



Nathaniel Lichfield
& Partners

Planning. Design. Economics.

**The Hill Public House, Haverstock Hill,
London, NW3 2BD**

**Planning and Heritage Assessment
with Addendum**

Prepared on behalf of Haverstock Hill Ltd
10 June 2016

13853/02/DG/DCa

Nathaniel Lichfield & Partners
14 Regent's Wharf
All Saints Street
London N1 9RL

nlplanning.com

This document is formatted for double sided printing.

© Nathaniel Lichfield & Partners Ltd 2016. Trading as Nathaniel Lichfield & Partners.

All Rights Reserved.

Registered Office:

14 Regent's Wharf

All Saints Street

London N1 9RL

All plans within this document produced by NLP are based upon Ordnance Survey mapping with the permission of Her Majesty's Stationery Office. © Crown Copyright reserved. Licence number AL50684A

Contents

1.0	Addendum to Planning and Heritage Assessment	1
	Justification for the Variation of Conditions.....	1
	Summary	3
2.0	Introduction	5
3.0	Understanding the Context	6
	The Hill Bar & Brasserie	6
4.0	Assessment of Planning and Heritage Matters	9
	1. The impact of the proposals on the Hill Bar & Brasserie (Grade II listed building)	9
	2. The impact of the proposals on the Parkhill Conservation Area.....	11
	3. The impact of the proposals in relation to residential amenity of neighbouring occupiers (including daylight and sunlight)	12
	4. Other material considerations	12
5.0	Analysis of Roof Form	14
	Assessment and Significance of the Roof	15
6.0	Conclusion	16

Appendices

- Appendix 1 Parkhill Conservation Area Boundary Map
- Appendix 2 Listing Description
- Appendix 3 Photograph of The Hill
- Appendix 4 Historic Photograph (undated)
- Appendix 5 Photographs of the Roof Exterior
- Appendix 6 Photographs of the Roof Interior

1.0 **Addendum to Planning and Heritage Assessment**

1.1 In April 2016, planning permission (2015/4510/P) and listed building consent (2015/4739/L) were granted for *“Demolition of roof and internal elements at second floor level, including the introduction of a mansard roof extension behind the existing high level parapet to form a self-contained residential unit and access. Internal and external repairs and restorations of missing features throughout at all levels above ground floor level.”*

1.2 This Planning and Heritage Assessment remains identical to that submitted and considered under the recent planning and listed building consent approvals refs. 2015/4510/P and 2015/4739/L (granted 07 April 2016), with the exception of this introductory Addendum section.

1.3 It should be noted that, although this addendum is in support of these Section 73 applications to vary approved drawings, that the single change proposed to change the approved mansard dormers to French doors, is a reversion to the scheme assessed under the previous Planning and Heritage Assessment, as the change to dormers was requested during the determination period of the previous applications. As such, a full update to the Planning and Heritage Assessment is unnecessary, and this Addendum provides the necessary additional justification for the French doors proposed on the south-west elevation of the approved mansard roof extension.

1.4 This Addendum is specifically to support these applications for the variation of Condition 3 attached to planning permission ref. 2015/4510/P and Condition 2 attached to listed building consent ref. 2015/4739/L. These represent similar conditions requiring that the development permitted shall be carried out in accordance with the approved drawings, which are identical for the two linked approvals (PL01; PL02; PL03; PL09; PL10; PL11; PL12; PL13; PL14; PL20; PL21 Rev A; PL22; PL23; PL24 Rev A; PL25 Rev A; PL26; PL27; PL28).

Justification for the Variation of Conditions

1.5 The proposed minor variation to the approved drawings is for the replacement of the three approved dormer windows on the south-west elevation (behind the front elevation parapet) to be replaced with three French doors in the same locations. This would result in a very minor alteration to the approved drawings.

1.6 The proposal for French doors was included in the pre-application submission (2014/7934/PRE) and the response received from the Council (including comments from Historic England) did not raise any concern with doors in this location. Following submission of applications 2015/4510/P and 2015/4739/L Historic England were again consulted on the proposals and raised no concerns regarding the proposed doors. Historic England’s comments (Ref: L00476012, dated 18 September 2015) stated

“...it would appear that the mansard would be sufficiently set back from the front parapet and of a contained height so as not to significantly impact on this important part of the building and Conservation Area.”

1.7 Despite not previously raising concerns over the proposed doors as part of the pre-application submission or early part of the determination period of the recent applications, the Council raised concern during the latter stage of the determination period, after the consultation period with Historic England had been undertaken with no concerns raised. The Council commented that:

“...it is expected that for a mansard roof extension all other detailing on this listed building accurately reflect the roof's period and style (materials and individual elements contributing to the whole). This requirement means that doors as proposed must be omitted and replaced by traditionally designed and detailed windows, and not doors. The request for a multitude of doors for the purposes of access to maintain the roof is not a valid reason in design terms for a listed building. It is of no consequence if the new fenestration is visible in part or in its entirety (much like other details within a listed building such as horse hair plaster) because this type of traditional detailing is required on all newly approved mansards within historic buildings.”¹

1.8 Given the various delays that had already taken place in the determination of the applications and the desire of our client to commence with the repairs to the building at the earliest opportunity, the decision was taken to revise the then proposed doors on the south-west elevation to dormer windows (to accommodate the Council's request), to avoid a potential unnecessary and unjustified single reason for refusal, for what the Council considered an otherwise acceptable mansard roof level extension.

