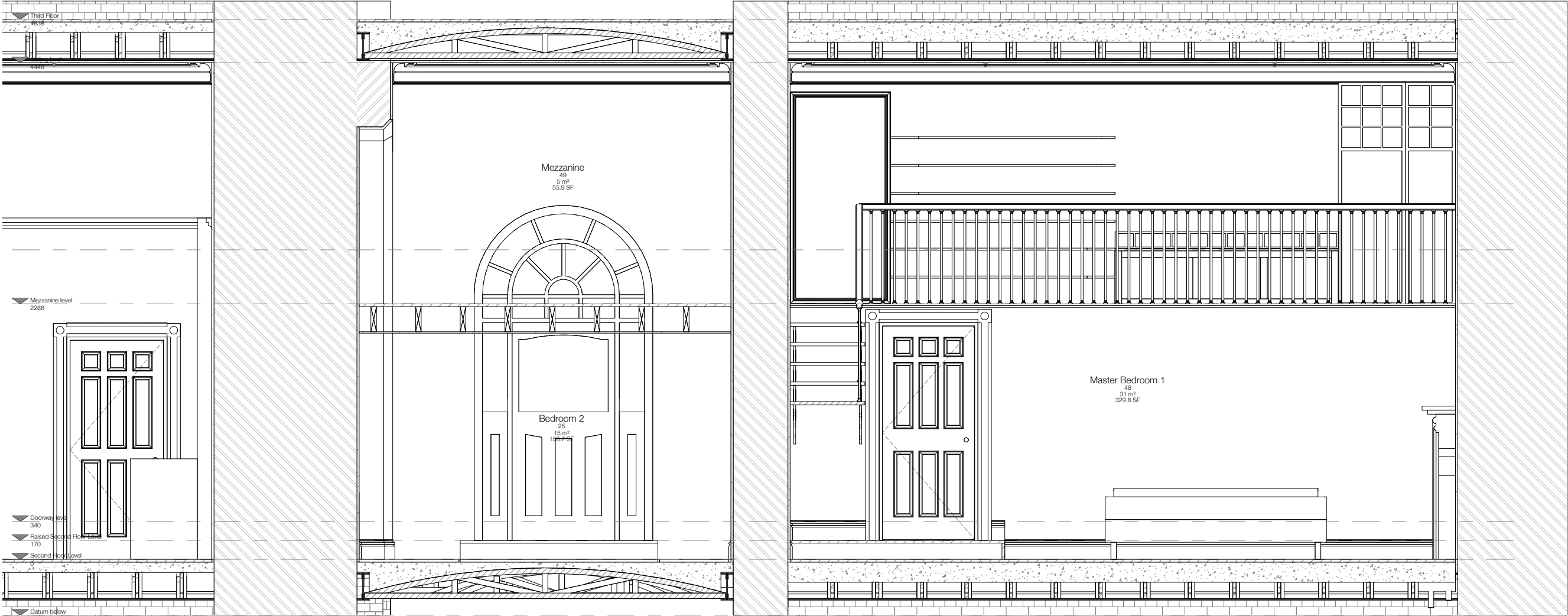
PLANNING

Notes:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 041
Revision: /



1:20 @ A1, 1:40 @ A3

Architectural Information - the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

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Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

