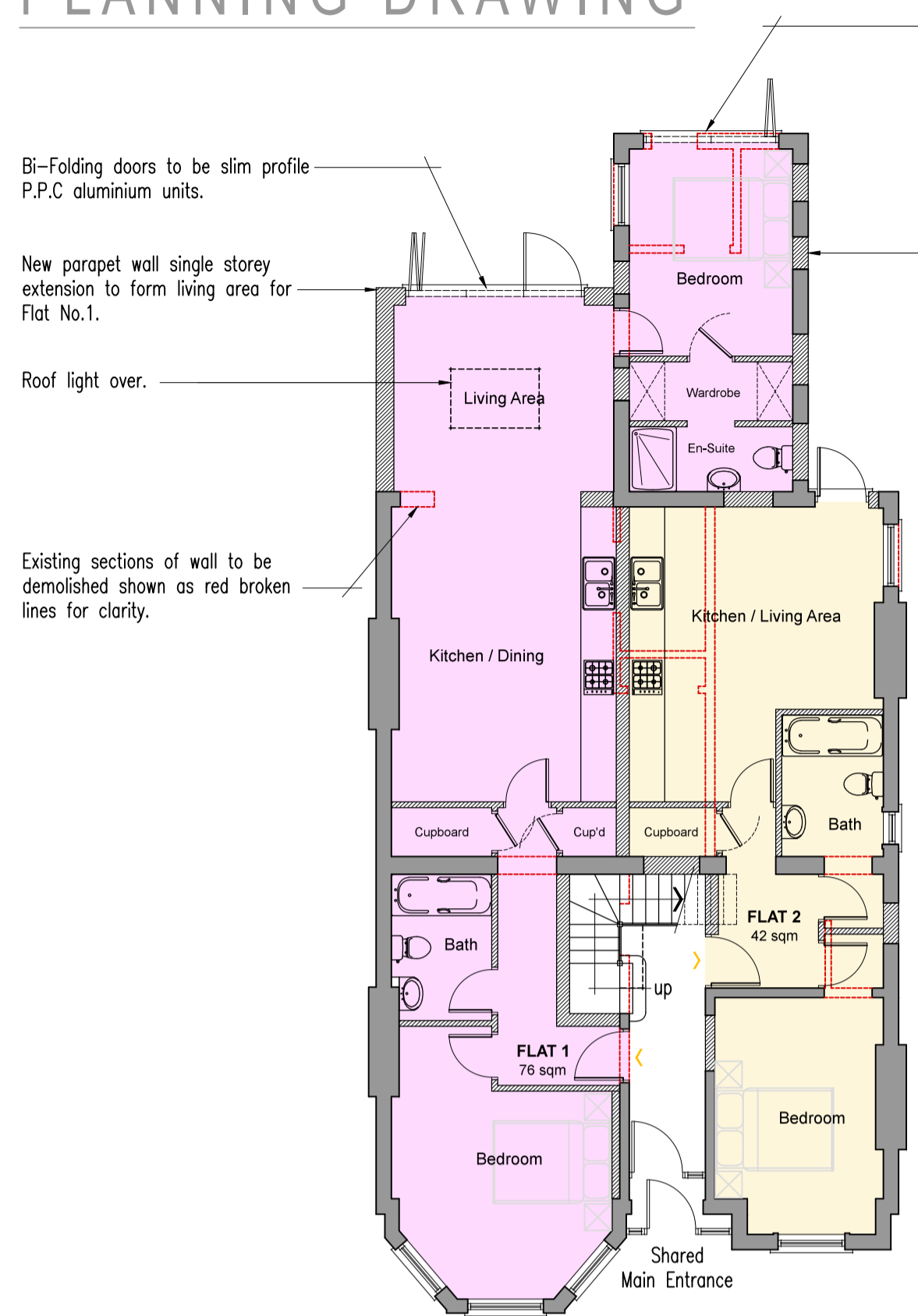