1.9 Despite the above revision to allow the applications to be approved without unnecessary further delay, the decision of the Council to request this late alteration to the scheme proposals and the reasoning for the requested change was not supported by our client and it was always the intention to return to the previous detailed design of the mansard featuring the French doors by virtue of a Section 73 amendment. It should be noted that Historic England, the government's statutory advisor on the historic environment, fully reviewed the detailed design of the mansard extension (including the then proposed identical French doors), and made no such comment of their unsuitability in the context of the listed building, when self-evidently Historic England had the experience and detailed design knowledge to do so.

1.10 Notwithstanding the above and the Council's comments above regarding the suitability of French doors on the proposed mansard roof, French doors of an identical design were approved by the council to the rear of the same mansard extension (north-east elevation) under the approved development. This has therefore established both the precedent and detailed design of their suitability for a mansard roof extension on this listed building. It should also be noted that the approved French doors on the north-east (rear) elevation have more

¹ Correspondence with Council Planning Officer, dated 04 December 2015.

possibility to be visible in views from within the Conservation Area, whereas the now proposed French doors on the south-west (front) elevation would be entirely screened by the existing high level parapet and would therefore have no visual impact on the significance of the listed building or the character and appearance of the Conservation Area.

- 1.11 Given that the proposed doors would be located on a modern (although traditionally designed and detailed) mansard roof form (and fabric), there would be no impact on or loss of original or historic fabric of significance as a result of this minor proposed change from dormer windows to doors. In addition, the proposed single change to doors would not impact on any traditional use of space, internal plan form or appearance of the roof or how it is read and understood as it would be a completely modern addition, entirely obscured from public view by existing historic fabric.
- 1.12 The visualisations submitted under the approved applications demonstrate that the height of the proposed doors (as it is the same as the approved dormers) would not be visible on the approved from street level; at worst, very limited glimpsed views of the doors through the balusters might be possible at high level views from the upper levels of buildings opposite, however such views would be minimal and akin to identical views to those which may be available of the already approved dormer windows.
- 1.13 The proposed materials for the doors are the same as those for the approved windows and the detailed design is simple and identical to that approved to the doors at the rear of the mansard, and would not therefore detract from any of the existing decorative features on the front elevation of the building.
- 1.14 The design of the doors, as it did under the approved applications (with the approved doors to the rear elevation), takes into account the character and design of the building and its surroundings and the vertical emphasis is sympathetic to the sash windows on the front elevation building and surrounding buildings, as well as the large ground floor windows on the building, although would be obscured from view. The detailed design of the mansard doors therefore complements the existing building and, as established by the approved detailed design of doors to the rear elevation, would preserve the character and appearance of the conservation area and special interest of the listed building. The proposed French doors would therefore be in accordance with statutory and policy considerations, in particular Camden Planning Guidance: Design (CPG1).

Summary

- 1.15 The previously submitted Design and Access Statement, Proposed Schedule of Works, Planning and Heritage Assessment (see below) and application drawings demonstrated how the proposed development would enhance the special interest and significance of this Grade II listed building and the character and appearance of the Parkhill and Upper Park Conservation Area

through a number of internal and external works proposed to repair the existing building and reinstate missing architectural details and features.

1.16 This Addendum to the below Planning and Heritage Assessment demonstrates that the proposed French doors on the south-west elevation of the approved mansard roof extension would have no impact on the listed building and would preserve its special architectural and historic interest and significance and, given the very limited change from the approved situation under applications 2015/4510/P and 2015/4739/L, the character and appearance of the Parkhill and Upper Park Conservation Area would be preserved.

1.17 We therefore consider that these applications for the variation of conditions of the previously approved planning permission and listed building consent should be approved without delay given the very minor change to be considered.

2.0 Introduction

- 2.1 This Planning and Heritage Assessment had been prepared by Nathaniel Lichfield & Partners (NLP) on behalf of Haverstock Hill Ltd to accompany applications for planning permission and listed building consent at The Hill Bar & Brasserie, Haverstock Hill, London, NW3 2BD.
- 2.2 The full description of proposed development is as follows:
“Demolition of roof and internal elements at second floor level, including the introduction of a mansard roof extension behind the existing high level parapet to form a self-contained residential unit and access. Internal and external repairs and restorations of missing features throughout at all levels above ground floor level.”
- 2.3 The application site covers an area of 295m². The Hill Bar & Brasserie is three storeys (plus cellars) to the principal part of the building, with a later one storey 20th Century extension to the north-west end.
- 2.4 The Hill Bar & Brasserie (formerly known variously as the Load of Hay Tavern and The Noble Art Haverstock Hill) is a Grade II listed building set on the north-east side of Haverstock Hill (A502), immediately adjacent to the junction with Steele’s Road to the South-west, and located within the Parkhill Conservation Area.
- 2.5 This document establishes the background to the site, including its historic context and assesses the planning and heritage considerations related to the proposed development. It also provides an analysis of the roof form and fabric present at The Hill Public House from a series of internal and external photographs of the roof structure. Its purpose is to assist Officers with regard to determining the proposals for the introduction of a new mansard roof extension following the removal of the existing roof structure. Photographs of the existing roof structure are set out in the appendices and these are cross referred to in the assessment where relevant.

