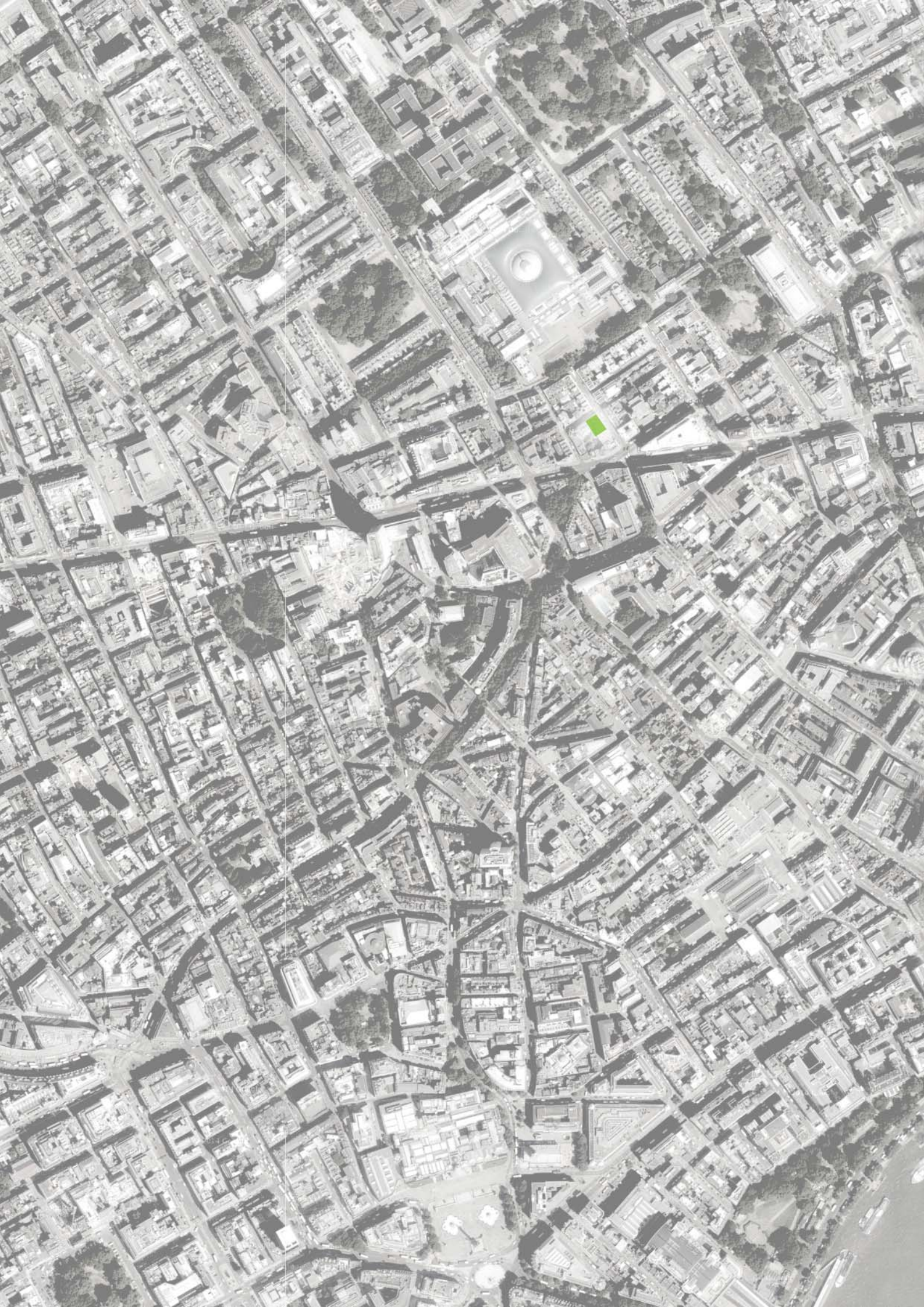


An aerial photograph of a dense urban neighborhood, likely in New York City, showing a grid of streets, numerous buildings, and a river with several boats. The image is slightly faded and serves as a background for the text.

Museum House

Design, Access & Lifetime Homes Statement





Contents

1.0 Introduction

1.1 Introduction

2.0 Site

2.1 Appearance (Architectural Response)

2.2 Internal Views - Second and Third Floor

3.0 Evaluation and Design Evolution

3.1 Lateral Apartments

3.1.1 Second Floor

3.1.2 Third Floor

3.2 Layout and Impact on Existing Fabric

3.2.1 Second Floor

3.2.2 Third Floor

4.0 Access

4.1 Pedestrian Access

4.2 Access for Cyclists and Storage

4.3 Waste Management

5.0 LifeTime Homes

5.1 LifeTime Homes Assessment

6.0 Sustainability

6.1 Sustainability

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1. Introduction

1.1 Project Description

Museum House (nos 23-26 Museum Street) sits within the Bloomsbury Conservation Area.

The building was constructed around 1890 and is a brick faced, flat roofed five storey building fronting Museum St and Little Russell St. At present it has mixed retail and commercial uses at ground floor level. Above, all the floors have lawful use for either office or residential purposes (see covering letter for details), although various elements of the office floor space are presently vacant.