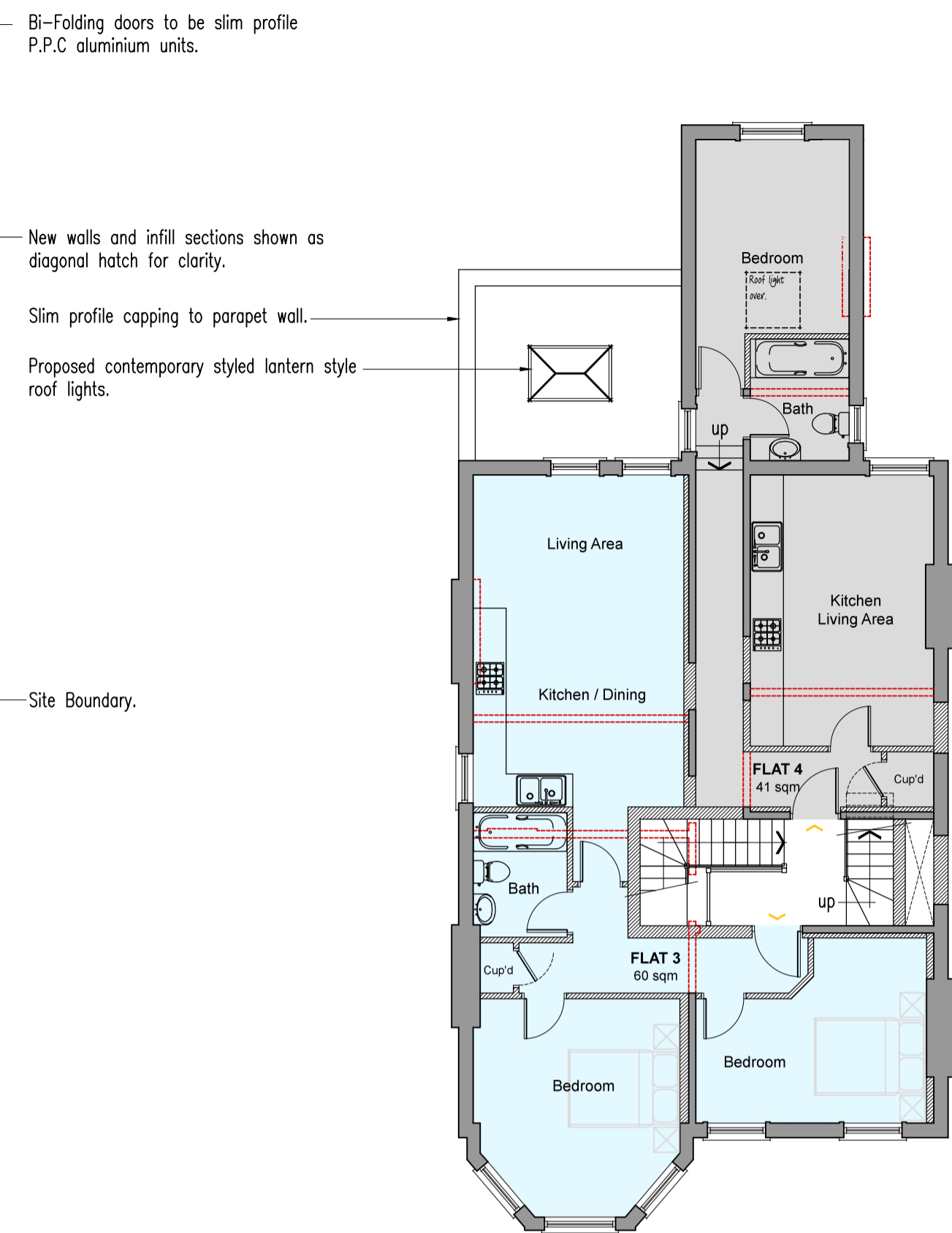


