

Heritage Statement



25 Chester Terrace, Camden, London

On Behalf of Trixor Holdings One Limited

April 2016

Project Ref: 2466A

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INTRODUCTION

1. This Heritage Statement has been prepared by Heritage Collective on behalf of Trixor Holdings One Limited and relates to an application for listed building consent for internal and external alterations to 25 Chester Terrace, a grade I listed building located within the Regent's Park Conservation Area and within the London Borough of Camden.
2. In accordance with the requirements of Paragraph 128 of the National Planning Policy Framework (2012) this statement describes the significance of the listed building as a designated heritage asset.

Heritage Assets

3. 25 Chester Terrace is a grade I listed building designated in May 1974 along with its wider terrace; nos.1-42. The building was designed by John Nash and dates from c.1825. As demonstrated by its high grade of listing the building possesses considerable architectural and historic interest as part of an important early 19th century terrace of the Regent's Park Crown Estate development.
4. The application site is located within the Regent's Park Conservation Area. The conservation area was first designated in 1969 and focuses on Regent's Park and its adjoining streets. In 1811 the land reverted to the Crown at which point John Nash was chosen to design a grand scheme creating a new processional route through London from Carlton House to Regent's Park.
5. A number of other designated heritage assets are present in the vicinity of the application site, including:

- Regent's Park Registered park and garden (grade I)
- Railings and parapet to forecourt and gardens of numbers 1-42 Chester Terrace (grade II)
- Fourteen lamp posts, Chester Terrace (grade II)

6. By virtue of the nature of the proposed development the significance of these assets, and those further from the application site, is not capable of being affected by the proposed development.

Proposed Works

7. It is proposed to renovate the entire building through internal reconfiguration redecoration. The works, save for works to the roof and rear elevation, all relate to internal alterations and have been informed by documentary research into the history of the building and the wider terrace.
8. The works include the creation of new openings, the insertion and removal of stud partitions and the installation of architectural details appropriate to the period of the property. It is also proposed to install a roof terrace. Full details of the proposed works are shown on the drawn submission, along with the Design and Access Statement prepared by Gartner Lewin Architects.

Purpose of the Study

9. The purpose of this document is to assist with the determination of the applications by informing the decision takers on the effects of development on the historic built environment. Value judgements on the significance of the heritage assets affected are presented and the effects of the proposals upon that significance are appraised.
10. Specifically this report assesses the capability of the listed building to absorb change without causing harm to its significance and the effects of the proposed development on the significance of the listed building and conservation area. Particular regard is given to the provisions of the Planning (Listed Building and Conservation Areas) Act, 1990. The report also sets out how the proposal complies with the guidance and policy of the National Planning Policy Framework (NPPF) 2012 and local planning policy.
11. The heritage assets affected have been observed and assessed by the author following a site visit made on 1st March 2016 in overcast and rainy weather.