There is a basement to the building which consists of ancillary spaces for storage for use by the upper floor tenants and common plant for the upper floors.

This document should be read in conjunction with the covering letter prepared by Prime Planning and Development Ltd.

This planning application presents the proposal for a change of use to convert part of the second floor from offices to provide one residential apartment and the conversion of the entire third floor from offices to provide 2 residential apartments.



Bloomsbury Conservation Area Boundary.



1.2 Appearance

The images on this page show the main elevations to Museum Street and Little Russell Street.



Museum Street Elevation



Little Russell Street Elevation

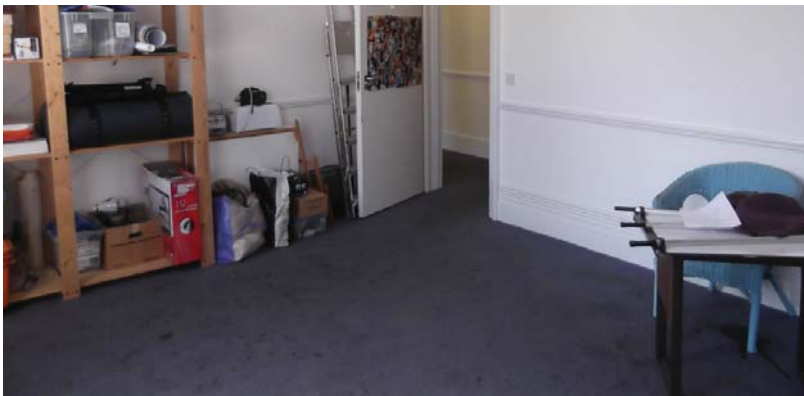


2. Assessment

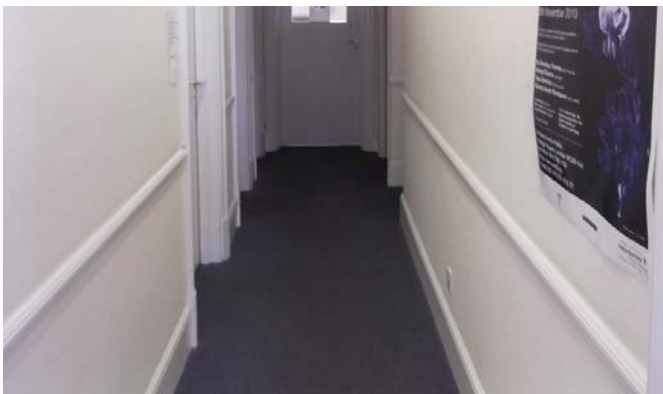
2.2 Internal Views - Second and Third Floor

These images of the interior of the second and third floor show that there is little character in terms of period details within the existing office spaces.

The existing office spaces are small compared to modern spatial requirements, are heavily compartmentalised, cellular in nature and with limited capacity either to change or to adapt them for current requirements.