PLANNING DRAWING

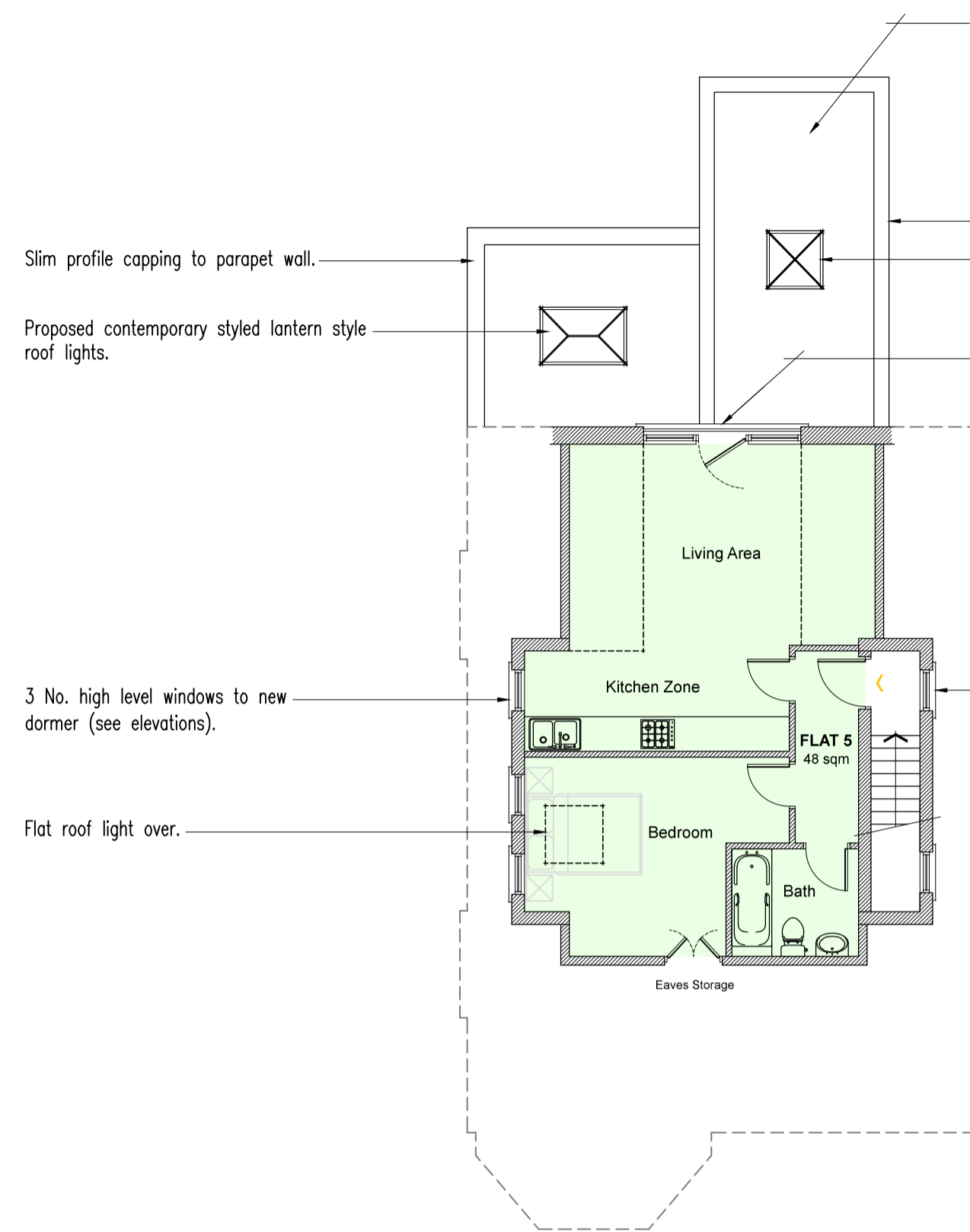
Copyright BDA. All rights reserved. BDA is a trading name of Associated Ltd.
 This drawing is copyright of BDA. No unauthorised copying without prior consent of BDA.
 Attention is drawn to the owner / builder to consult with neighbouring owners before any work is carried out with regard to the Party Wall Act 1996.
 IMPORTANT NOTE: Works to be fully compliant with the CDM 2015 Regulations.
 Do not scale from this drawing - Use figured dimensions only (all levels & dimensions to be checked on site).