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No.	Description	Date

PLANNING

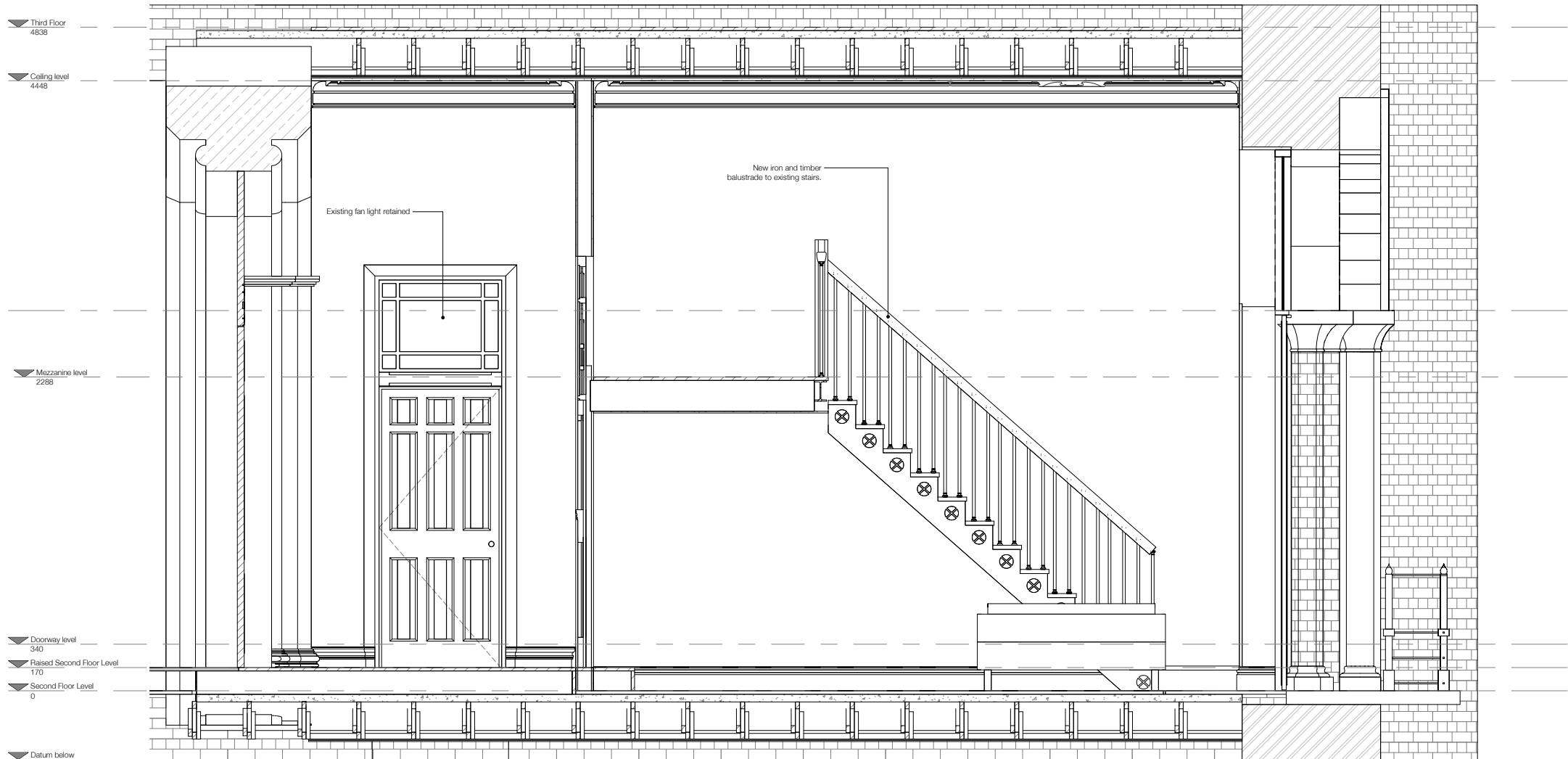
Notes:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 042
Revision: /

APARTMENT 3.09 ST PANCRAS CHAMBERS



ST PANCRAS HOTEL

0 1 2 m
043 Proposed Short Section 1

1:20 @ A1, 1:40 @ A3

Architectural Information - the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

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Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

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No.	Description	Date

PLANNING

Note:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 043
Revision: /

Architectural Information - the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

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Planning/Permitted Development - Where there is PLD on going, Architect's appointment: The client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/ comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, cabling (power)/ wiring/ conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