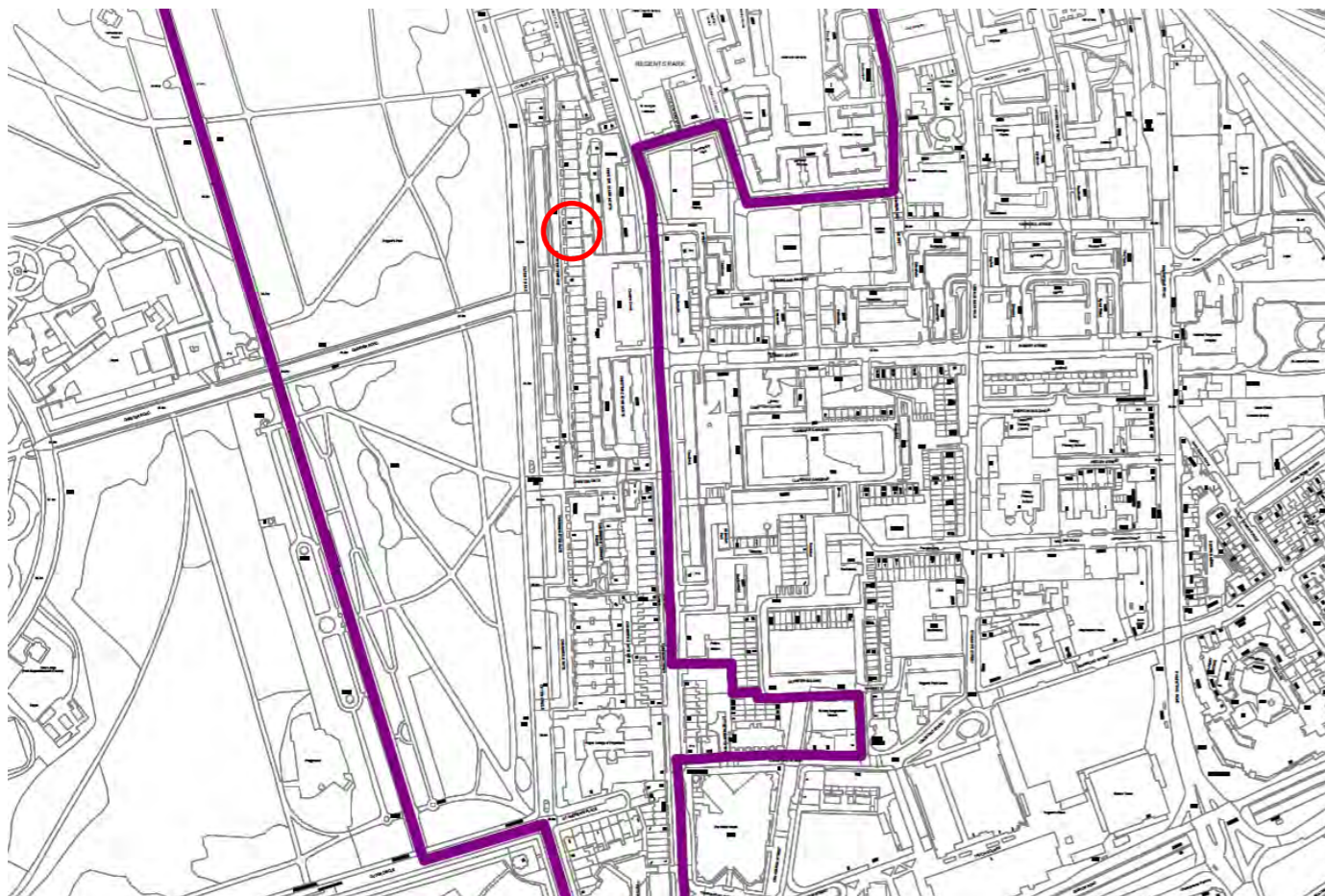


Figure 1: Regent's Park Conservation Area boundary map with the application site circled

RELEVANT POLICY CONTEXT

12. Legislation relating to listed buildings and conservation areas is contained in the Planning (Listed Buildings and Conservation Areas) Act 1990. Sections 16 and 66 of the Act place a duty on the decision maker to have special regard to the desirability of preserving listed buildings and their settings. Section 66(1) of the Act states:

"In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses."

13. Section 72 places a similar duty on the decision maker to pay special attention to the desirability of preserving or enhancing the character and appearance of a conservation area.

National Planning Policy Framework

14. The NPPF constitutes the Government's current national guidance and policy regarding development in the historic environment. It is a material consideration and includes a succinct policy framework for local planning authorities and decision takers. It relates to planning law by stating that applications are to be determined in accordance with the local plans unless material considerations indicate otherwise.

15. Paragraphs 126 to 141 of the NPPF deal with conserving and enhancing the historic environment with much emphasis on "significance", defined in Annex 2 as:

"The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."

16. Paragraph 128 of the NPPF places a duty on the Local Planning Authority (LPA) to require an applicant to describe the significance of any heritage assets affected by a proposal, providing a proportionate level of detail. The effects of any development on a heritage asset therefore need to be assessed against the four components of its heritage significance: its archaeological, architectural, artistic and historic interests.

17. Paragraph 129 requires LPAs to identify and assess the "the particular significance of any heritage asset". This should be taken into account when considering the impact of a proposal on a heritage asset, including by development affecting its setting.

18. Paragraph 131 is particularly relevant, in requiring LPAs to take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.

19. Paragraph 132 applies specifically to designated heritage assets. It states that great weight should be given to their conservation and it requires a proportionate approach (i.e. the more important the asset, the greater the weight attached to its conservation). Conservation (for heritage policy) is defined in Annex 2 of the NPPF as:

"The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance."

20. The importance and relevance of this definition is that it does not suggest conservation to be the same as preservation. Indeed, what sets conservation apart is the emphasis on proactively maintaining and managing change and not on a reactive approach to resisting change. In its simplest interpretation conservation could amount to a change that at least sustains the significance of a heritage asset.