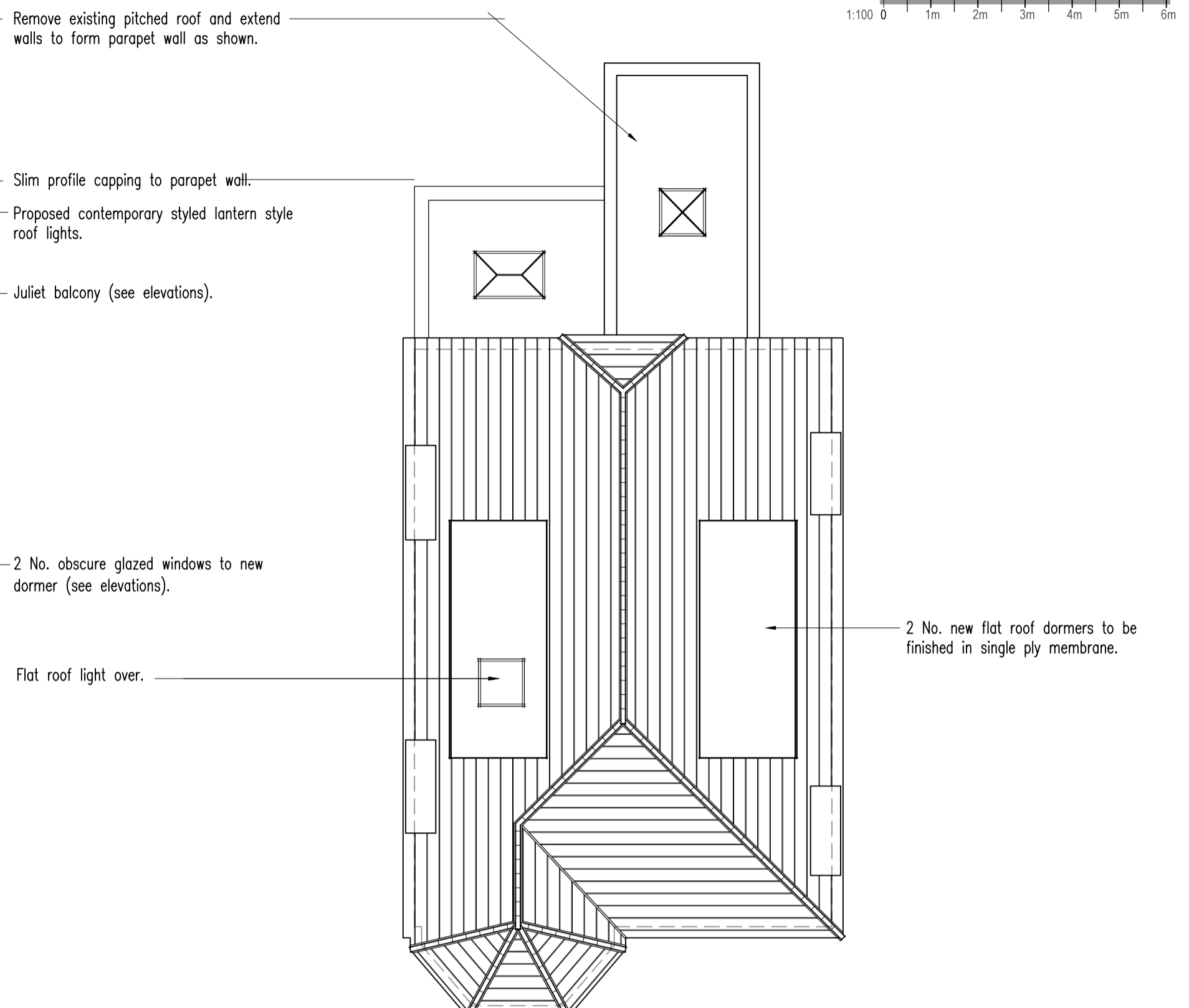
Proposed **Ground Floor** Plan 1:100



Proposed **First Floor** Plan 1:100



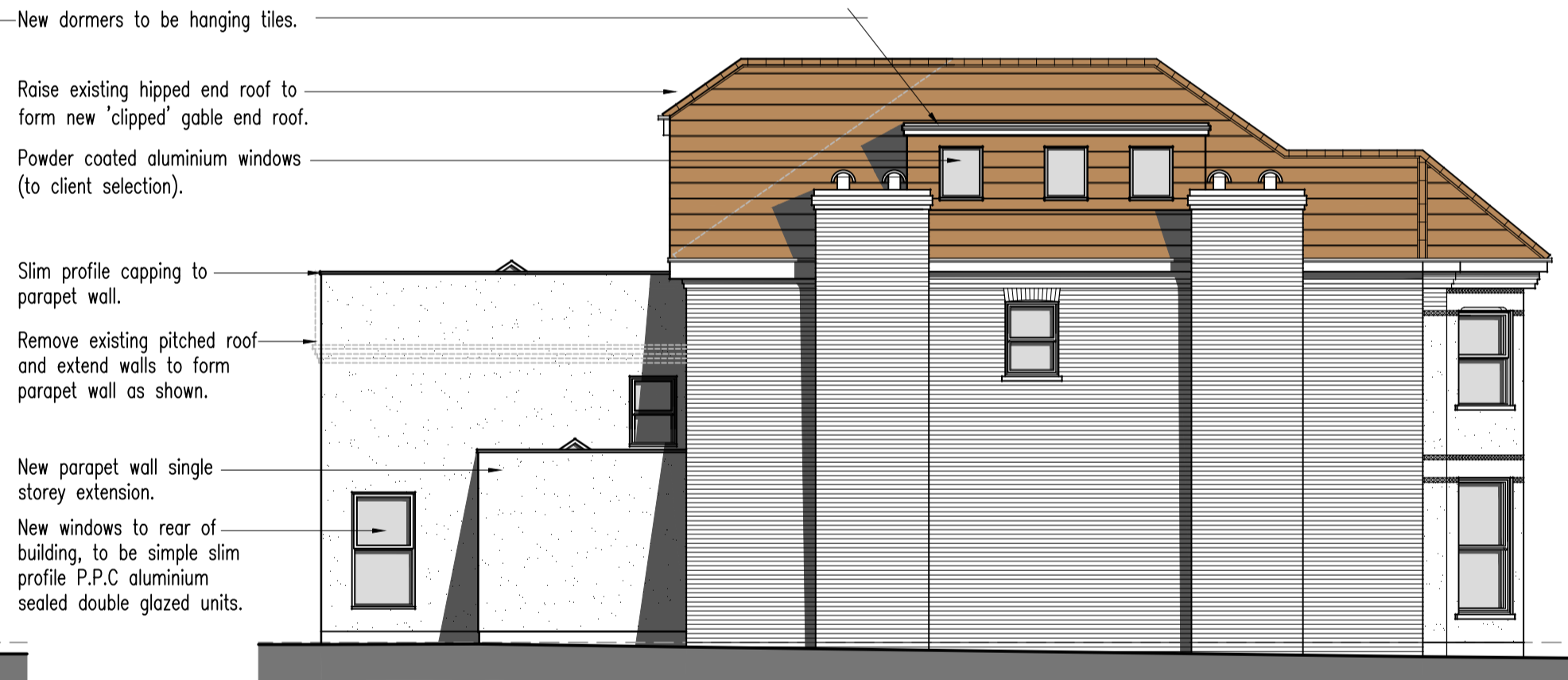
Proposed **Second Floor** Plan 1:100



Proposed **Roof** Plan 1:100



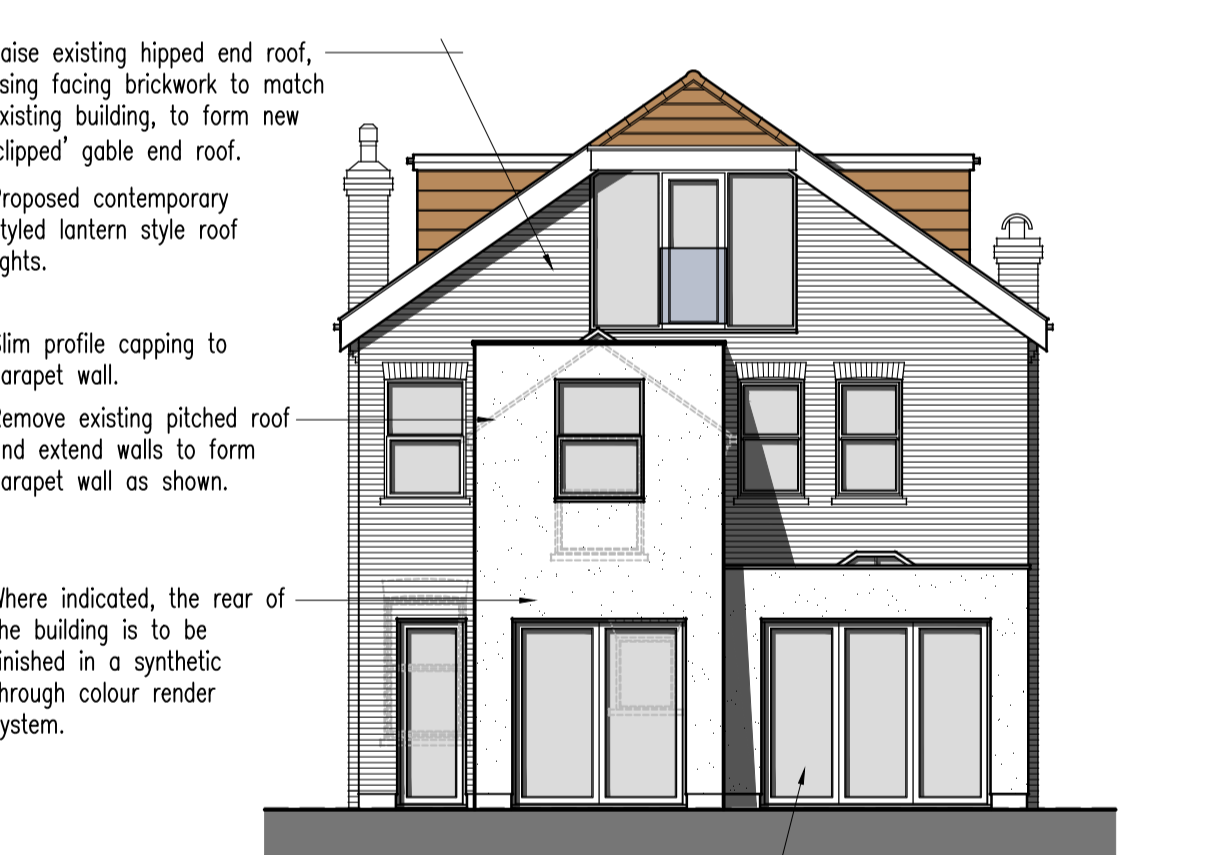
Proposed **Front** Elevation 1:100



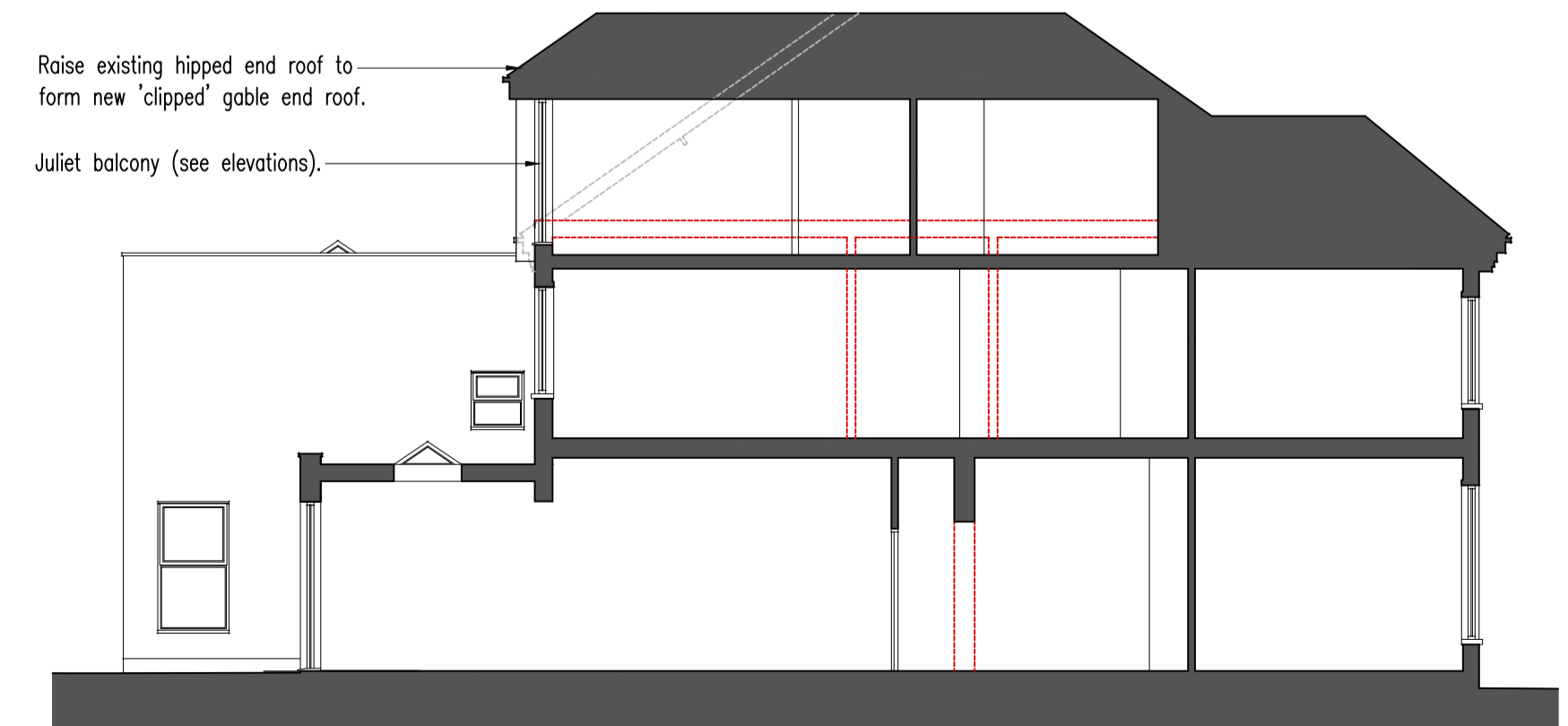
