

**M.E.F. CONSTRUCTION SERVICES LTD**  
CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT  
Director: MALCOLM FURNISS BSc(Hons), MCIOSH, CMIOB, RMaPS

**CONSTRUCTION TRAFFIC MANAGEMENT & ACCESS PLAN**

**CONTRACT: 51-52 TOTTENHAM COURT ROAD, LONDON, W1T-2EH**  
**(REFURBISHMENT, UPPER FLOOR EXTENSION & BASEMENT DEVELOPMENT)**

**CLIENT: ATLAS PROPERTY LETTING & SERVICES LTD**

**DATE: 02/01/16 (Revision 00)**



**Information Prepared by:**

Malcolm Furniss BSc(Hons), MCIOSH, CMIOB, RMaPS.

Email: [malcolmfurniss.mef@gmail.com](mailto:malcolmfurniss.mef@gmail.com)

00	02/01/16	mf		Initial Draft
Revision No:	Date	Rev. by AP	Rev.by Client	Note

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
**e-mail: [malcolmfurniss.mef@gmail.com](mailto:malcolmfurniss.mef@gmail.com)**  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIOB, CMIOSH, RMaPS**

**GENERAL**

1. As part of the REDEVELOPMENT of the existing property there is an intention to enlarge the existing basement under the existing building together with refurbishment of ground floor, extensions to existing upper floors and addition of upper floors. Access for plant, materials and waste being dictated by surround buildings and road configurations. Site as per the location plan below:



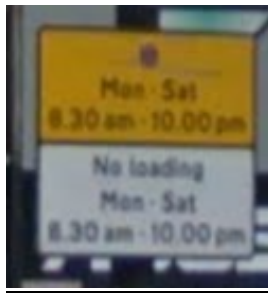
2. The existing buildings and therefore the site is on the WEST Side of TOTTENHAM COURT ROAD a NORTH BOUND ONE WAY STREET. This is a busy Commercial and Retail area of CENTRAL LONDON and therefore the CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP) needs to fulfil the requirements of CAMDEN COUNCIL.

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
***e-mail: malcolmfurniss.mef@gmail.com***  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIQB, CMIOSH, RMaPS**

3. The access to the site for pedestrians and operatives can be via entrances in TOTTENHAM COURT ROAD, either the front entrances or via the underpass to the rear courtyard. For vehicle access there is opportunity for small vehicles to use the underpass in and out of the site but large vehicle will be required to load from the front over the footpath to be managed to minimise the impact on the pedestrians using TOTTENHAM COURT ROAD.
4. Firstly there is a BUS LANE immediately outside of the site, which means that no vehicles will be permitted to stop in TOTTENHAM COURT ROAD in the hours that it is in force, restricting all deliveries as per details below.
5. TOTTENHAM COURT ROAD has a loading restriction as per sign outside of site illustration below. Agreement with CAMDEN COUNCIL will be required to enable Loading from 0600-0830 MONDAY – SATURDAY to enable deliveries to take place. A meeting will be requested with CAMDEN COUNCIL to obtain a time slot during the working day



6. The loading away of spoil can be undertaken via a skip lorry, which can drop the skip onto site in the underpass, during unrestricted times then similarly pick up when full. This will involve the vehicle shunting in the road and therefore will require 2no Road Marshalls to ensure the safety of traffic and pedestrians.
7. The development to this property will require vehicle movements of construction vehicles to both supply the site and remove spoil from the site on a daily basis throughout the duration of the works.
8. This traffic management plan has been produced with the aim of regulating and managing the movement of vehicles to and from the site and minimise the inconvenience to the local public.
9. The area will be checked within the managed route for other developments – we will liaise with their contractors and consult with them regarding their CTMP and whether that has any impact on our CTMP. If structured meetings with adjacent contractors is required formal meetings, with minutes will be held.