3.0 Understanding the Context

The Hill Bar & Brasserie

- 3.1 The Hill Bar & Brasserie (No. 94 Haverstock Hill) is a Grade II listed building that was constructed in 1863, replacing an earlier public house on the site. It is constructed of yellow stock brick with stucco dressings in a classical style over three storeys (plus cellars) to the principal part of the building, with a later one storey 20th Century extension to the north-west end. The main part of the building has a high decorative parapet with urns and perforated balustrade, which gives the building the appearance of being much taller/grander than it actually is. In reality, a simple low roof is concealed behind the ornate parapet.
- 3.2 An earlier public house on the site is said to have been called the Cart and Horses, it was later renamed the Load of Hay in 1723, and is said to have had a variable reputation. One of its more boisterous landlords was Joe Davis (died 1806) "The host of Haverstock-Hill"². He was widely caricatured in prints and his establishment was patronised by the nobility. American author Washington Irving (b.1783 d.1859) remembered the Load of Hay for its rowdy Irish haymakers³.
- 3.3 In 1863 the Load of Hay was rebuilt, this is evidenced by the inscription to the round-arched centre piece of the parapet, which reads "*Load of Hay Tavern rebuilt 1863*" (see photograph of the public house at Appendix 3). The publican at the time of the rebuild was Henry Gilbert Haward, Licensed Victualer, having been the incoming licensee in May 1862. Haward was licensee until approximately June 1872 when his wife Susanna Haward is listed as his executor and as outgoing licensee. The 1863 date of the rebuilt public house is confirmed by the First Edition OS Map (1871-1873) which shows a public house with garden to the side and rear built on the site at this time.
- 3.4 It is unclear specifically when the buildings and cottages to the rear of the public house were erected, but from historic OS mapping it appears that they were likely constructed after 1896, but before 1915-1916 as they first appear on the corresponding OS Map for 1915-1916. However, despite not appearing on the 1896 OS Map, there is some suggestion that the construction of the buildings to the rear may have begun from 1870:

² The Annual Register of World Events: A Review of the Year 1806, Volume 48

³ T F T Baker, Diane K Bolton and Patricia E C Croot, 'Hampstead: Social and Cultural Activities', in A History of the County of Middlesex: Volume 9, Hampstead, Paddington, ed. C R Elrington (London, 1989), pp. 81-91 <http://www.british-history.ac.uk/vch/middx/vol9/pp81-91>

“Lower down the road, on the opposite side of the way, and just by the top of the somewhat sharp descent of Haverstock Hill, is the well-known tavern bearing the sign of the "Load of Hay," which occupies the place of a much older inn, bearing witness to the once rural character of the place. Its tea-garden used to be a favourite resort of visitors on their way to Hampstead Heath, who wished to break the long and tedious walk. The entrance to the gardens was guarded by two painted grenadiers—flat boards cut into shape and painted—the customary custodians of the suburban tea-gardens of former times. The house itself was a picturesque wooden structure until about the year 1870, when, shorn of most of its garden, and built closely round with villas, it degenerated into a mere suburban gin-palace.”⁴

- 3.5 In 1965 until 1974, the Load of Hay was renamed as The Noble Art due to its association with the Belsize boxing club and due to a boxing gym located immediately behind, which was used by the British Boxing Board of Control. *“Belsize boxing club was also formed in 1880, to help protect local ladies, and trained for nearly 50 years across the Marylebone boundary at the Eyre Arms. As perhaps the oldest amateur boxing club in the country, it was revived in 1965 on being allowed to use the British Boxing Board of Control's new gymnasium behind the Load of Hay.”⁵*
- 3.6 In 1974, Mike Rudkin, the landlord at the time, changed the name of the public house from ‘*The Noble Art*’, and reinstated the name ‘*Load of Hay*’ apparently because he disliked boxing⁶. The public house is now known as The Hill Bar & Brasserie.
- 3.7 An undated historic photograph exists from when the public house was run by brewery ‘Courage’, originally a brewery company founded by John Courage in 1787 and operating out of a brew house adjacent to Tower Bridge. The photograph shows the console brackets and cornice details as being previously painted in colour/gold, albeit a entirely white scheme is present today (see photograph at Appendix 4).
- 3.8 The building is currently occupied as a public house at ground floor level with self-contained residential units at first and second floor levels.
- 3.9 There are no other listed buildings in the immediate vicinity of The Hill Bar & Brasserie, with the nearest listed buildings being set to the south-west mid-way along Steele’s Road.
- 3.10 The full listing description for the building is included at Appendix 2.

⁴ Edward Walford, 'Hampstead: Rosslyn Hill', in *Old and New London: Volume 5* (London, 1878), pp. 483-494 <http://www.british-history.ac.uk/old-new-london/vol5/pp483-494>

⁵ T F T Baker, Diane K Bolton and Patricia E C Croot, 'Hampstead: Social and Cultural Activities', in *A History of the County of Middlesex: Volume 9, Hampstead, Paddington*, ed. C R Elrington (London, 1989), pp. 81-91 <http://www.british-history.ac.uk/vch/middx/vol9/pp81-91>

⁶ Details of 1974 News cutting available from the Camden Local Studies and Archives Centre Catalogue

Surrounding Area

- 3.11 The surrounding area is predominantly residential villas and later 20th Century flats with a mix of other uses along isolated sections of Victorian shopfronts on nearby streets.

4.0 **Assessment of Planning and Heritage Matters**

4.1 The key planning and heritage issues to be considered in assessing the acceptability of the proposed development are considered to be:

- 1 The impact of the proposals on the Hill Bar & Brasserie (Grade II listed building)
- 2 The impact of the proposals on the Parkhill Conservation Area
- 3 The impact of the proposals in relation to residential amenity of neighbouring occupiers (including daylight and sunlight)
- 4 Other material considerations

1. The impact of the proposals on the Hill Bar & Brasserie (Grade II listed building)

4.2 The existing public house building is statutorily listed at Grade II and the proposed addition of the mansard is therefore considered in terms of its impact on the special architectural and historic interest of the listed building.

4.3 The Hill Bar & Brasserie is architecturally sympathetic to the character and appearance of the area, and is similar in design and style to that of the adjacent buildings to the east at first and second floor levels, notably Nos. 88-92 Haverstock Hill, albeit with more elaborate detailing.