Proposed **Side** Elevation 1:100



Proposed **Side** Elevation 1:100



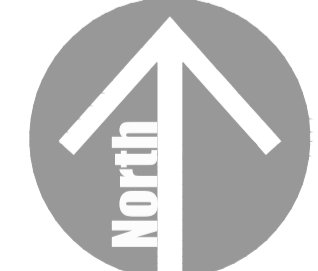
Proposed **Rear** Elevation 1:100



Proposed **Section Thru'** 1:100



Site **Plan** 1:500



Any elements of the existing structure to be removed or any windows or doors to be infilled, indicated as light grey broken line for clarity.
 New windows and doors to the rear of the property to be slim profile P.P.C aluminium units.

REV D: Reduced single storey section at rear in depth and height to suit recommendation of Local Authority Planning Officer to reduce massing.
 REV C: Reduced scheme to suit recommendation of Local Authority Planning Officer to reduce overall massing + increase usable floor area of second floor apartment.

Client: Mr P Whiteman
 Location: 163 Fordwych Road, London, NW2 3NG.

Project: Proposed re-model of existing house to form 5 No. apartments.
 (PLANNING DRAWINGS)
 Drawn: CP Checked: SRF
 Scale: 1:100 Date: March 2016
 Drawing No: 16.116/02 Rev: D
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