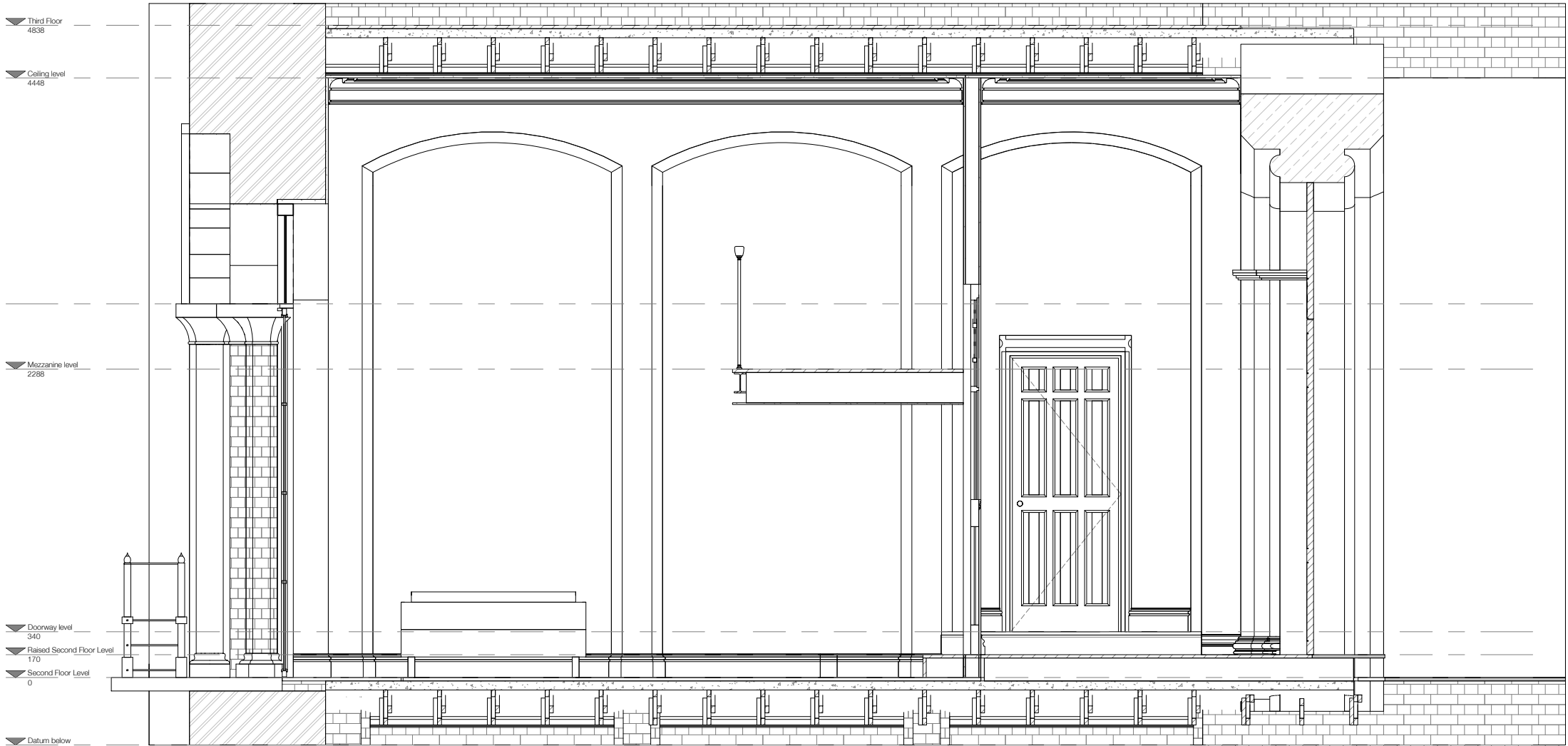
Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

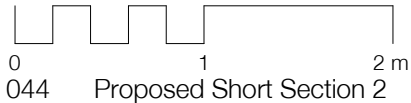
Existing Information - A specialist measured/ topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

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APARTMENT 3.09 ST PANCRAS CHAMBERS