Second floor



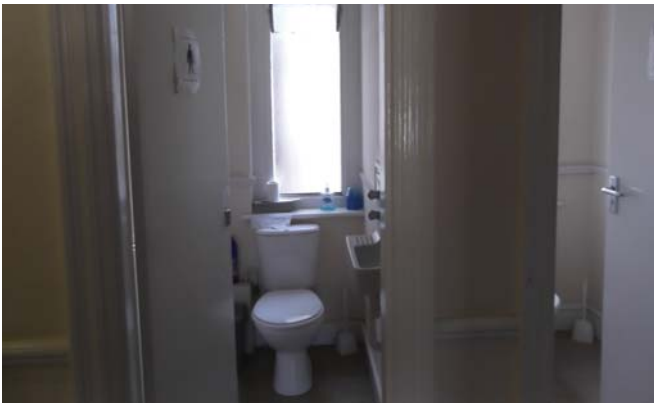
Second floor



Third floor



Third floor



Third floor

3. Evaluation and Design Evolution

3.1 Lateral Apartments

3.1.1 Second Floor

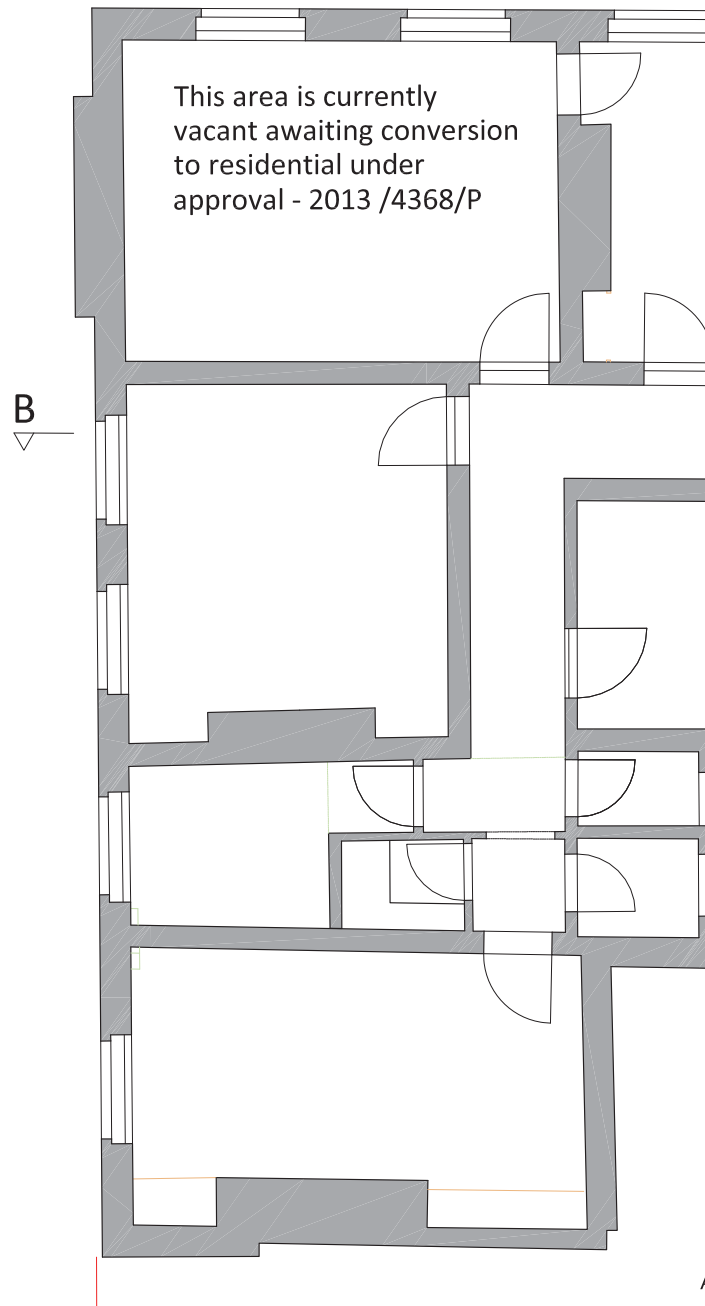
The proposal is to convert the third floor into 2 apartments and part of the second floor into one apartment. The external elevations will be not affected.

The plan on this page illustrates the possibility of converting part of the second floor into one apartment.

Unit 2B (purple) 99.38 sqm: existing internal non load bearing partitions which define the kitchen and toilet areas will be removed. Existing walls are removed to create a kitchen/dining/living room. New door openings are proposed to enter the en-suites and a number of existing openings will be blocked off. A new central services riser is created in the centre of the building to accommodate the new kitchen.

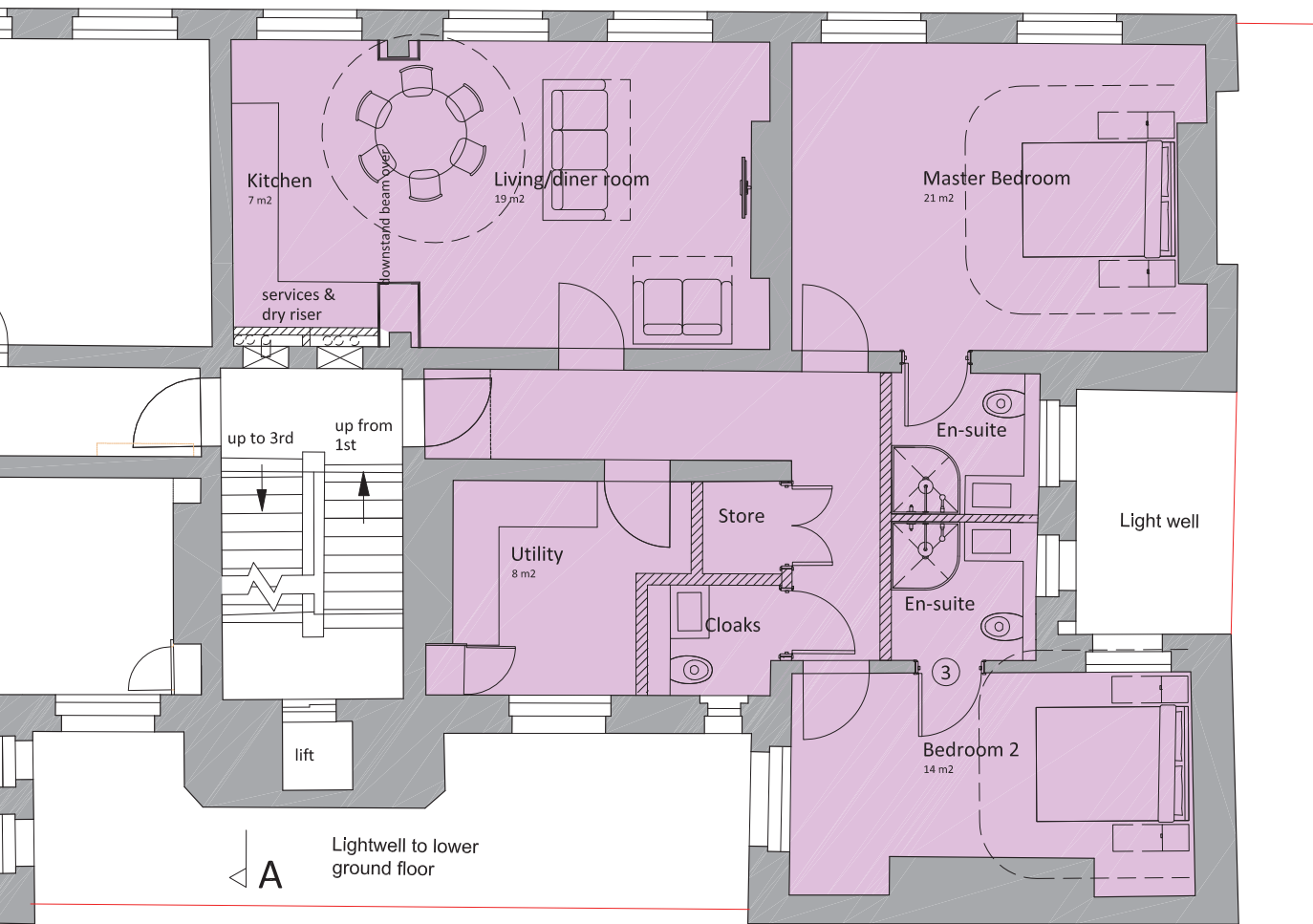
The unit will have a living space facing Museum Street and bedrooms facing Museum St and rear light well.