4.4 The principal interest of the existing building is in its seemingly unaltered 19th Century façade and a number of modest internal architectural features of interest which remain to the upper levels (e.g. fireplaces). The internal quality and interest of the public house use at ground floor level is not considered as it is not relevant to the proposal for the addition of a mansard.

4.5 The front façade (south-west elevation) to the building features a higher set parapet roof line, featuring a console bracketed cornice with rosettes decorating the frieze, and surmounted by the high level parapet featuring a balustrade design of linked circles. This parapet design continues around to the north-west elevation, while the south-east elevation adjoins neighbouring No. 92 Haverstock Hill, which also features a high parapet roof line. The rear elevation is not of particular interest, it is of utilitarian design and is certainly of lesser significance than the front façade.

4.6 The existing roof structure features a lower pitched roof set behind the existing high parapet and, while it is unclear whether the lower pitched roof form is original to the rebuilding of the public house or a later alteration, we do not consider that the extant roof form is of such interest that it should present an in principle objection to the addition of a mansard level as the existing roof structure is much altered, completely concealed and makes no visual

contribution to the appearance of the listed building (or Conservation Area). An assessment of the roof structure is considered further at Section 5.0 below.

- 4.7 The new third floor level mansard roof addition would create a complementary, discrete and well-designed high quality traditional addition to the roof form of the listed building. The mansard would also be set back from the principal building line and well-screened behind the existing high level parapet wall, ensuring that it would not be visible in public views from Haverstock Hill, particularly given the design revisions to the northern gable end from the design of the proposed mansard considered recently by pre-application Ref. 2014/7934/PRE. The height of the parapet is such that even from higher level private views the proposed addition would be all be imperceptible except in oblique views from significantly higher views from nearby taller buildings.
- 4.8 Given the immediate and wider context, where mansard extensions are not uncommon, the proposed mansard addition is not considered to be uncharacteristic or harmful to the age and character of the listed building or to the appearance of the area. Indeed, the proposed mansard has been sensitively designed to respect the host building and would not detract nor overwhelm the extant scale and proportions of the building, particularly given the extant mix of uses and internal subdivision of the upper floors into self-contained residential units. The addition of the mansard would not significantly add to the bulk or unbalance the architectural composition of the building, as the mansard would be discretely located behind the existing high level parapet and neighbouring No. 92 Haverstock Hill on three sides, with views of the mansard from the rear within private views.
- 4.9 Furthermore, the proposed mansard extension has been designed in accordance with the Council's adopted guidance CPG1: Design, which highlights that:
- "Mansard roofs are often the most appropriate form of extension for a Georgian or Victorian dwelling with a raised parapet wall and low roof structure behind."*
- 4.10 With regard to the other alterations required to integrate the access to the new proposed level, these are confined to alterations to the upper section of the existing stair, and part of one of the rear rooms in the second floor flat. These areas are of lesser significance in the hierarchy of the building and the effects on the plan form and historic fabric are extremely limited. The insertion of the stair will be made good and any joinery and other features matched and reinstated as part of the proposals.
- 4.11 Given that the proposed mansard roof extension has also been designed to preserve the character and appearance of the Parkhill Conservation Area, the effects of the proposals on the present roof structure and second floor level are not considered to be harmful in principle as neither is sufficiently interesting enough or represents a completed composition, nor are they of direct historic value to the significance of the building, to warrant an objection to the proposals in terms of the listed status of the building.

2. The impact of the proposals on the Parkhill Conservation Area

- 4.12 The application site is located within the Parkhill Conservation Area, a designated heritage asset. The proposals for The Hill Bar & Brasserie have therefore been designed to respect the character and appearance of the Conservation Area and have been carefully considered to ensure that they preserve the integrity of the area through the discrete traditional design and high quality finish of the proposed mansard extension which has been designed in accordance with the Council's adopted design guidance. The design of the mansard has been further revised following the pre-application advice received, to ensure that the proposed mansard will not be visually apparent in wider views from the Conservation Area, particularly from furtehr up Haverstock Hil.
- 4.13 The proposals deliver a sensitive upgrade to increase the level of the existing residential accommodation available at the property to provide an additional third floor level mansard flat above the two self-contained flats below. The proposals introduce an additional level that is both architecturally sympathetic to the age and character of the building and which retains the overall integrity the external appearance of the building within the Conservation Area.
- 4.14 The existing building makes a positive contribution to the roofscape of the Conservation Area given its high quality and decorative parapet design with urns, name and date of the building. However, the high decorative parapet with its diminutive low roof behind is also exactly what makes this particular building an ideal candidate for a sensitively designed roof level addition. The proposed mansard level will be completely concealed by the existing high-level parapet and party walls which surround the roof level of the building on three sides. The minor alterations to the chimneys along the party wall will be made good and the proposal will have no discernible impact on public or indeed private views in the Conservation Area except at a very high level views from much taller buildings where glimpses of the proposed rolled lead roof covering may be visible. The alterations to the rear of the building are minimal and include the building up of the rear parapet in matching stock brick. The alterations to the rear will not significantly alter the visual appearance or bulk and massing of the building and the appearance of The Hill will remain largely as it currently does within the Conservation Area.
- 4.15 The effect of the proposals will therefore be largely imperceptible in terms of the character and appearance of the conservation area, and the proposed mansard extension to the building will not affect any recognised or designated views.
- 4.16 Despite being completely concealed, an extremely sensitive design approach to the new roof structure has been applied (and revised following the pre-application advice), and the mansard has been designed so that the new elements sensitively and sympathetically integrate with the appearance of the area with traditional materials, such as lead and natural slate.