Plate 1: 25 Chester Terrace front elevation

21. Paragraph 131 to 134 describe two levels of potential harm that can be caused to the significance of designated heritage assets, namely substantial harm and less than substantial harm. These effects are to be weighed in the planning balance according to the guidance set out within paragraphs 131 to 134, bearing in mind the statutory provisions above. Substantial harm to or loss of a grade II listed building should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, including grade I and II* listed buildings should be wholly exceptional.
22. Due to the limited nature of the proposals the proposed development is not considered capable of resulting in substantial harm to the significance of the listed building. Paragraph 134 deals with cases of less than substantial harm and notes that any such harm should be weighed against the public benefits of the proposal. Heritage protection and the conservation of heritage assets are recognised as of benefit to the public.
23. Harm is defined by English Heritage as a change which erodes the significance of a heritage asset.

Local Planning Policy Framework

The London Plan

24. The London Plan 2011 (incorporating minor amendments to the London Plan in 2015) is the spatial development strategy for greater London and as such a piece of relevant planning policy.
25. London Plan Policy 7.4 discusses local character of buildings, streets and open spaces and notes that development should have regard to the pattern and grain of development, allow positively contributing buildings to influence future character and is informed by the historic environment.
26. London Plan Policy 7.8 indicates that development should be sympathetic to the form, scale, materials and architectural details of heritage assets, and should, where appropriate conserve, restore and re-use heritage assets. The policy requires historic environments such as conservation areas to be preserved and enhanced and development affecting heritage assets and their settings to conserve their significance in a sympathetic manner.
27. London Plan Policy 7.9 requires the significance of a heritage asset to be assessed when development is proposed and schemes designed so that the heritage significance is recognized, and where possible repaired, restored and put to a suitable and viable use that is consistent with their conservation.

Camden Local Policy

25. The following policies contained in the London Borough of Camden's policy framework are of relevance:
 - i Policy CS14 (Promoting high quality places and conserving our heritage)
 - ii DP24 (Securing high quality design)
 - iii DP25 (Conserving Camden's Heritage)
26. Policy CS14 ensures that new development is of a high quality and is a strategic policy, encompassing the requirement to respect the boroughs heritage and promote high quality places. It is an overarching policy with the detail contained in Development Policies 24 and 25.
27. DP25 deals with heritage assets and requires applications to maintain the character of a conservation area. In order to do this the council will only permit development that preserves and enhances an area, protect unlisted buildings that contribute to that character, prevent development outside the boundaries of the area which would affect character and appearance and preserve trees and spaces that form part of the character of the area. In the case of listed buildings the council will only grant permission for alterations that do not harm the special

interest of a listed building. This policy also considers archaeology and the setting of listed buildings.

28. DP24 deals specifically with new design, setting out a series of criteria that new design is required to meet. These are:
 - a) *character, setting, context and the form and scale of neighboring buildings;*
 - b) *the character and proportions of the existing building, where alterations and extensions are proposed;*
 - c) *the quality of materials to be used;*
 - d) *the provision of visually interesting frontages at street level;*
 - e) *the appropriate location for building services equipment;*
 - f) *existing natural features, such as topography and trees;*
 - g) *the provision of appropriate hard and soft landscaping including boundary treatments;*
 - h) *the provision of appropriate amenity space; and*
 - i) *accessibility.*

National and Local Planning Policy Guidance

National Planning Practice Guidance (NPPG) 2014

29. The National Planning Practice Guidance (2014) provides advice on enhancing and conserving the historic environment in accordance with the NPPF (2012).
30. Paragraph 020 of the document notes that public benefits can be heritage based and can include:
 - Sustaining or enhancing the significance of a heritage asset and the contribution of its setting;
 - Reducing or removing risks to a heritage asset; and
 - Securing the optimum viable use of a heritage asset in support of its long term conservation.

Repairs and Alterations to Listed Buildings (1996)

31. This document provides guidance on internal and external works to listed buildings. The document does not relate to current local or national policy however the general advice remains valid and is discussed below where relevant to the scheme.
32. In respect to internal alterations the guidance states that:

"Where ever possible existing detailing and the contemporary features of the building should be preserved, repaired or, if missing replaced. All works whether they be repairs or alterations, will be required to be carried out in a correct scholarly manner, under proper supervision, by specialist labour where appropriate. The Council will need to be satisfied that alterations to listed buildings are justified, and that the overall effect of a proposal is not detrimental to the architectural or historic integrity or detailing the interior."