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
**e-mail: malcolmfurniss.mef@gmail.com**  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIQB, CMIOH, RMaPS**

10. The neighbouring businesses and residents who may be affected by our works will be leafleted via their letter boxes, to be informed of the type and duration of the development and will be given the telephone numbers of the site manager and the director of the company responsible for the project. All legitimate complaints will be addressed immediately and formally recorded.
11. This is particularly relevant for businesses of TOTTENHAM COURT ROAD on either side of the development.
12. The routes of access will be given to all suppliers along with this plan and the vehicle movements, especially construction lorries which will general be limited to 4 axle 32t rigid vehicles, with no articulated vehicle access allowed, managed accordingly.
13. Vehicle movements will be restricted to 0600-0830, Monday-Friday and 0600-0830 Saturday with no waiting allowed outside or adjacent to the site outside of those hours.

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

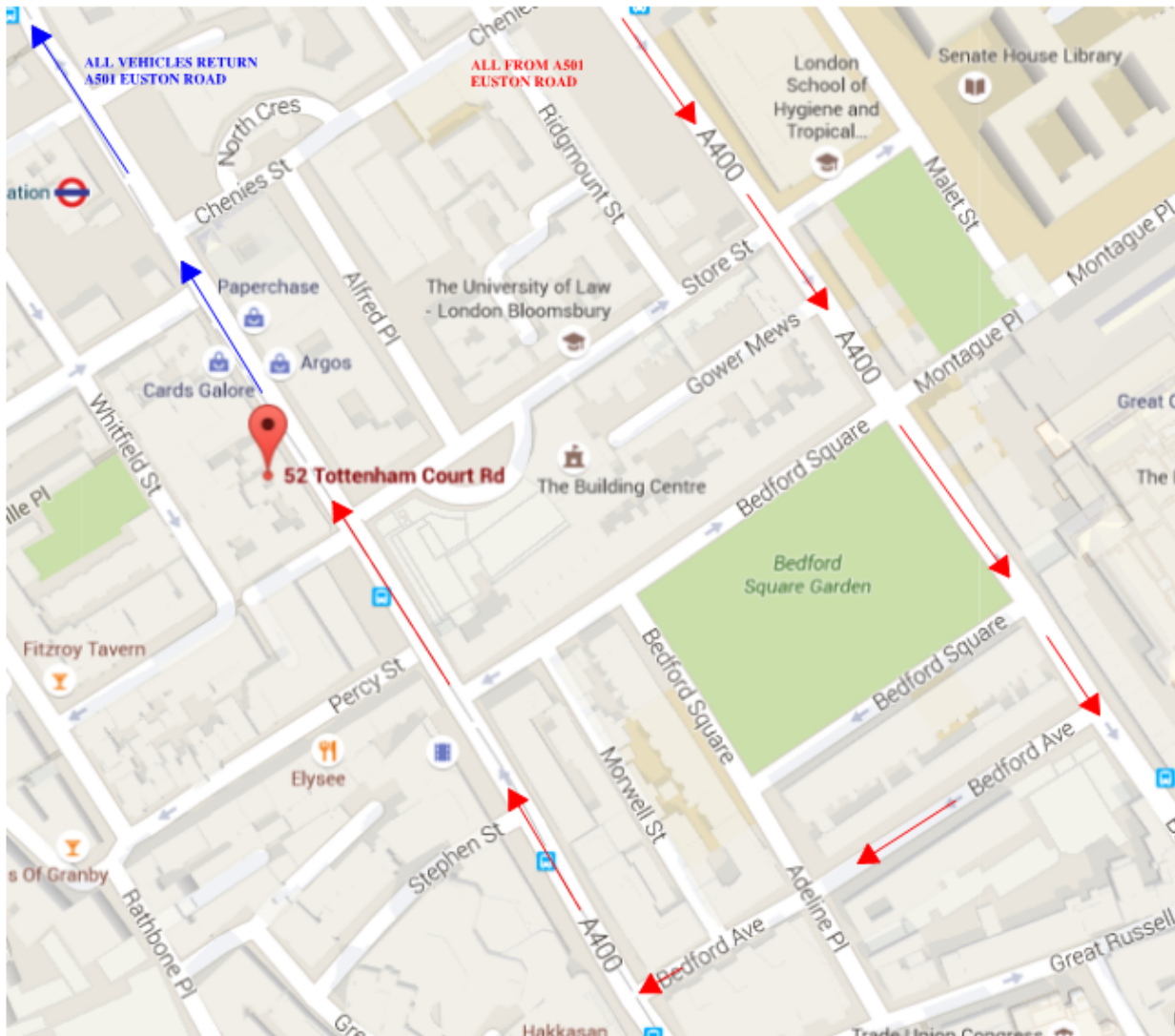
.....  
***e-mail: malcolmfurniss.mef@gmail.com***  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT  
Director: MALCOLM FURNISS BSc(Hons), MCIOB, CMIOSH, RMaPS