ST PANCRAS HOTEL



1:20 @ A1, 1:40 @ A3

No.	Description	Date

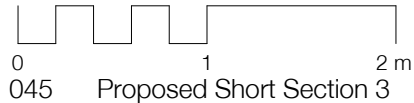
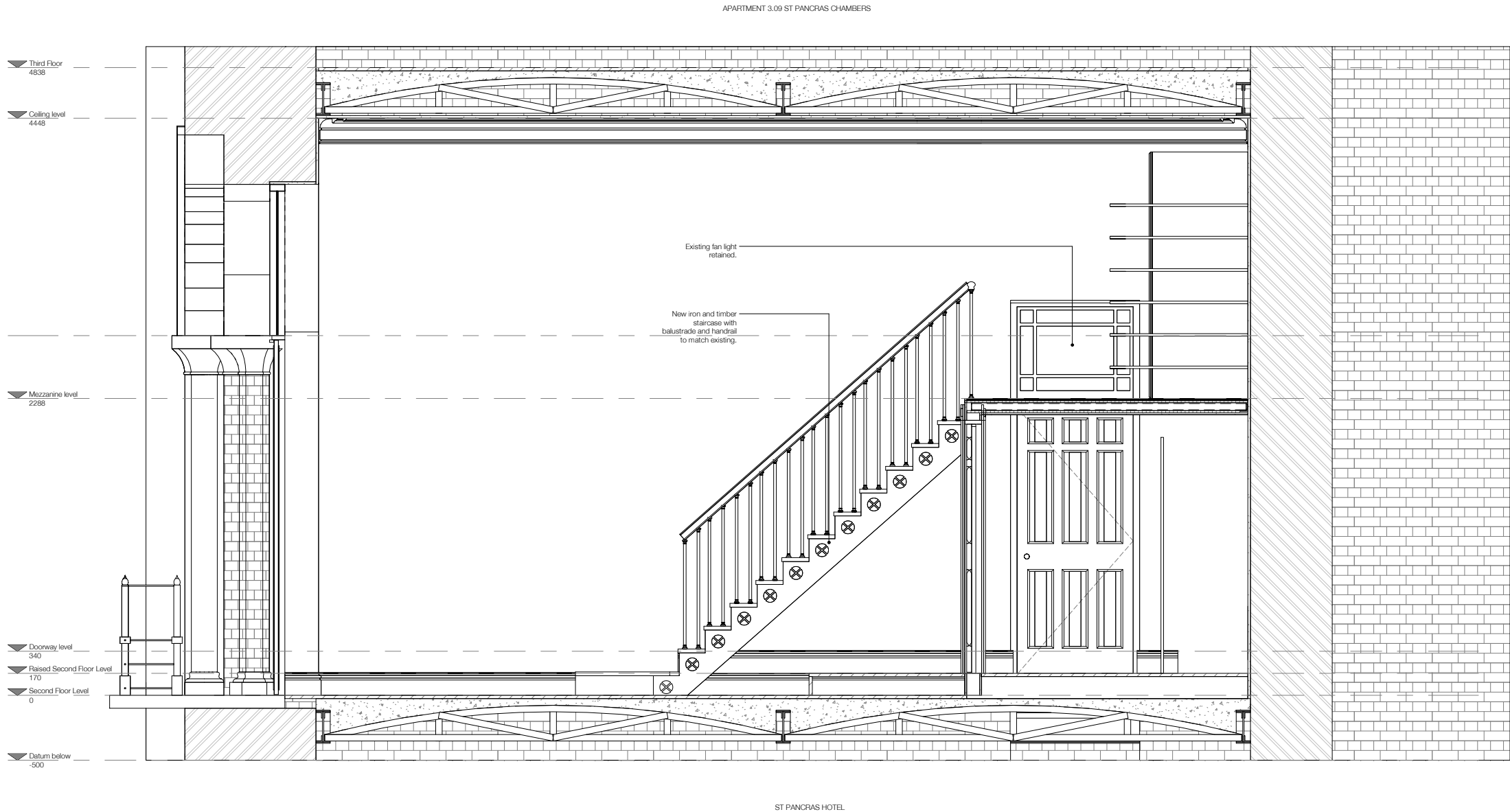
PLANNING

Notes:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 044
Revision: /



1:20 @ A1, 1:40 @ A3

Architectural Information - the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting out - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and should be checked on site, see above.

Structure & Construction - Where there is an on-going Architect's appointment, the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Planning/Permitted Development - Where there is an on-going Architect's appointment, the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (placental layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/ comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, cabling (power/ data) wiring/ conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters within the deeds/lease documents/solicitor's reports relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners', agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