HISTORIC BACKGROUND

Development of Chester Terrace

33. Chester Terrace, comprising Nos. 1-42 is a grade I listed terrace overlooking the eastern side of Regent's Park. The list description is set out at Appendix 1. A succinct description is provided by Cherry and Pevsner in *The Buildings of England*:

*Chester Terrace is the longest unbroken terrace of all, ninety-nine bays, (nearly 300 metres) of resplendent cream stucco, elaborately divided up (7-17-5-17-7-17-5-17-7). At the ends, projecting wings are connected to the main facade by paper thin looking triumphal arches: [...]*¹

34. At the end of the 18th century the Marylebone Estate was about to be reverted to the Crown. Buildings along the road spreading out towards Highgate and Hampstead bordered the estate on two sides. To create a new development a prize of £1000 was offered for the best plan for the development of the intervening area². Only three schemes were submitted, all from the same man and all refused³. The Crown then employed its own architects and John Nash's proposals were chosen for the final plan of the estate, this required the whole estate to be put into plots with small houses. It is alleged the Prince Regent wished the development to be designed around a park with only the outer edges developed to save money⁴. Chester Terrace was to form part of the grand plans for this land creating a 'Royal Mile' from the Prince Regent's House in Westminster to Marylebone fields. This grand concept was never completed due to lessees going bankrupt and alterations required by the Treasury⁵.
35. Chester Terrace is located to the east of Regent's Park and was named after one of the Prince Regent's titles – Earl of Chester. It was built by James Burton in 1825 and was designed when Nash was over 70. It was not fully occupied until 1835⁶. (**Plate 1 and Plate 2**)

25 Chester Terrace

36. No full sets of historic plans have been discovered for No.25 Chester Terrace, nevertheless the small number of historic plans provide some background to the development of the internal layout.
37. The first floor plans found at Camden Local Studies of the building are from a drainage application in 1924. In these plans the ground, second and third floor are all shown on the application and there is a section of the building. These plans are not particularly detailed and do not record room uses but do show the layout of the building and the location of staircases on these floors (Figure 2).
38. A drainage plan for the basement dated 1 May 1925 offers more information on the layout of this floor. This shows that the H.M Pantry was to the front of the property with the morning room, kitchen larder and scullery located to the rear of the building.
39. During the Second World War the whole of the terrace suffered from bomb damage, with number 25 suffering damage classified by the London County Council as '*blast damage, minor in nature*'. Plans held at The National Archive (ref. LRRO 1/5079) show the proposed repair works to the terrace following the damage. No. 25 is not shown as requiring repair.
40. After the Second World War the Regent's Park Terraces were in a poor condition and a committee was formed to report back to the Government on what should be done with them. After much debate it was decided to completely refurbish the terraces. Chester Terrace was restored in the early 1960s by a subsidiary of Hallmark Securities Ltd., with David Hodges as architect and Holland and Hannen and Cubitt Ltd. as builders⁷. The third report by the Crown Estate Commissioners detailed what was to happen.

¹ B.Cherry and N. Pevsner, *The Buildings of England*. London 3: North West (Penguin Books, 1991), p. 622-3.

² A Parish and I Goddard, *London's Pride*, (Ward, Lock and Co. Ltd., London 1951) *The Future of the Regent's Park Terraces*. Reports 1947-62 Crown Commissioners (London, 1962) p.80

³ Ibid p.80

⁴ Ibid p.81

⁵ Ibid p.81

⁶ 'Chester Terrace', in *Survey of London: Volume 19, the Parish of St Pancras Part 2: Old St Pancras and Kentish Town*, ed. Percy Lovell and William McB. Marcham (London, 1938), pp. 120-121

⁷ *The Future of the Regent's Park Terraces*. Third Statement by the Crown Commissioners (London, 1962) p. 11



Plate 2: Engraving of Chester Terrace (1828)