**SITE LOGISTICS – ACCESS TO SITE & PROTECTION OF THE PUBLIC**

1. The delivery route to the SITE will be as per plan below:

**51-52 TOTTENHAM COURT ROAD, LONDON, W1T-2EH – ACCESS PLAN**



DELIVERIES IN →

DELIVERIES OUT →

**07 HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

**e-mail: malcolmfurniss.mef@gmail.com**

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIOB, CMIOSH, RMaPS**

2. The SITE is located within a busy retail and commercial area and public use of the road is permitted for access and therefore their protection is paramount.
3. All loading in and out of materials will need to be via TOTTENHAM COURT ROAD only either kerbside using gantry over footpath or via underpass
4. All traffic enters via main TOTTENHAM COURT ROAD KING STREET from A501 EUSTON ROAD, then South along GOWER STREET and turning Right into BEDFORD AVENUE.
5. At the site two traffic marshalls, one behind the vehicle in TOTTENHAM COURT ROAD and one to watch for pedestrians to enable the vehicle to pull up at kerbside or to reverse into underpass and to unload adjacent to the site.
6. Leaving the site will be by driving North along TOTTENHAM COURT ROAD to rejoin A501 EUSTON ROAD.
7. Smaller delivery vehicles will be able to enter under pass and cross footpath via existing crossover – no vehicles to park or wait on crossover.
8. The route is the most direct from the main road and does not pass any sensitive areas, except that BEDFORD AVENUE is a residential area and due care will be taken around resident's vehicles parked along the route.
9. Particular care will be taken to Safeguard cyclists that will occupy the Bus Lane even when not in use – Warning signs to be posted.
10. This movement of vehicles will require 2 no road marshalls to control access and protect the public.
11. Spoil will be removed via a hoist over the gantry to TOTTENHAM COURT ROAD into a waiting lorry or via skips placed on the site via the underpass,
12. The front scaffold and gantry over pavement to protect public will be subject to Structure licence as will provide protection to the public over the footpath.
13. No hoarding will erected as existing façade will provide security to site. Deliveries across footpath will be avoided using gantry at first floor level and entry into first floor via windows or the use of underpass.
14. The concrete to the site will in general be into the site using a mobile concrete pump parked kerbside in TOTTENHAM COURT ROAD.

**07 HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
**e-mail: malcolmfurniss.mef@gmail.com**  
.....



**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIOSH, CMIOB, RMaPS**

15. The delivery of materials will then be via lorry mounted cranes or via concrete pump which will utilise the loading area as protection for the public.
16. There will also be occasions that small deliveries will be carried into the works and again traffic marshalls will be deployed as above.
17. The deliveries will be restricted to one at a time in TOTTENHAM COURT ROAD with no waiting adjacent, with waiting areas outside of the immediate area of TOTTENHAM COURT ROAD away from the area.

**DELIVERY RULES**

1. Spoil will be loaded on to the lorries via skips parked in underpass or via gantry into lorries parked kerbside in TOTTENHAM COURT ROAD, and will be checked and fully sheeted before leaving the site.
2. Some deliveries can only be unloaded from a lorry parked outside the site and these vehicles will either be unloaded by hand or via a lorry mounted crane to first floor loading gantry. In these circumstances the access will be restricted and a ROAD MARSHALL will be deployed at each end of the lorry to prevent pedestrians from entering the unloading area.
3. In all cases pedestrians will have priority and unloading will stop to enable pedestrians to cross. Pedestrians will only be affected when crossing the footpath into the site to access the underpass, otherwise loading will be over a protected pedestrian walkway
4. **All delivery companies will receive written documentation regarding the SITE ACCESS & UNLOADING RULES.**
5. **The delivery companies will be instructed to access the site via TOTTENHAM COURT ROAD, approaching from the South with access from BEDFORD AVENUE and GOWER STREET from main A501 EUSTON ROAD and telephoning the site foreman 30 minutes then 10 minutes in advance to ensure that ROAD MARSHALLS are in place at the site and that the site is clear and ready to receive the delivery. At this Point ROAD MARSHALLS will be present to escort the lorry by guiding it into the unloading area.**
6. **The exiting of the site will be North along TOTTENHAM COURT ROAD back to the main A501 EUSTON ROAD – Noting that lorries will under control of road marshalls, when exiting site.**