Where possible the location of the bathrooms takes into consideration existing drainage and boiler locations in order to minimise the impact on the existing fabric and infrastructure.



A

Apartment B



Adjacent property

3. Evaluation and Design Evolution

3.1 Lateral Apartments

3.1.2 Third Floor plan

The plan on this page illustrates the possibility of converting the space into two residential units on the fourth floor.

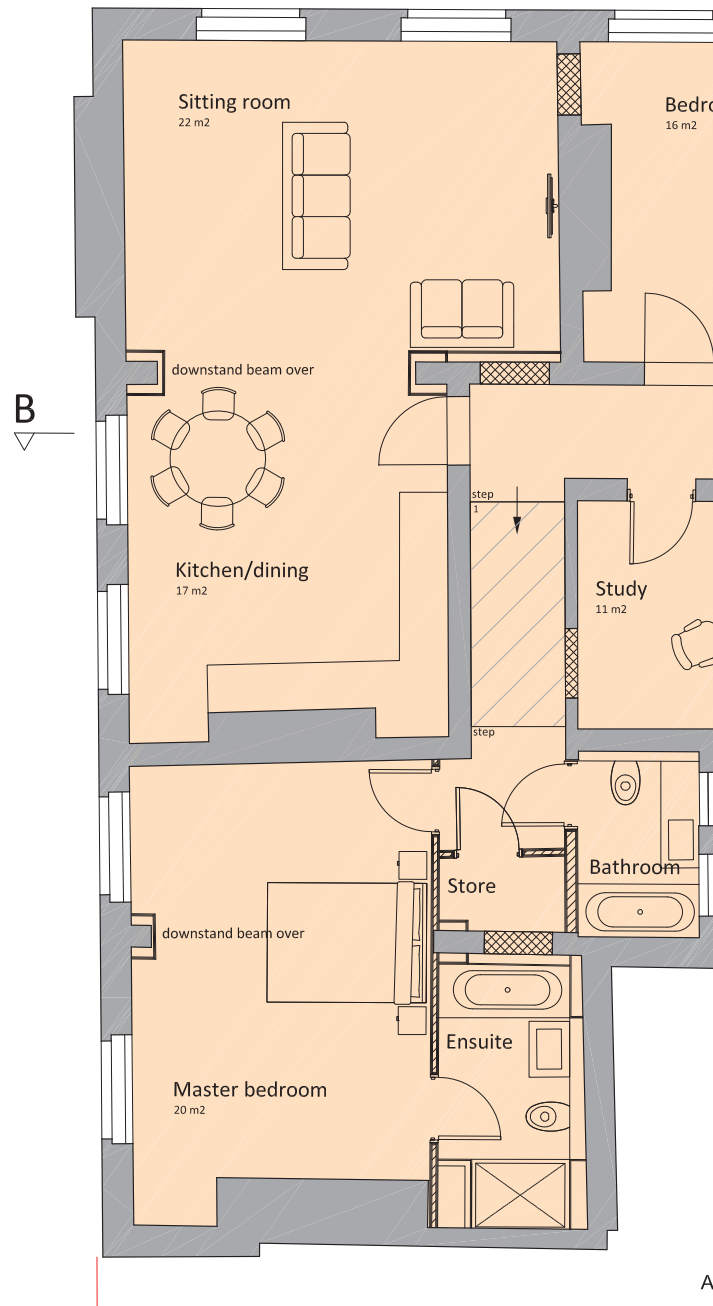
Unit 3A (orange) 123 sqm: existing internal partitions which define the kitchen and toilet areas will be removed. Two existing walls are removed to create a master bedroom and a kitchen/dining/living area. A number of existing openings will be blocked off. There will be a new door opening to the study.

Unit 3B (purple) 99.38 sqm: existing internal non load bearing partitions which define the kitchen and toilet areas will be removed. Existing walls are removed to create a kitchen/dining/living room. New door openings are proposed to enter the en-suites and a number of existing openings will be blocked off. A new central services riser is created in the centre of the building to accommodate the new kitchen.

Both units will have a living space facing Museum Street and all bedrooms, with the exception of 1 in 3B, are located on the frontage of either Museum St or Little Russell St.