Plate 3: Chester Terrace before the war

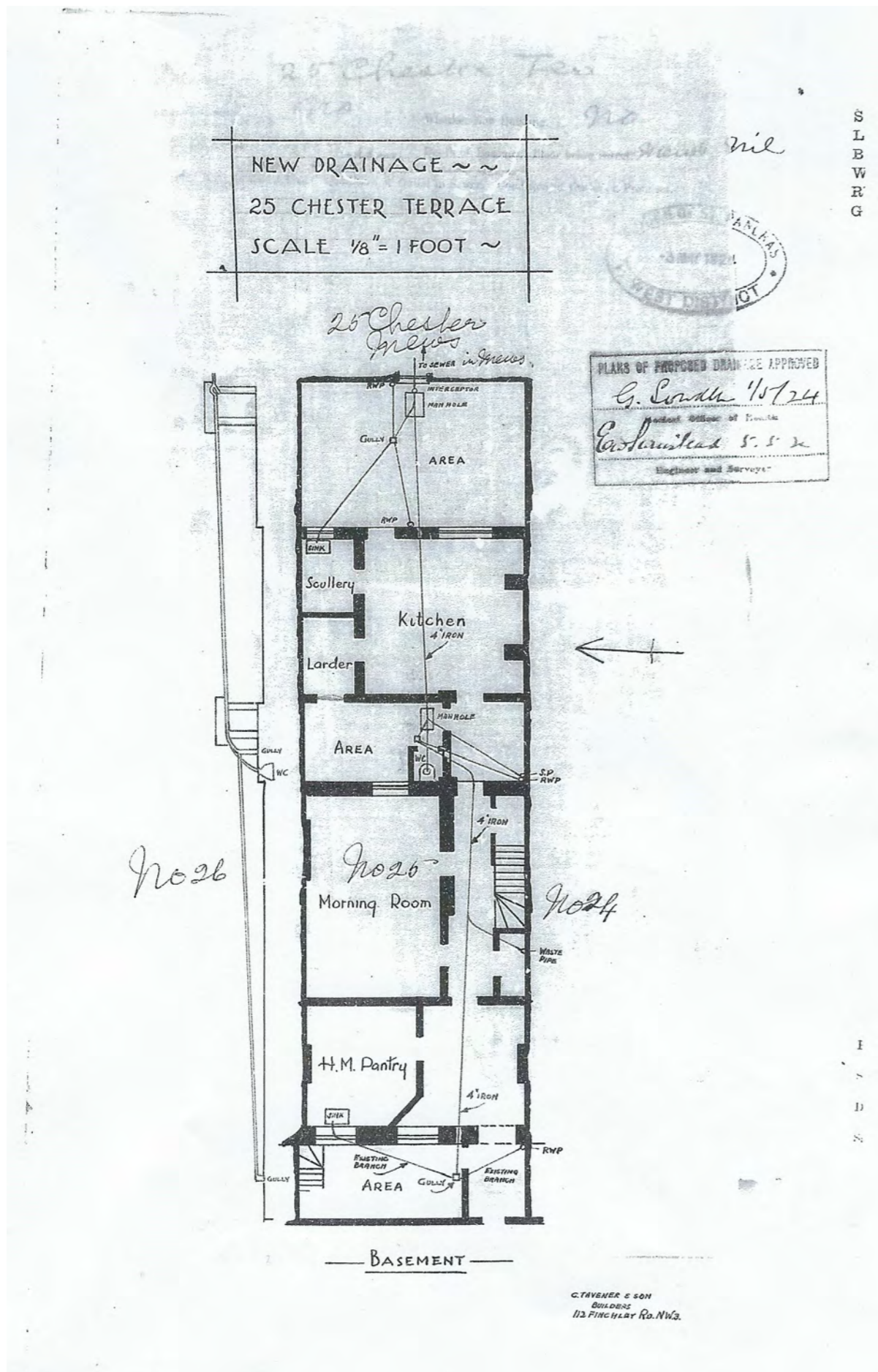


Figure 2: 1924 Drainage Plan of No. 25 Chester Terrace

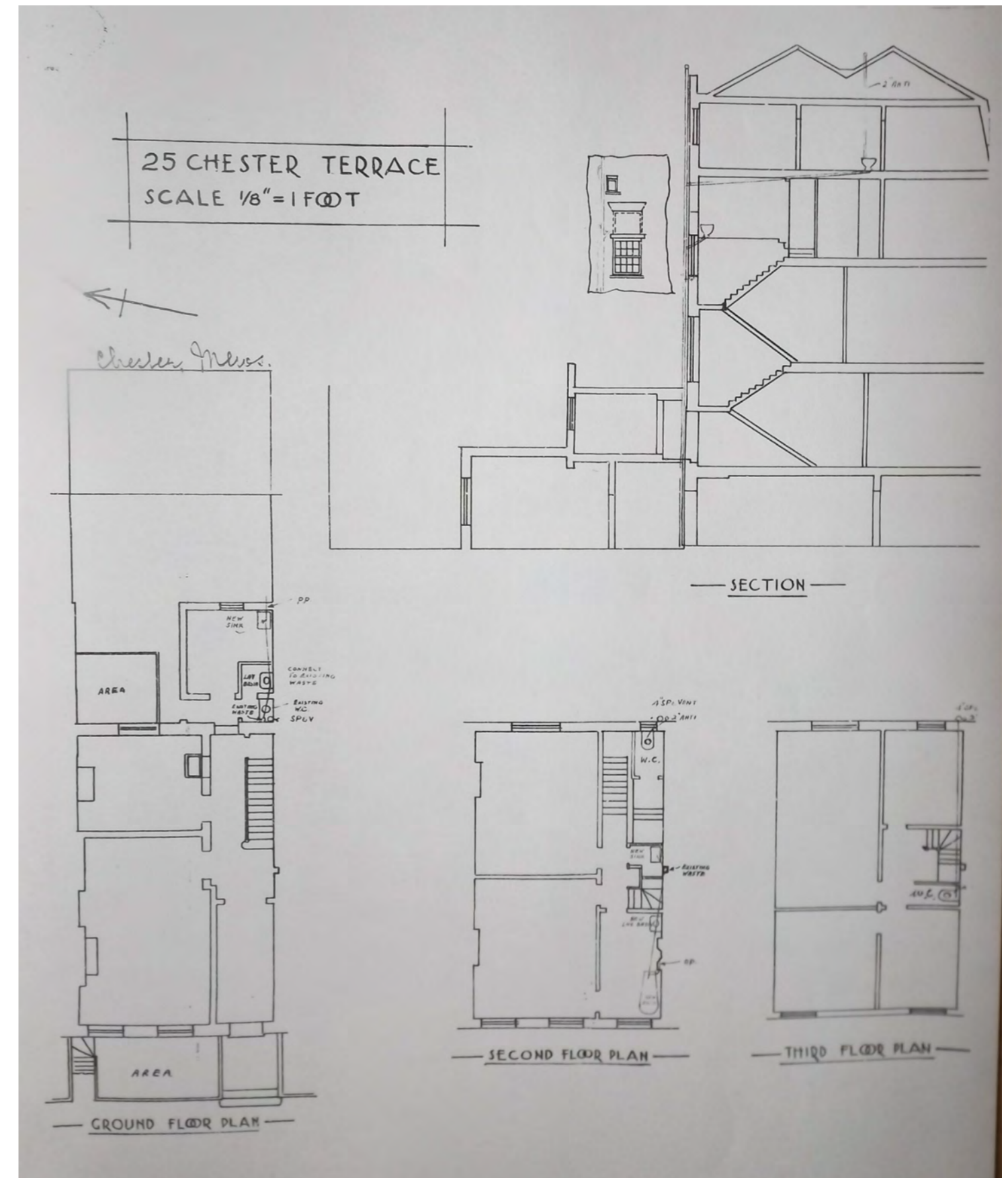


Figure 3: 1924 Drainage Plans of the ground, second and third floor and a section

'All the Terrace is being kept as individual houses within the existing main walls, except for two destroyed houses which are being renewed. Roofs, floors, internal (not party) walls, timberwork and loose brickwork are being renewed, and internal plaster stripped from the walls and small passenger lifts installed, so that the whole of the internal construction of each of the houses is new. The repairs being made to the shell of the buildings are of such a nature that their strength and stability is very materially increased, resulting in their being given a new life which will surely be at least equal to the 99 year lease which has been granted. The new wood floors and the domestic loading on them is of no more than the structure was originally designed to sustain'.

36. The mews property to the rear was demolished. 'Smaller houses, a block of flats, shops and an underground garage are approved for the Mews site and the Albany Street frontage'.

