

Ground Floor Alterations

Layout

The proposed alterations at ground level do not involve any layout reconfigurations. All partitions, windows and doors are retained as existing. The objective on this floor is restoring the original features and finishes and upgrading fittings and services to suit the needs of the reversion to a single family dwelling house.

Flooring

Timber floor boards will be taken up to install services and acoustic insulation and will be reused as an exposed floor, they will be re-laid, sanded and sealed. Where there are areas of missing or damaged floor boards, reclaimed boards of a suitable matching type will be inserted. Boards may be reclaimed from the 1st floor bathroom but otherwise will remain in situ throughout. Externally it is proposed to repair the waterproofing to the external steps from street to ground floor entrance and overlay the treads with Victorian black and white chequer tiles and stone risers.

Mechanical and Electrical Services

A rationalised mechanical and electrical design is proposed for the entire property in order to revert it back to a single family dwelling house with incoming utilities, meters, distribution boards and boiler located in the basement. The proposed lighting design will reinstate pendants lights to the principal rooms in original locations (Living Rooms 0.3/0.4 and Hallway 0.2). Additional wall lights are proposed in the hallway (Rm 0.2) that only receives daylight from the entry fanlight. It is proposed to replace the external wall lights either side of the front door with period appropriate fittings. The study (Rm 0.1) in the closet wing will have a mix of wall and task lights. Cast iron radiators are proposed to all rooms.

Iron Railings

A traditional Victorian cast iron window box railing is proposed to the front window cill of W 0.1.

Ground Floor Maintenance / Like-for-like Repairs

Ceiling

All original plaster to ceilings and all original cornices and roses will be retained in situ, repaired and redecorated. In areas where the plaster is missing or has been damaged, new plaster of a suitable matching type will be patched in. It is proposed to strip back the paint to the cornices and roses to restore the detail. Where there are areas of missing or damaged cornices, new sections of cornice will be inserted to match the existing profile. It is proposed to reinstate missing ceiling roses that have been lost historically using profiles to match the surviving rose in the Living Room (Rm 0.3).

Internal Walls

All original plaster to walls will be retained in situ, repaired and redecorated. In areas where the plaster is missing or has been damaged, new plaster of a suitable matching type will be patched in. All original ogee profile skirting, dado and picture rails will be reinstated following wall restoration, repaired and redecorated. In areas where original joinery is missing or damaged, new joinery of a matching profile and finish will be patched in.

Internal Doors

Frames, linings and architraves retained in situ. Where sections are missing or have been damaged, new joinery of a suitable type and matching profile will be inserted. Door leaves are to be retained and renovated with new ironmongery and hardware.

Internal Staircase

The existing original staircase will be retained, repaired and redecorated. A new runner will be laid over the stair.

External Windows

The existing original windows (W 0.1/0.2/0.3) will be retained, overhauled, repaired and renovated. Any replacement joinery necessitated by repairs to rotten or damaged sections will match original in profile and finish.

External Doors

The existing front entrance door (eD 0.1) will be retained, restored and redecorated.

Chimneys and Fireplaces

The chimney breasts will be retained; upgrade works to the chimney flues will be undertaken to meet current standards. The fireplaces (non-original) will be replaced (details reserved by condition).

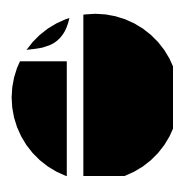


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8 Rothwell Street				Drawing Number: 1506_L112	
Stage 0 Draft	-	08.01.16	Planning Draft	F	06.06.16
Strip-out	A	16.02.16			
Planning Draft	B	02.03.16			
Technical Draft	C	17.03.16			
Planning	D	25.03.16			
Ext Repairs Pricing	E	08.04.16			
Drawn by: LK	Date: 06.06.16	Rev: F	1:50 @A3		