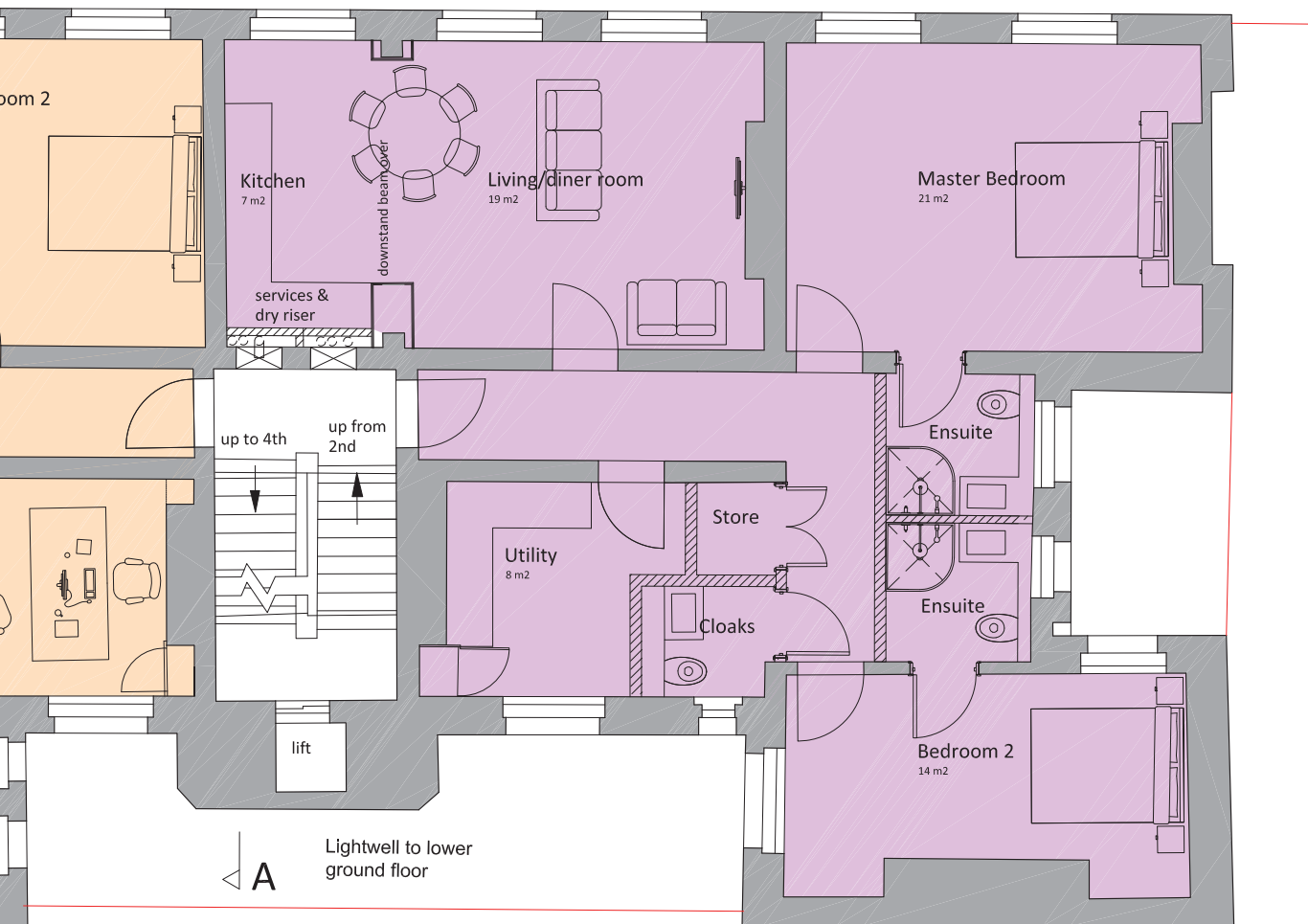
Where possible the location of the bathrooms takes into consideration existing drainage and boiler locations in order to minimise the impact on the existing fabric and infrastructure.