*07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL*  
*07988629423*

.....  
*e-mail: malcolmfurniss.mef@gmail.com*  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
Director: MALCOLM FURNISS BSc(Hons), MCIOB, CMIOSH, RMaPS

7. **Delivery companies will be advised that there is to be NO ACCESS FROM OXFORD STREET ie the SOUTH – as one way Street, in any circumstances. All delivery companies will receive a map giving the route to site along with their SITE ACCESS & DELIVERY RULES.**
8. **The delivery companies will be instructed to phone ahead to our foreman 30 minute before arrival to ensure access to site can be gained and will be instructed that no waiting can take place in the area around the site, and not to proceed any further to site if the foreman does not give permission. NO WAITING WILL BE PERMITTED ON THE ROADS SURROUNDING THE SITE.**
9. **The foreman will ensure that only one lorry is ever called to site, planning deliveries accordingly and will ensure that the lorry is dispatched to site, as above, as quickly as possible.**
10. The delivery companies will have a set delivery time, to work on the basis of only one vehicle in TOTTENHAM COURT ROAD at a time and no waiting in Surrounding Roads adjacent to the site. Out of sequence vehicle or vehicles arriving at the wrong time will be advised by telephone to park away from the site, in a safe area out of the Area.
11. The delivery companies will have at least two site contact numbers to ensure that the site is clear for them. If not they will be told to hold at distance from the site.
12. When vehicle reach the site ROAD MARSHALLS will be deployed. One ROAD MARSHALL at the front and one at the Rear of all vehicles once they access the underpass.
13. The delivery times will be restricted to 0600-0830 Monday to Friday, 0600-0830 Saturday.
14. No deliveries will be allowed to conflict with refuse collections vehicles liaison will take place with waste authorities.
15. Vehicles will be directed to travel at walking pace whilst in the road. Vehicles will be surrounded by road cones, with Arrow sign and a road marshall in attendance whilst loading/unloading.
16. Priority will be given to buses and other official vehicles, our vehicles will be moved as required for others' access.

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
***e-mail: malcolmfurniss.mef@gmail.com***  
.....



**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIQB, CMIOH, RMaPS**

17. No materials will be stored outside of the site in the road there will be no welfare facilities outside of the site boundary.
18. The road surface will be kept clean and tidy at all times and will be regularly swept and jet washed as necessary.
19. The Traffic Management for the works will be undertaken by the following personnel: -

TBA	- Resident Site Manager (TBA Construction)	Tel: TBA
TBA	- Resident Site Manager	Tel: TBA
TBA	- Construction Manager	Tel: TBA

The contact numbers can be used by the TOTTENHAM COURT ROAD BUSINESSES and RESIDENTS to immediately address any site issues.