- 4.17 As such, the proposals will not have an adverse effect on the Conservation Area's recognised special character or appearance and the effect of the proposals on this designated heritage asset is considered to be neutral and nearly imperceptible.

3. The impact of the proposals in relation to residential amenity of neighbouring occupiers (including daylight and sunlight)

- 4.18 The proposed addition of the mansard roof extension provides only a modest change in terms of the overall building envelope, and this is wholly concealed within the existing massing of the buildings high parapet.
- 4.19 The recent pre-application submission was accompanied by a Daylight and Sunlight Appraisal which demonstrated that the proposal has no material impact on the residential amenity of nearby residential properties from a daylight and sunlight perspective (see accompanying NLP Report and Appendices). This report is re-submitted as part of these proposals and, given the modest changes to the design of the northern end of the mansard; it is considered that the proposal is acceptable in terms of its impact on residential amenity.
- 4.20 With regard to sense of enclosure and overlooking, the proposals will again have almost no impact as the proposed addition is sensitively located and designed to prevent overlooking and is no taller or more dominant than the building to which it is sensitively integrated.

4. Other material considerations

- 4.21 In support of the proposed alterations to the building and replacement of the existing roof structure with a traditional mansard, we would draw Officers' attention to a planning appeal decision relating to an application in Westminster at 19 Montpelier Street (PINS Refs: APP/X5990/E/12/2184334 & APP/X5990/A/2184336) which addressed a similar matter where a mansard addition was added to a public house. Westminster Council refused planning permission and listed building consent for the addition of the mansard and the near gutting of the listed building, but this was overturned by an Inspector as the Council had given too much weight to the retention of 'fabric' that was not of 'special interest'.
- 4.22 We submit for your consideration the details of the appeal decision at 19 Montpelier Street. Here the Inspector allowed the wholesale replacement of the original roof of the Grade II listed building (which is also located on a prominent corner in the overall streetscene, and is also within a conservation area. The Inspector approved the addition of a new mansard because it sensitively integrated with the existing streetscene of mansards at adjacent buildings. Here notably the addition of the mansard was significantly more visible than that proposed at The Hill, where the new addition will have almost no visual impact whatsoever on the building or the surrounding streetscene.

4.23

In paragraph 12 of the decision, the Inspector sets out that “*In addition, I consider that the proposed roof extension is of an appropriate and unobtrusive design that would help break up the rather stark appearance of the party wall with the neighbouring property. On balance, the special interest of the building and its contribution to the conservation area would be improved by the proposed physical works*”. The Inspector’s decision makes no mention of any harm arising due to the loss of the historic roof fabric or roof form, even though these were probably one of the few remaining original parts of the building. The only concern expressed as regards the retention of historic fabric was to fireplaces which the Inspector expressly determined were of interest and attached conditions to relocate these within the new proposals.

5.0 Analysis of Roof Form

- 5.1 The building's roof form is in two parts divided by a central gully (see Photos App 5.1 and 5.5).
- 5.2 The western (front) part has a single slated shallow slope that extends from the upper interior edge of the parapet just below the decorated openwork of the parapet and runs to the flat asphalt sheeted central gully (see Photos App 5.1, 5.2, 5.3 and 5.5).
- 5.3 The eastern (rear) part of the roof is a pitched roof with double slated slopes which are both taller and steeper than the front roof form (see Photos App 5.1, 5.4, 5.5 and 5.8).
- 5.4 The rear roof form has a 'dormer' access hatch into the central gully through the roofs pace from the 2nd floor flat below (see Photos App 5.4 and 5.5). Access is therefore available to the rear portion of the roof to view internal fabric (see Photos App 6.1-6.8).
- 5.5 No such access is available to the front (western) portion of the roof as there is no access hatch from the roof itself or from the flat below. However, extended inspection shows it has a number of clearly modern ventilation flues integral to the shallow roof slope (see Photo App 5.3).
- 5.6 The upper portion of the decorative parapet is wholly rendered, presumably to waterproof or strengthen the structure (see Photos App 5.1, 5.2, 5.3 and 5.4). The parapet shows evidence of decay and failure in a number of places, including what appear to be structural cracks though the render to the historic fabric below on the north façade (see Photo App 5.1).
- 5.7 The differential pitch and form of the two elements of the roof is odd, and there is no immediate reason for this apparent from the north parapet until the bricks above the front section of the roof are examined. This shows differential discolouration and replacement of some bricks with modern replacements to facilitate an altered arrangement of lead flashing suggesting the roof slope and structure to the front element has been altered (see Photos App 5.1 and 5.2).
- 5.8 This is confirmed to a greater degree by examination of the southern parapet wall where not only is a clear modern build-up of the parapet wall discernible, but the original slope of the front portion of the roof and cut bricks to the slope of the roof are visible (see Photos App 5.5, 5.6, 5.7 and 5.8).
- 5.9 This suggests that the front roof with a single pitch is a later replacement and that the original front roof may have been a double pitch of a steeper arrangement similar or identical to the present rear (eastern) roof form, with a valley gutter behind the front parapet. It is likely therefore that the complete fabric of the front single sloped roof is modern and is of little or no historical significance in its form or fabric.

- 5.10 Regarding the rear portion of the roof, internal inspection of the timbers shows that these are machine rather than hand cut (see Photos App 6.1-6.8), and this would have been common enough at the time of the construction of the current building in c. 1863, so it is likely that the remaining roof timbers are original.
- 5.11 The fabric above the timbers is however clearly later, comprising artificial slates and a breathable membrane ('Tyvek' or similar) (see Photos App 5.8 and 6.1, 6.2, 6.4, 6.5 and 6.6).