Apartment A



A

Apartment B



A Lightwell to lower ground floor

adjacent property

3. Evaluation and Design Evolution

3.2 Layout and impact on existing fabric

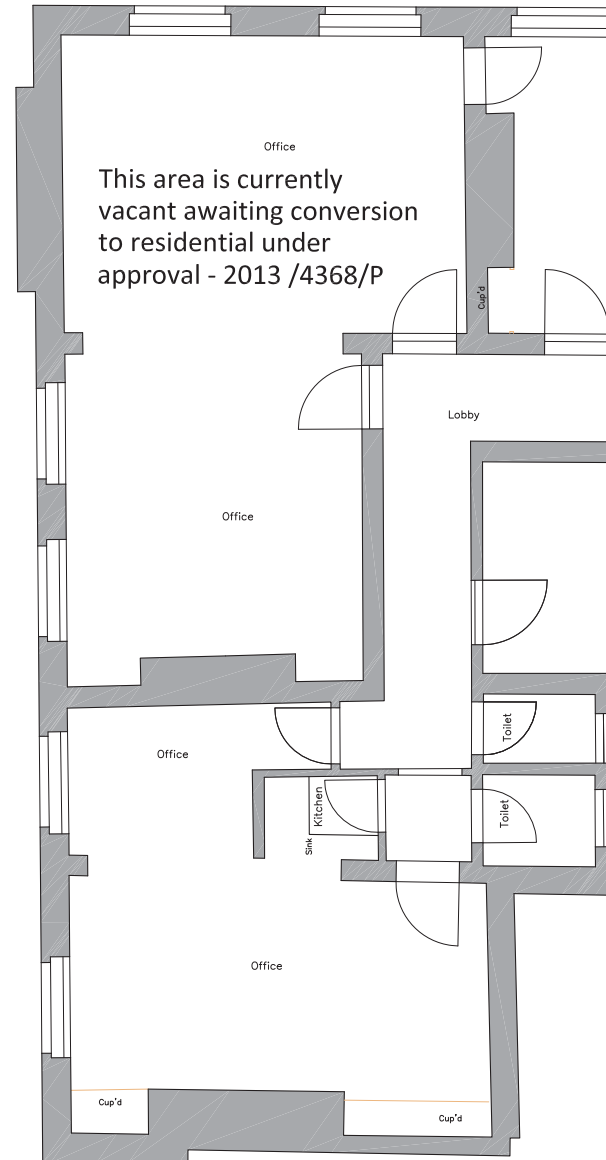
3.2.1 Second Floor Plan

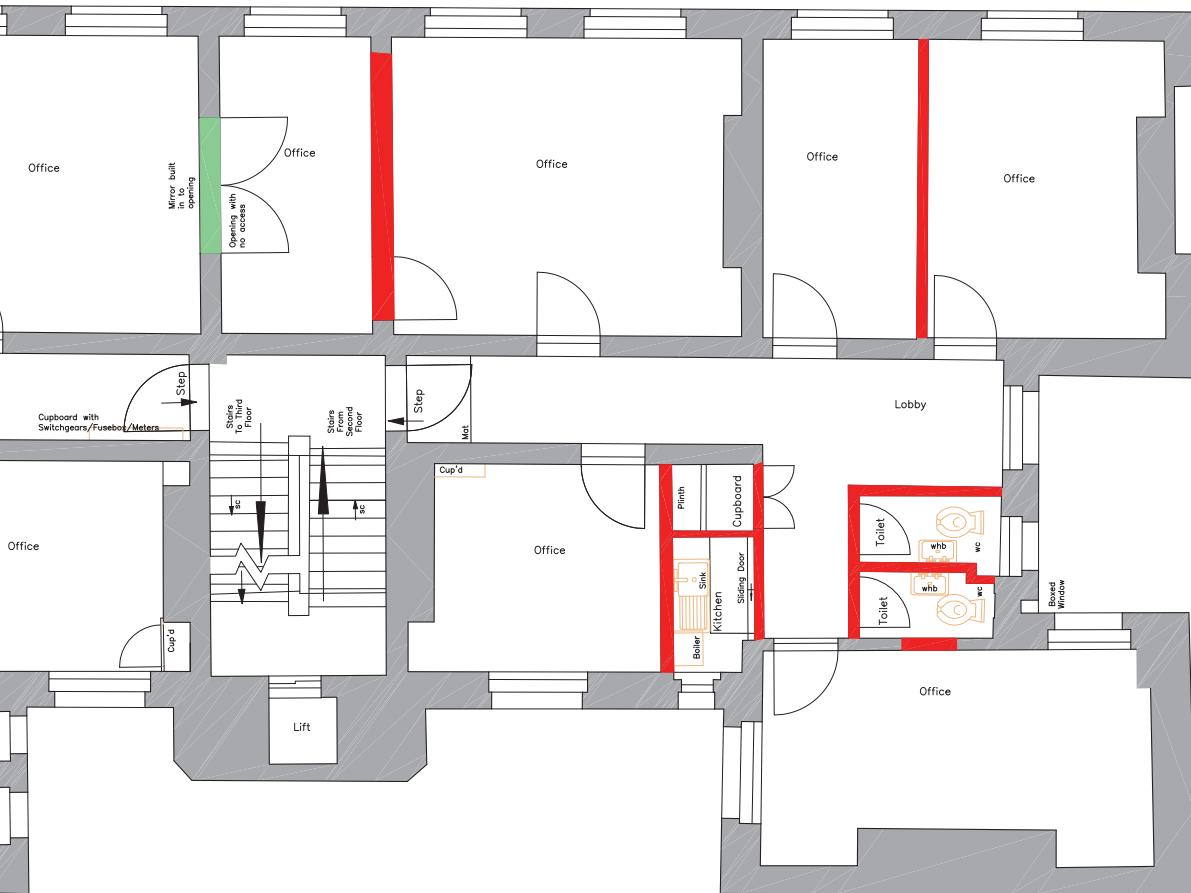
The accompanying drawings show the following:

- Existing partitions removed shown in red
- New door openings shown in red
- Existing door openings blocked off shown in green.

Overall the proposal has a minimal impact on the existing fabric and there are no changes to the elevations, or fenestration patterns.

Where possible the proposed toilets and kitchens take advantage of existing drainage and ventilation points.