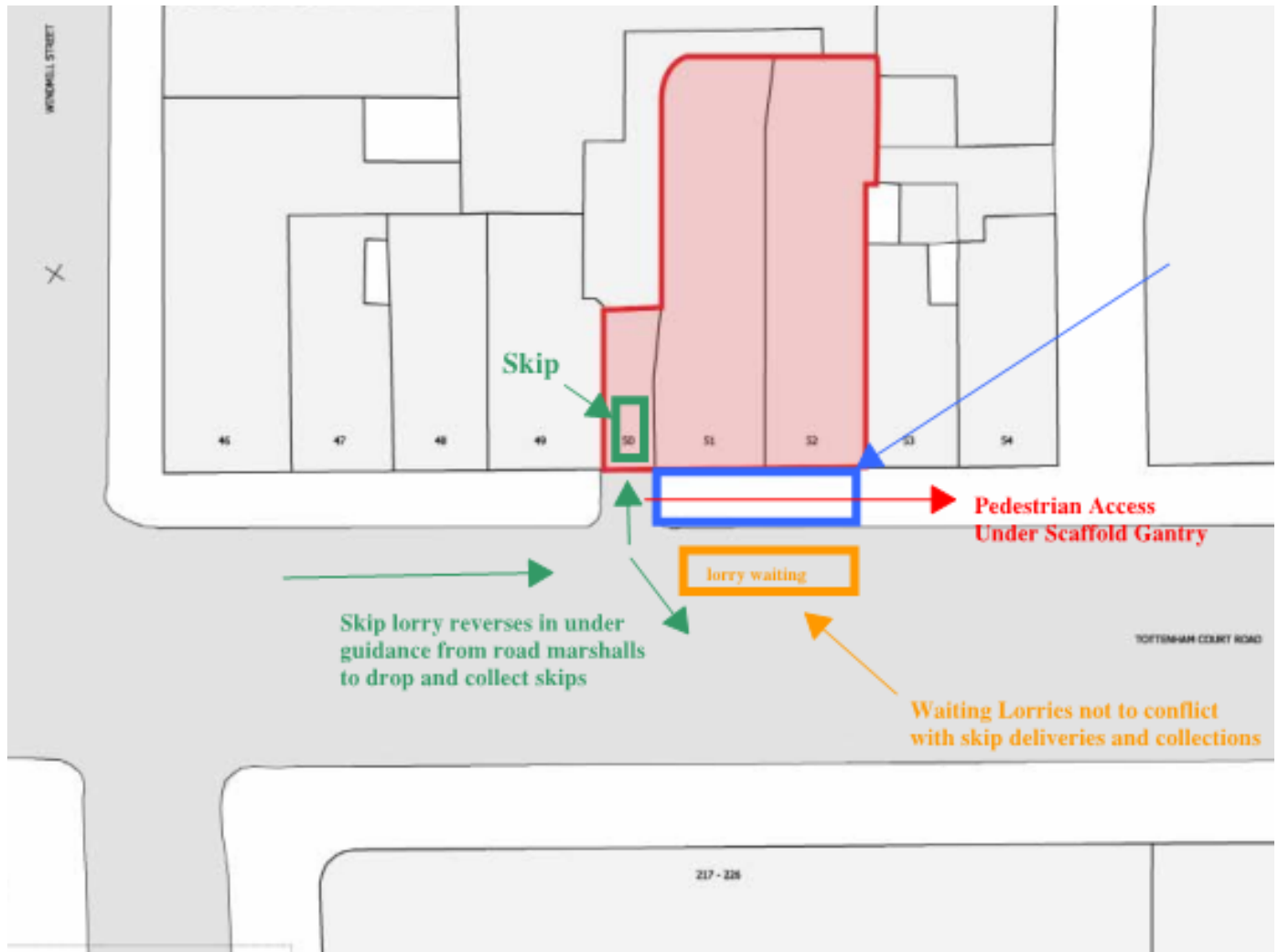
**SITE LOGISTICS – LOADING IN AND OUT**

1. The works require the delivery of materials to the outside of the site and the removal of spoil the same way.
2. Spoil will be removed via wait and load lorries or skip in underpass for general waste with the lorry staying adjacent to the site to remove the spoil, the delivery vehicles will be similarly placed especially concrete vehicles which will be required to pump into the site
3. The site logistics layout as below:

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
***e-mail: malcolmfurniss.mef@gmail.com***  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIOB, CMIOSH, RMaPS**



4. The removal of Excavated spoil will be entirely via SKIP LORRY weighing 18t and carrying 3.5m<sup>3</sup> each – the total volume being approx. 150m<sup>3</sup> removed which equals 50 vehicle movements.
5. In general during the underpinning works there will be 20no underpins undertaken at a rate of approximately, 4no per week, this will require approximately 4 SKIP Lorries per week and a similar quantity of concrete deliveries. This period of 5 weeks will remove approximately 60m<sup>3</sup> of the spoil.
6. The remainder of the spoil will be removed via the excavation works. The excavation will take approximately 4 weeks to remove 90m<sup>3</sup> of spoil at a rate of 2-

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
**e-mail: malcolmfurniss.mef@gmail.com**  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIQB, CMIOH, RMaPS**

4no skip lorries per day, during this period there will be little other deliveries especially concrete.