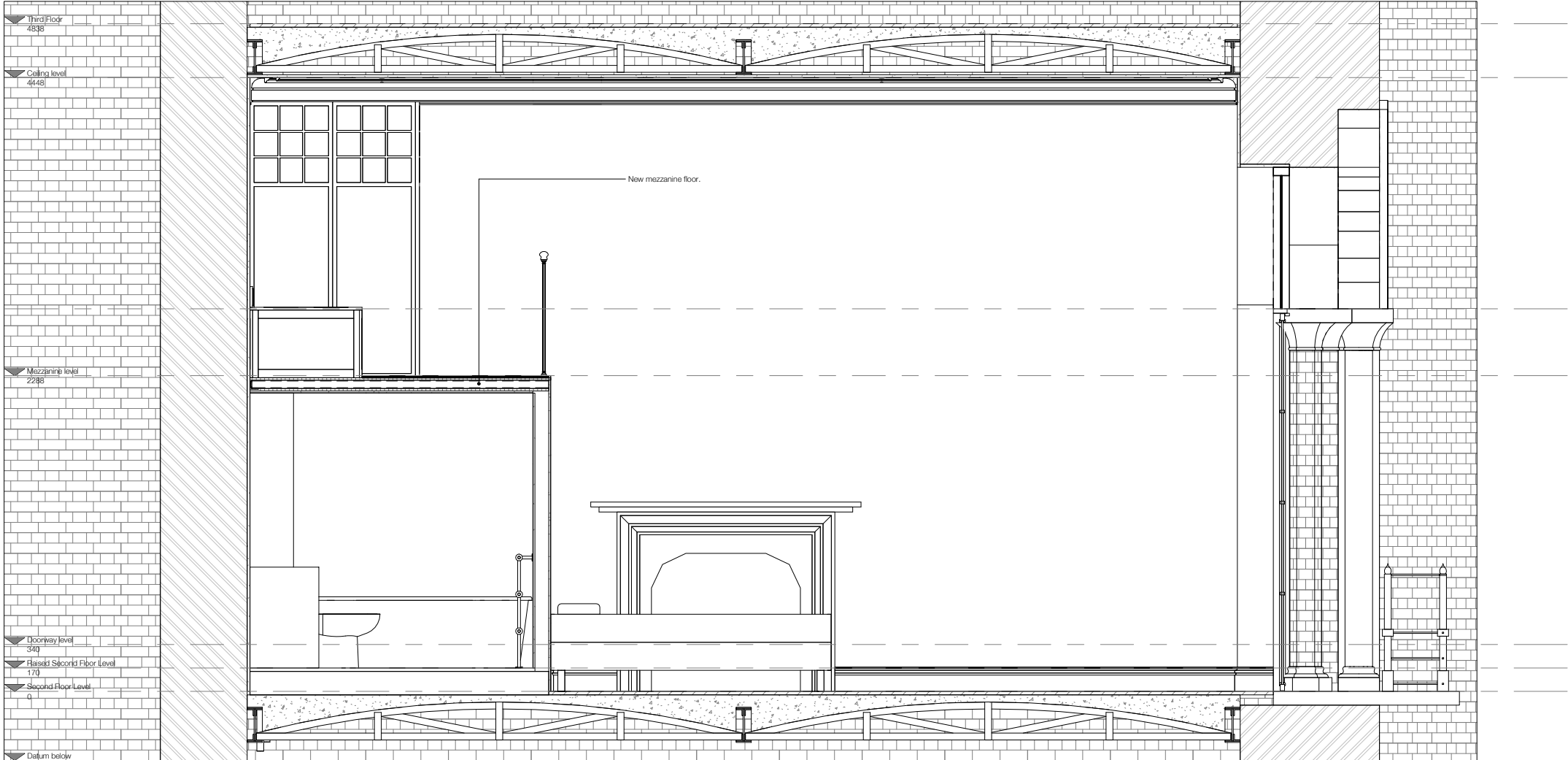
Notes:
Do not scale from the drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

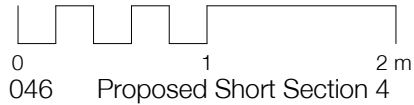
Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 045
Revision: /

APARTMENT 3.09 ST PANCRAS CHAMBERS



ST PANCRAS HOTEL



1:20 @ A1, 1:40 @ A3

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Dimensions and Setting out - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and above indicative construction build-ups only.

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Planning/Permitted Development - Where there is an on-going Architect's appointment, the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/ comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, cabling (power/ data) wiring/ conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

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Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

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No.	Description	Date
	Contributing owner's comments	

PLANNING

Note:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Section
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 046
Revision: /



Architectural Information – the level of detail shown on the drawings is related to the submission of a PLANNING PERMITTED DEVELOPMENT APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting out – should be checked on site; see above for further information. These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.

Building Control – Where there is a planning application, the client / the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Glazing Allowances will need to be negotiated with Building Control as per Approved Document L1B Conservation of Fuel and Power.

Planning/Permitted Development – Where there is a planning application, the client / the contractor will ensure that the project is completed in accordance with the approved Planning drawings and later responsible for the discharge of any planning conditions.

Services Information – Any services information shown (placental layout, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning comfort cooling/ air extract installations, entry phone systems, intruder alarm systems, telecommunications/ audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water/ gas or electric intake and meter positions, cabling (power/ data) wiring/ conduit positions, service ducts/manholes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light – The client will ensure that any notices and consents required are obtained before work commences.

Archaeological & Ecological – The client will ensure that any notices and consents required are obtained before work commences.