3.2 Layout and impact on existing fabric

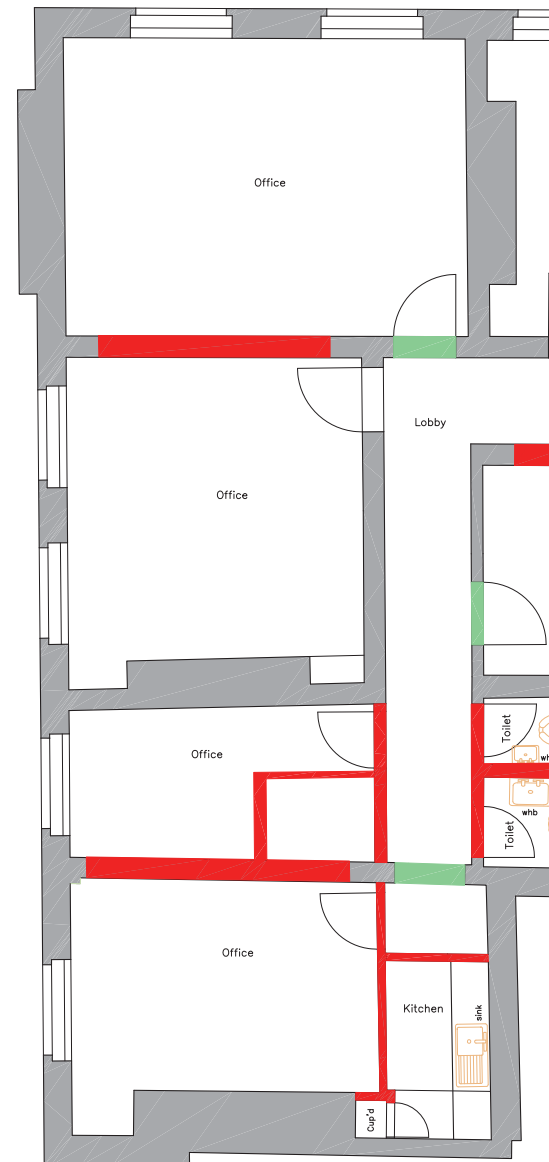
3.2.2 Third Floor plan

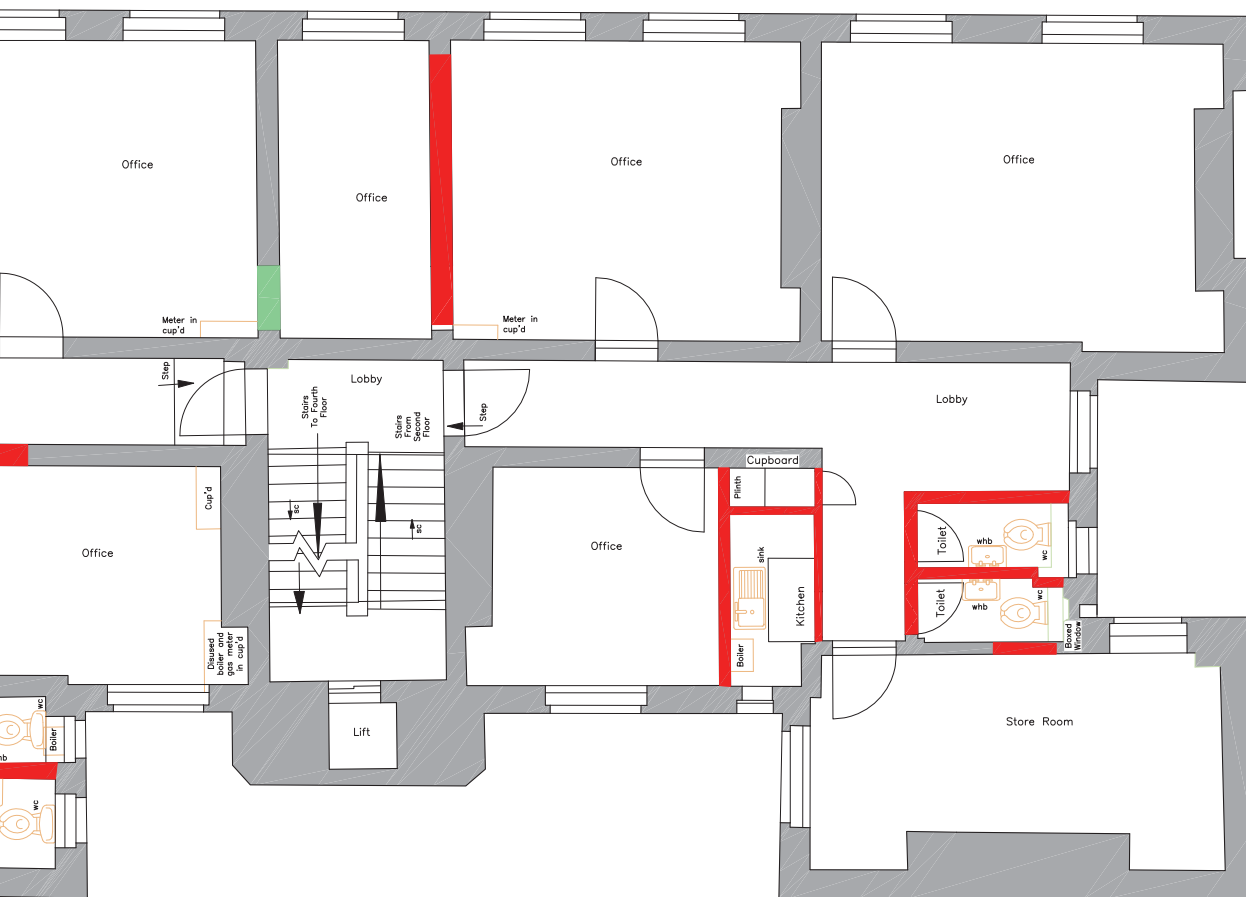
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Overall the proposal has a minimal impact on the existing fabric and there are no changes to the elevations, or fenestration patterns.