7. The use of the lorry outside of the site will be similar to that of delivery lorries but at a different time.
8. Concrete will be provided to the works mainly using standard concrete Lorries (these being able to carry 8m<sup>3</sup> of concrete). Each lorry will be in the road between 10-15 minutes and 1-2 Lorries per day will be required for general concreting works. There will be no pumped concrete requiring pipe across the highway as will be at high level.
9. There will be approximately 100m<sup>3</sup> of concrete to be delivered during the works, which will be approximately 40no deliveries spread evenly throughout the duration of the works.
10. During the complete contract period we predict a maximum of 8no vehicle movements per day, of which a maximum of 6no will be 18t lorries, the remainder being smaller "transit van" size vehicles.
11. All vehicles, plant and equipment used will be low noise emission and will not exceed LA90(10MIN) as required. If the plant itself does not attain this requirement protection by way of sound deadening material will be used to protect the adjacent occupants and the public at large. Sound monitoring will take place regularly to ensure compliance.
12. We will require deliveries and collections via lorries throughout the duration of our works, therefore we are prepared to survey the condition of the road, check positions of existing services (in conjunction with Camden Council/Utilities) and provide protection, if necessary. The degree of protection will depend on the condition of the existing road and the services details, as it is better for residents that the road surface is kept as original.
13. No deliveries will be allowed to conflict with refuse collections vehicles liaison will take place with waste authorities.
14. We will manage these vehicle movements to minimise inconvenience to businesses and residents and overall risk to the public.

**PROGRAMME OF WORKS**

1. The works, covered by this traffic management plan, are provisionally programmed to start from March 2016 for a period not exceeding 40 weeks.

**07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL**  
**07988629423**

.....  
**e-mail: malcolmfurniss.mef@gmail.com**  
.....

**M.E.F. CONSTRUCTION SERVICES LTD**  
**CONSTRUCTION MANAGEMENT AND SAFETY CONSULTANT**  
**Director: MALCOLM FURNISS BSc(Hons), MCIOB, CMIOSH, RMaPS**

2. During this period we predict a maximum of 8no vehicle movements per day, average being 4-5no

**MONITORING**

1. This TMP will be monitored on a daily basis by the site manager or the PRINCIPAL CONTRACTOR reporting to MALCOLM FURNISS the Author of this CTMP.
2. At the end of the first week and monthly thereafter MALCOLM FURNISS will formally review the CTMP and note all complaints and ensure that they have been addressed to the satisfaction of the complainant.
3. If there are persistent complaints or a complaint is brought to the attention of the Director of the PRINCIPAL CONTRACTOR an immediate review will be made and recorded to the Director.

**RISK ASSESSMENT**

The hazards resulting from vehicle movements and unloading could affect the residents of the road who would not be aware of the hazards whilst going about their business. Therefore, the implementation of the measures above, especially the use of traffic marshalls and the hoarding, will reduce the risk of injury to an acceptable level (this will need to be reviewed and monitored regularly).

The road surface must be checked daily by a member of the management team for damage. Minor damage if noted to be rectified immediately any depressions of road surface will require deliveries to be stopped until cause is known and the situation rectified.

**NOTE:** The road surface in the area is tarmac and in good condition but areas have been excavated and re-laid in 2-3 places. (A survey of the condition of the tarmac/road markings will be undertaken prior to commencement of works)

**Malcolm Furniss BSc(Hons), MCIOB, CMIOSH, RMaPS**  
**MEF Construction Services Ltd**

**Date: 02/01/2016**

*07HAYLEY ROAD, LANCING, WEST SUSSEX, BN15-9EL*  
*07988629423*

.....  
*e-mail: malcolmfurniss.mef@gmail.com*  
.....