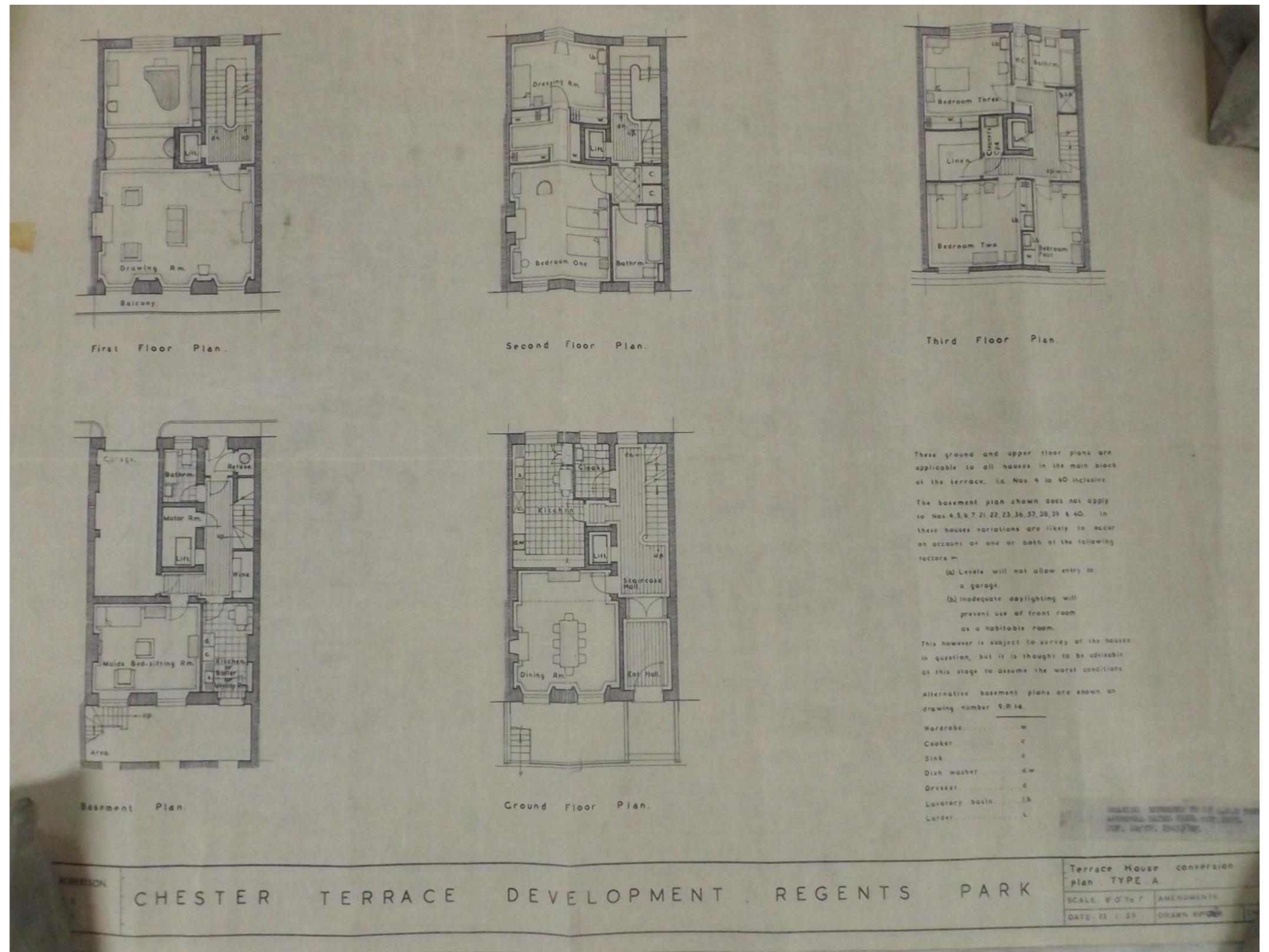


Figure 4: 1960s drawings of Chester Terrace showing new layout



Plate 4: Ground Floor entrance hall and staircase



Plate 5: Ground Floor front room cornice to be replicated



Plate 6: Lower Ground Floor



Plate 7: Ground Floor Kitchen



Plate 8: Doorcase at first floor level



Plate 9: First Floor columns

ASSESSMENT OF HERITAGE SIGNIFICANCE

38. It is recognised that not all parts of a heritage asset will necessarily be of equal significance. In some cases certain elements could accommodate change without affecting the significance of the asset. Change is only considered harmful if it erodes an asset's significance. Understanding the significance of any heritage assets affected and any contribution made by their setting (paragraph 128, NPPF 2012) is therefore fundamental to understanding the scope for and acceptability of change.
39. A description of 25 Chester Terrace and its heritage significance is presented below. The appraisal goes on to provide an summary of the significance of the Regent's Park Conservation Area. The descriptions are proportionate to the asset's significance and the nature of the proposed works.
40. Architectural/aesthetic value/significance: No.25 is of primary architectural interest through the quality of its external form and incorporation within one of the most complete terraces bounding Regents Park, designed by John Nash. It contributes to the overall character of the terrace and, externally, remains almost unchanged from when it was built in the early 1800s. The terrace demonstrates a very high level of composition and quality craftsmanship.
41. The interior of No.25 has been subject to considerable alteration through the complete removal of internal features in the 1960s and the insertion of a lift. Those areas within the property which are of most significance are: i) the broadly readable hierarchy of internal spaces from lower-ground to third floor; ii) original windows and associated architraves; iii) the main staircase, or rather the location of it, from ground to second floor.
42. The existing roof form is not original and, along with the majority of internal partition walls and corncing, date to the 1960s when the property was comprehensively renovated as part of the wider improvements made to the Chester Terrace, post war.
43. Historical value/significance: No.25 is of historical significance only insofar as it forms part of a group of properties which survives as one of the most complete terraces in Regents Park. Furthermore, the terrace can be attributed to John Nash, an influential and prolific architect of the period.
44. Artistic value/significance: The property is of no artistic interest as far as its interior is concerned. It is of some artistic value through the level of craftsmanship evident in the quality of its elevations, and the composition and detail of the external form of the wider terrace when seen and appreciated as a whole.
45. Archaeological and evidential value/significance: The property is of some evidential value as a surviving example of how the wealthier classes of the early to mid-19th century conducted their lives and how the area around Regents Park developed. Although there have been some significant changes to the internal layout of the property, consideration of the drainage applications from the 1920s show that the hierarchy within the building is still broadly readable. The existence of these plans, alongside the existing layout/arrangement of the internal spaces within the property, provide an insight into how the building was used.
46. In summary, No.25 is of very high, and primarily architectural/aesthetic, interest through the quality of its elevation fronting Regents Park, and its contribution to the wider composition, and overall aesthetic, of the wider terrace. The interior of No.25 is of very limited value today, with the general hierarchy of spaces being one of the only surviving elements of interest which contributes to the property's overall heritage value – something which will be maintained as part of proposed works.
47. Aside from the above, the property has been substantially altered, along with its setting (discussed below) due to the mid-20th century redevelopment to the east, which included the loss of the mews properties associated with the terrace.

