

Mr Lefkos Kyriacou
Figure 1 Architects
101-103 Heath Street
London
NW3 6SS
United Kingdom

Application Ref: **2016/1742/P**
Please ask for: **Raymond Yeung**
Telephone: 020 7974 **4546**

20 June 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
8 Rothwell Street
London
NW1 8YH

Proposal: Conversion of existing 1.no x basement studio flat and 1.no 3-bed dwelling into a single dwelling house. Replacement of windows and door with new windows and door at basement level to the rear elevation.

Drawing Nos: Site location plan, 1506_L111 Existing Basement Plan_rev C, 1506_L112 Existing Ground Floor Plan_rev C, 1506_L113 Existing First Floor Plan_rev C, 1506_L114 Existing Second Floor Plan_rev C, 1506_L115 Existing Roof Plan_rev C, 1506_L201 Existing Section_rev C, 1506_L501 Existing Front Elevation_rev C and 1506_L502 Existing Rear Elevation_rev C, 1506_L111 Proposed Basement Plan_rev F, 1506_L112 Proposed Ground Floor Plan_rev F, 1506_L113 Proposed First Floor Plan_rev F, 1506_L114 Proposed Second Floor Plan_rev F, 1506_L115 Proposed Roof Plan_rev D, 1506_L201 Proposed Section_rev F, 1506_L501 Proposed Front Elevation_rev D, 1506_L502 Proposed Rear Elevation_rev F and Design and Access & Heritage Statement Updated 13.06.16.

The Council has considered your application and decided to grant permission subject to the following conditions:



Conditions and Reasons:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site location plan, 1506_L111 Existing Basement Plan_rev C, 1506_L112 Existing Ground Floor Plan_rev C, 1506_L113 Existing First Floor Plan_rev C, 1506_L114_Existing Second Floor Plan_rev C, 1506_L115_Existing Roof Plan_rev C, 1506_L201 Existing Section_rev C, 1506_L501 Existing Front Elevation_rev C and 1506_L502 Existing Rear Elevation_rev C, 1506_L111 Proposed Basement Plan_rev F, 1506_L112 Proposed Ground Floor Plan_rev F, 1506_L113 Proposed First Floor Plan_rev F, 1506_L114_Proposed Second Floor Plan_rev F, 1506_L115_Proposed Roof Plan_rev D, 1506_L201 Proposed Section_rev F, 1506_L501 Proposed Front Elevation_rev D, 1506_L502 Proposed Rear Elevation_rev F and Design and Access & Heritage Statement Updated 13.06.16.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informatives:

- 1 Reasons for granting permission.

The application property is located at the end of a mid-Victorian terrace within the Primrose Hill Conservation Area. It is designated as grade II listed.

Policy DP2 generally advises against the net loss of two or more properties in Camden. As this application proposes the loss of only one unit, it is considered that the proposal would not result in demonstrable harm to the housing stock in the borough. The resulting residential accommodation is considered to be acceptable and would provide a good standard of accommodation for future occupiers in terms of size, layout, daylight, privacy and amenity.

The proposed replacement of windows and door with new windows and door at

basement level to the rear elevation are considered acceptable, subservient, sympathetic and suitable for the hosted listed property and the conservation area.

Due to the nature and size of the proposal, it is considered that there would not be any negative impact on the existing levels of residential amenity experienced by surrounding occupiers and the proposal is therefore considered acceptable.

The re-use of the existing vaults at lower ground floor level as a bicycle / utility store is welcome. The car parking and waste/refuse arrangements are likely to stay the same and the nature of the proposal is likely to reduce the intensity of such uses.

Primrose Hill CAAC withdrew their initial objection following the receipt of revised drawings. No objections have been received prior to making this decision. The planning history of the site and surrounding area has been taken into account when coming to this decision.

Special regard has been attached to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, under s.66 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013. Special regard has been attached to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, under s.66 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposed development is in general accordance with policies CS5, CS6 and CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP2, DP5, DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4 and 7.6 of The London Plan 2016 and paragraphs 14, 17, 47-55, 56 -68 and 126-141 of the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out

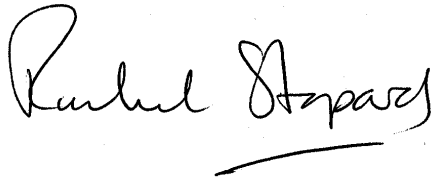
construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath the name.

Rachel Stopard
Director of Supporting Communities