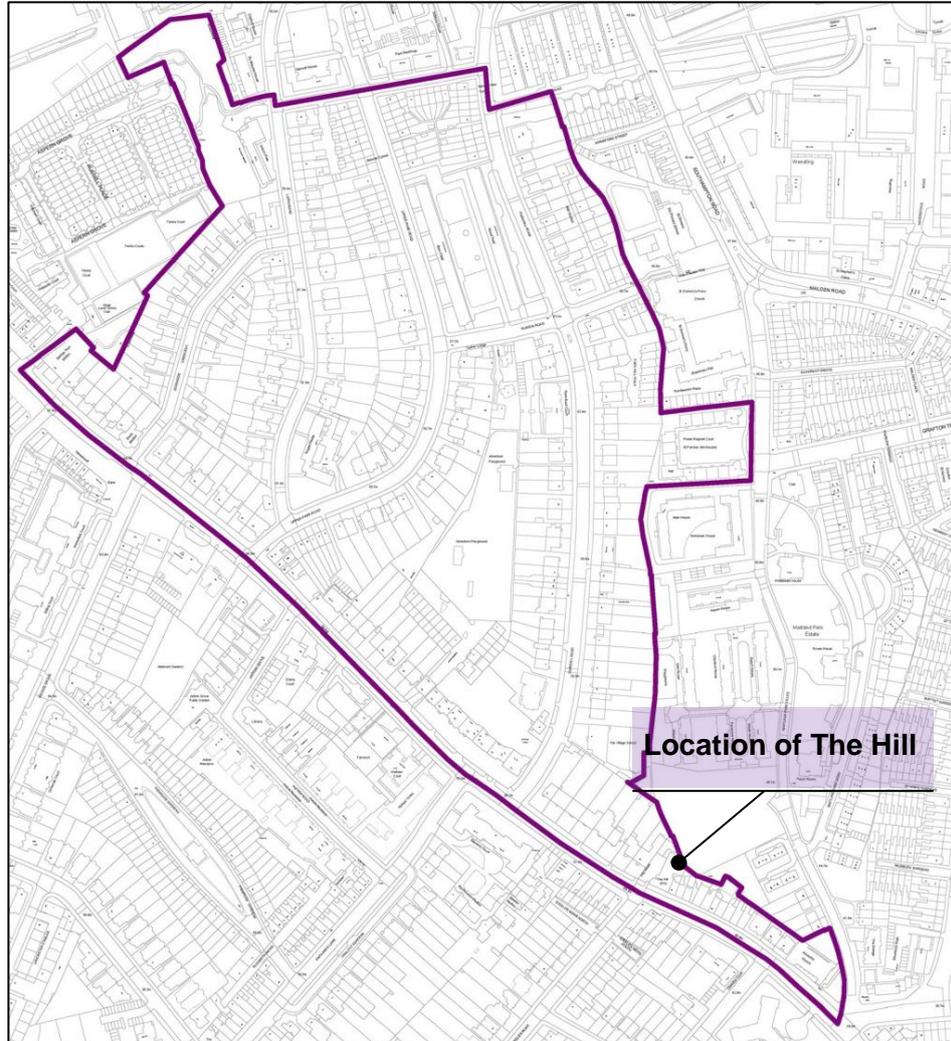
Assessment and Significance of the Roof

- 5.12 Had the roof structure retained a consistent original form, and comprised largely original fabric then potentially weight could have been given to its retention, albeit the roof form is screened by the parapet and does not contribute to the visual interest of the building. It is also not of such a rare form, or containing such significant structural or historical information, that its loss would present substantial harm to the special interest of the building, subject to the design and appropriateness of the proposed replacement roof form to the age and style of the building.
- 5.13 However, this is not the case. The existing roof is not of a rare, or especially interesting or significant type, makes little contribution to the significance of the building, and is much altered with significant loss of historic fabric including the possible total loss of the form and fabric of the front section of the roof. Other elements of the parapet and party wall structures are altered, and in an unsympathetic manner which could be improved upon if the roof were to be replaced with the addition of a discretely and well-designed mansard, as is proposed by this application.
- 5.14 We do not consider that the loss of the remaining original fabric would give rise to material harm to the building; indeed the Inspectors appeal decision at 19 Montpelier Street, Westminster, identified no harm resulting from the total replacement of a significantly more complete and clearly visible roof on a public house, that was of an earlier date than The Hill, and its replacement with a mansard addition. As such, we consider the loss of the parapet and much altered roof to be neutral. If in the alternative, 'harm' was to be identified here, it could only be 'less than substantial' harm and the numerous repairs, improvements and reinstatement of missing architectural details and features to the rest of the building, including the repair of the building's current structural flaws and decaying masonry, would more than outweigh this perceived harm.

6.0 Conclusion

- 6.1 Overall, it is considered that while there may be some loss of historic fabric at roof level at The Hill, in terms of the significance and interest associated with this listed building, the fabric in question is utilitarian and does not contribute significantly to the interest of the building either intrinsically or visually as regards its external appearance which is dominated by the high parapet. The limited interest provided by the plan form of a second floor rear room, and a hidden roof of standard construction and materials (which is much altered) are significantly less interesting and significant than its principal facades and retained use as a public house. The proposals proportionately represent a small change affecting only one part of the building with limited interest.
- 6.2 The extant roof form is much altered. It is screened by the high-level rendered parapet and contributes little to the significance of the listed building. Its loss would be neutral if replaced with a carefully designed and appropriate form of mansard, as has been established at appeal as acceptable elsewhere.
- 6.3 We therefore consider that the loss of the remaining sections of roof, amounting to some original timbers in the rear section is acceptable in the context of the wider restoration, repair and investment in the long term future of the building that is proposed.