Where possible the proposed toilets and kitchens take advantage of existing drainage and ventilation points.





4.0 Access

4.1 Pedestrian Access

This is an existing building set within a conservation area and the conversion to apartments seeks to minimise the impact on the fabric at all times.

The existing entrance arrangements will remain: a single step at street level and 2 additional steps within the lobby.

The main entrance doors will be managed by an electronic lock with audio visual facility. The residents will have a keypad for typing in the apartment number. There will be a maintenance number for the post service to use.

On each floor, the apartments will have an insurance quality 5 lever key lock.

4.2 Access for cyclists and storage

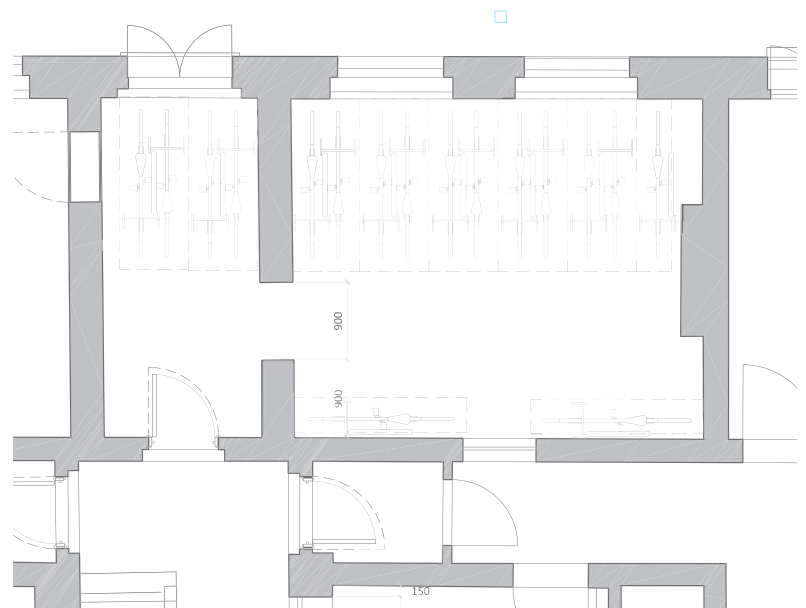
Access for cyclists is through the main entrance door. A dedicated bike store will be located in the basement, for which access is down a flight of stairs. The area in the basement will be secure and access will be either by key or keypad style lock. The key or combination for the keypad will be known only by the residents.

4.3 Waste Management

The existing apartments have their waste collected direct from the street by the Local Authority at regular intervals.

It is proposed that the current arrangement is maintained and the new apartments follow the same procedures.

Each apartment will have 3 no 10lts storage containers in the kitchen which will allow waste to be segregated for recycling etc.



Bike store - lower ground floor

5.0 Life Time Homes

5.1 Life Time Homes Assessment

This is an existing building set within a conservation area and the conversion to apartments seeks to minimise the impact on the fabric at all times.

The table below gives an assessment for the 3 apartments being proposed.

Item	Criteria	Compliance notes
01	Wide car parking space	No
02	Access from car parking to dwelling	Yes- Level pavement and car parking available at pavement side within the location but no disabled spaces.
03	Approach to entrances	Yes – level pavements
04	Entrances	No – this is an existing entrance within a conservation area.
05	Communal stairs and lifts	No – existing stair and lift within the building is to remain
06	Widths of internal doorways and hallways	No – partially achieved in new openings only but existing openings do not
07	Other circulation space	Yes
08	Entrance level living space	Yes
09	Potential temporary bed-space at entrance level	Yes
10	Wheelchair accessible entrance level WC and drainage for shower	No – existing structure does not allow for these
11	WC and bathroom wall capable of supporting grabrails	Yes
12	Potential for stair lifts/through floor lifts	N/A
13	Potential for fitting hoists and bathroom bedroom relationship	Yes
14	Ease of access in bathroom	No
15	Glazing and window handle heights	No – existing window arrangement has to remain due to conservation area status
16	Location of service controls	Yes

6.0. Sustainability

6.1 Sustainability

As part of the proposed works there will be a number of upgrades to the existing building fabric and services which will improve the energy usage within the building.

Fabric

The external walls of the apartments will be lined with insulated plasterboard to improve the thermal performance of the units.

Heating Element

The apartments will have a modern gas condensing boiler fitted to provide hot water and heating.

Lighting

The electrics will be replaced and lighting provided will be of a low energy type.

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