Glazing Information – A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. External information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters – The client is responsible for identifying and addressing matters within the deeds/leasehold documents/solicitor's reports relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners', agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date
1	Contributing to the Planning	
2		
3		

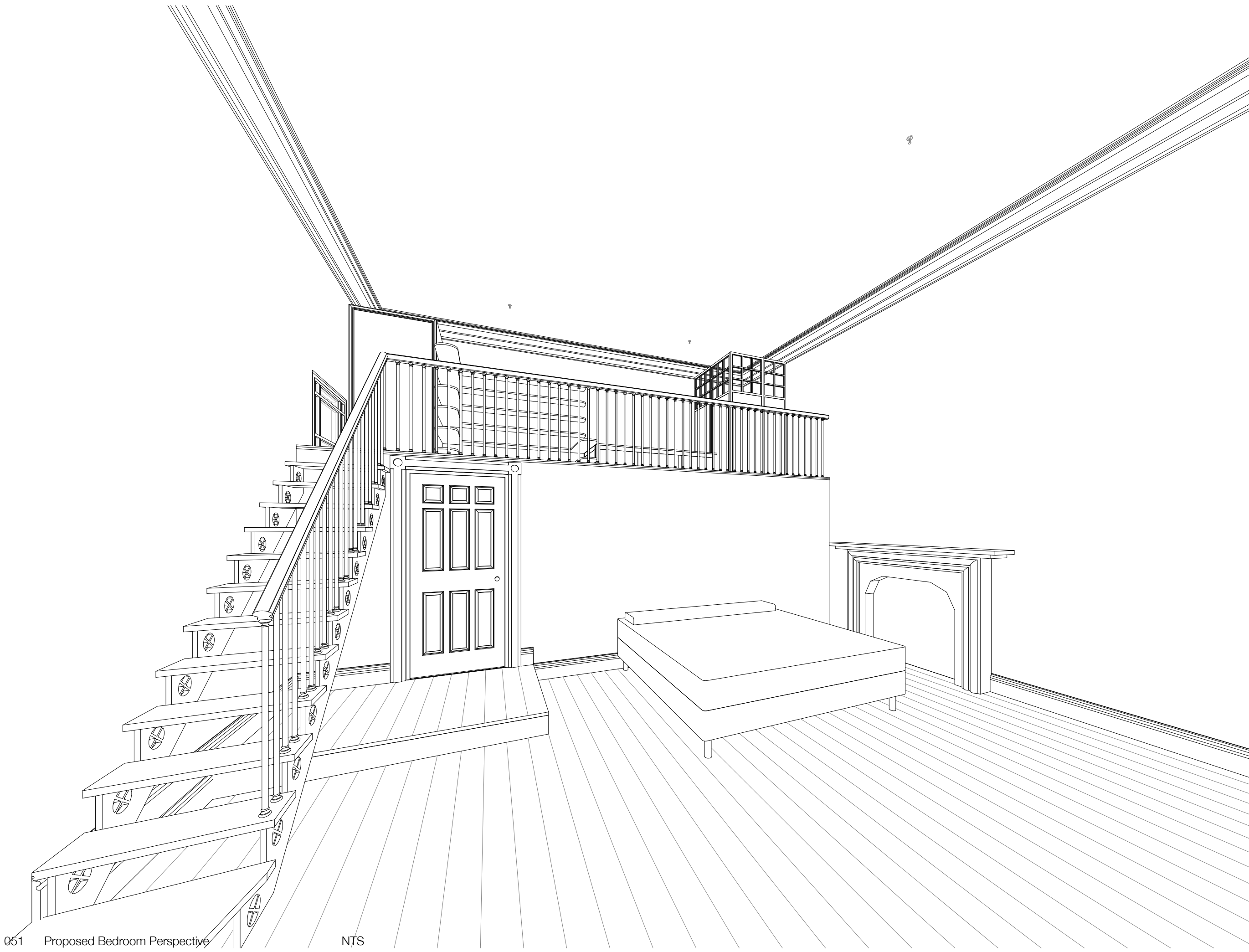
PLANNING

Notes:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Perspective
Scale: NTS
Drawing No: 050
Revision: /