Appendix 1 Parkhill Conservation Area Boundary Map



Appendix 2 Listing Description

List Entry Number: 1378814

Location: LOAD OF HAY TAVERN, 94, HAVERSTOCK HILL

County: Greater London Authority **District:** Camden

Grade: II

Date First Listed: 14-May-1974

List Description:

“Formerly known as: The Noble Art HAVERSTOCK HILL. Public house. 1863, replacing an earlier public house on the site. Yellow stock brick with stucco dressings and ground floor; vermiculated stucco quoins. EXTERIOR: 3 storeys and cellars. Double fronted with 3 windows and single storey, 3-window C20 extension at north end. Ground floor public house frontage with Corinthian pilasters carrying entablature with modillion cornice and C20 fascia. Recessed main entrance to right with engraved glass to doors and screens; elaborate wrought-iron grille of foliate and scroll design forming arch over main entrance. Segmental-arched openings to ground floor, windows and half glazed double doors with small panes. Enriched architrave sashes to upper floors; 1st floor with console bracketed pediments (centre segmental) and continuous balustraded balcony. 2nd floor with bracketed cornices and enriched sill band. Console bracketed cornice with rosettes in the frieze, surmounted by a parapet pierced with a design of linked circles. Round-arched centre piece inscribed "Load of Hay Tavern rebuilt 1863"; urns on dies flanking centre piece and at angles. Left hand return with panel in balustrade inscribed "The Load of Hay Tavern". INTERIOR not inspected”.

Listing NGR: TQ2784784712

Appendix 3 Photograph of The Hill



Appendix 4 Historic Photograph (undated)



Appendix 5 Photographs of the Roof Exterior



Photo App. 5.1(above): Inside face of north façade with likely non-original roof to front and rendered parapet on the upper section.



Photo App. 5.2 (above): Inside face of northwest corner of building roof area with likely non-original roof to front section and rendered to parapet wall on the upper section.



Photo App. 5.3 (above): Inside face of west façade of building roof area with likely non-original roof with ‘modern’ ventilation integral to the roof and the concrete inside facing/alterations to parapet.



Photo App. 5.4 (above): Inside face of north façade and east portion of roof area with access hatch from roof space. Roof form may be ‘original’ but has been recovered with artificial slates and modern underlay. Also shows rendered facing/alterations to parapet.

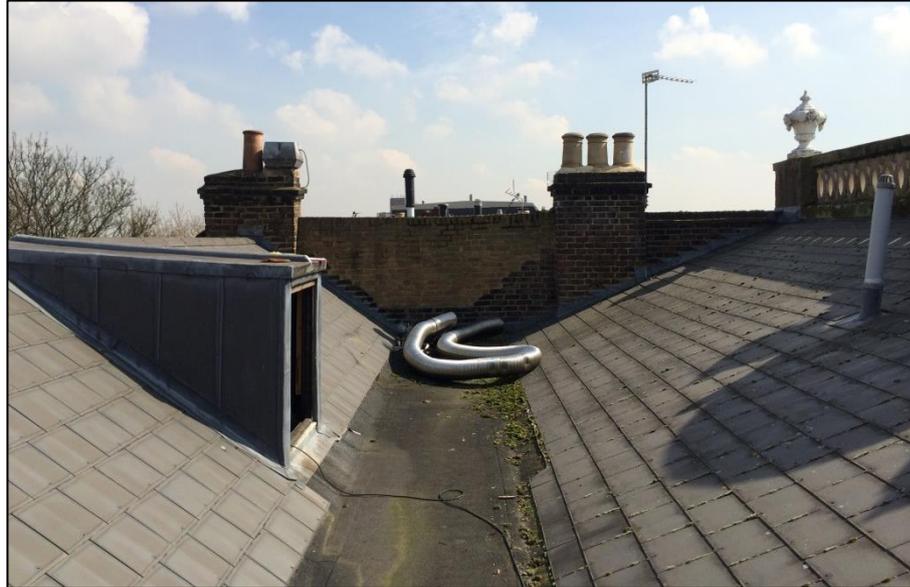


Photo App. 5.5 (above): View towards inside face of south façade and central asphalt sheeting roof gully showing 'modern' new build-up of the party wall with the adjacent property. This clearly shows cut bricks on a different angle to the current front roof suggesting an earlier roof has been replaced with the single slope leaning to the front parapet. The front roof form and fabric is therefore very unlikely to be original.



Photo App. 5.6 (above): Detail of the view towards inside face of south façade showing 'modern' new build-up of the party wall with the adjacent property.



Photo App. 5.7 (above): Detail of the view towards inside face of south façade showing ‘modern’ new build-up of the party wall with the adjacent property and the cut bricks on a different angle to the current front roof suggesting an earlier roof has been replaced with the single slope of the front parapet.

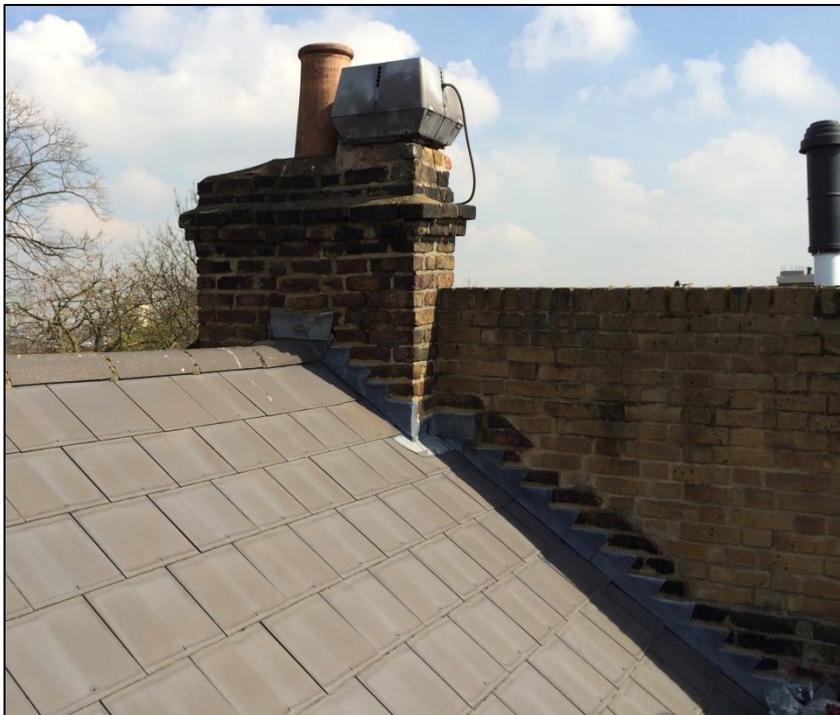


Photo App. 5.8 (above): Detail of the view towards inside face of south façade showing ‘modern’ new build-up of the party wall adjacent to the eastern (back) roof where the roof form/pitch may be original but all of the external roof fabric is later replacement likely from the mid to late 20th Century.

Appendix 6 Photographs of the Roof Interior



Photo App. 6.1 (above): Detail of the interior of the eastern (rear) roof looking towards the north wall of the building.



Photo App. 6.2 (above): Detail of the interior of the eastern (rear) roof looking towards the rear (east) wall of the building where it steps in.



Photo App. 6.3 (above): Detail of the eastern (rear) roof looking towards the south of the building. Modern membrane visible over the timbers throughout with water storage tanks to the southern end.



Photo App. 6.4 (above): Detail of the interior of the eastern (rear) roof looking towards the south of the building. Modern membrane visible over the timbers throughout.



Photo App. 2.5 (above): Detail of the interior of the eastern (rear) roof.

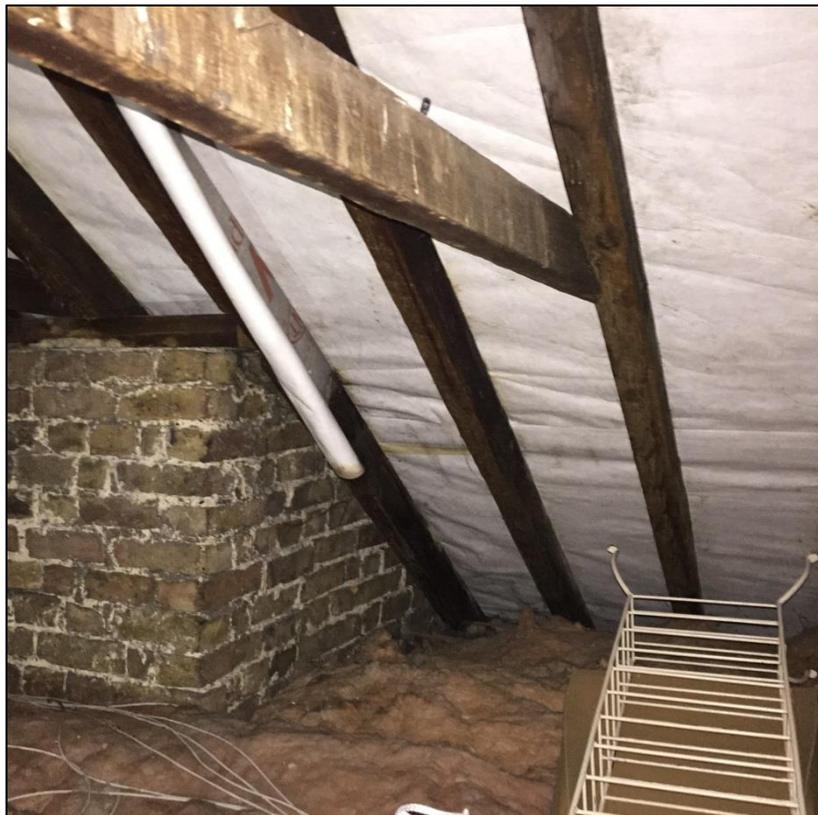


Photo App. 6.6 (above): Interior of eastern (rear) roof at junction of part of the rear wall where the roof extends further to the rear with modern waterproof membrane over the timbers of the roof. Confirming much of the 'exterior' fabric is late 20th Century alteration/roof replacement.



Photo App. 6.7 (above): Detail of modern waterproof membrane over the timbers of the eastern rear roof. Likely late 20th Century recovering of the roof.



Photo App. 6.8 (above): Detail of interior of roof space access hatch to roof. Door timber is clearly a significantly later addition. This is from the pitched roof to the rear of the building.



Nathaniel Lichfield
& Partners

Planning. Design. Economics.

Planning 2011-2014
Consultancy RTPI
of the Year · ★ ★ ★ ·

-  Applications & Appeals
-  Climate Change & Sustainability
-  Community Engagement
-  Daylight & Sunlight
-  Economics & Regeneration
-  Environmental Assessment
-  Expert Evidence
-  GIS & Spatial Analytics
-  Graphic Design
-  Heritage
-  Property Economics
-  Site Finding & Land Assembly
-  Strategy & Appraisal
-  Urban Design

Bristol
0117 403 1980

Cardiff
029 2043 5880

Edinburgh
0131 285 0670

Leeds
0113 397 1397

London
020 7837 4477

Manchester
0161 837 6130

Newcastle
0191 261 5685

Thames Valley
0118 334 1920

nlpplanning.com