051 Proposed Bedroom Perspective

NTS

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No.	Description	Date

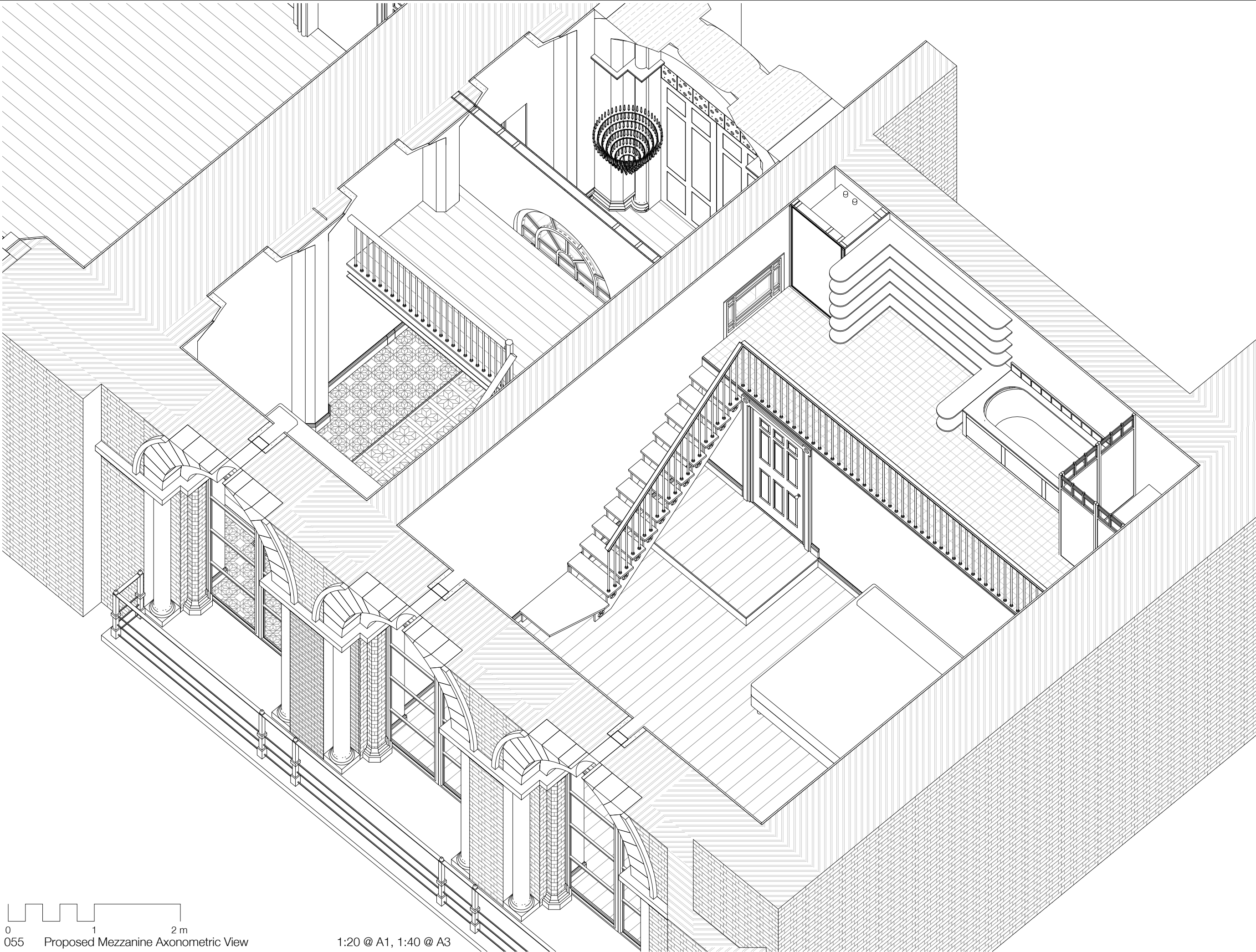
PLANNING

Note:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Perspective
Scale: NTS
Drawing No: 051
Revision: /



Architectural Information - the level of detail shown on the drawings is relevant to the submission of a PLANNING APPLICATION. The drawings should therefore not be used for any other purpose (such as Building Regulations, Party walls, Costing, Contract or Construction) without subsequent checking / development by others.

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Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/ building. Existing information and neighbouring buildings information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters within the deeds/lease documents/solicitor's reports relating to their particular property that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners', agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Note:
Do not scale from this drawing. All dimensions to be checked on site by the contractor and to his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 2.09 St Pancras Chambers
Job No: 107
Level: n/a
Drawing: Axonometric
Scale: 1:20 @ A1, 1:40 @ A3
Drawing No: 055
Revision: /