Regent's Park Conservation Area

48. The Regent's Park Conservation Area was first designated in 1969 and centres on Regent's Park and the surrounding streets.
49. The park was originally designed as a setting for a number of villa residences as part of an 1811 grand scheme by John Nash before opening to the public in 1835. The history of the conservation area is laid out in more detail in the Historic Background section of this report.
50. The architectural interest of the conservation area is entirely derived from the built form within its boundary, including the formal terraces which front the edge of the park and the detached villas within it. John Nash's design predominantly survives and still dominates the character and appearance of the area providing a character of grand stuccoed terraces of classical composition which enclose an extensive parkland containing isolated villas and an ornamental lake.
51. The conservation area also possesses considerable artistic interest as a result of the general picturesque quality of the near circular park itself, including the surrounding aesthetic villas and terraces.
52. The Regent's Park Conservation Area is a designated areas of considerable historic interest. This is primarily derived from the clearly appreciable and largely intact John Nash masterplan of 1811-1829. Associations with Nash and a number of other well known people elevate the historic interest of the building.
53. The conservation area possesses a unique character due to its past use as a private residential estate and current form as a public park complete with Zoological Gardens and surrounding terraces (partly within Westminster). As a result of this the conservation area possesses historic interest as it is, to a high degree, illustrative of the social and economic character of this part of London during the early 19th century.
54. The Regent's Park Conservation Area is also an area of potential archaeological interest as specific areas within the boundary may hold evidence of past human activity worthy of expert investigation. For example, past excavations have identified that the deserted medieval village of Rugmore is located to the north of the park.
55. The Regents Park Conservation Area Appraisal is broken up into sections according to six sub-areas which combine to make up the conservation area. 'Regents Park and Terraces fronting the park and their mews' is sub-area 1, and takes in the application site.
56. The appraisal notes, at p.27:

"Chester Terrace is set back from the park with a strip of contained shared gardens with flowering plants, shrubbery and trees. Chester Terraces is the longest unbroken façade in the park (287m/840ft) with a complex alternating system of bays (ABCBABCBA) totally 99 bays, marked by giant Corinthian columns attached and detached in groups which rise from ground floor level. Balconies run continuously between and behind the columns. At either end are projecting wings, connected to the main façade by theatrically thin triumphal arches inset with the name 'Chester Terrace' across the full street width".
57. It goes on to observe that the space created between Cumberland Place, Chester Terrace and Chester Place is a complex one which is the result of Nash's overall theatrical composition. Other than the above examples, Chester Terrace is mentioned relatively little within the document. It does, at p.90, make the point that 'the whole of the internal construction of each house is new' as announced by the Commissioners in 1962.
58. The terraces which surround Regents Park are effectively the transition zone between the parkland and housing. It is the eastern side of the Park which has seen the most redevelopment in the 20th century, through the construction of the high density houses to the east of Chester Terrace. Key views within the conservation area include the view of Chester Terrace as seen from Chester Road and from Chester Place.

PROPOSED DEVELOPMENT AND POTENTIAL IMPACTS ON HERITAGE SIGNIFICANCE

59. It is proposed to refurbish the interiors of the house to provide up to date services and interior finishes, including lighting, cooling and heating. This will involve the removal of all internal finishes and the reinstatement of features in keeping with the period of the building. Changes to the internal plan form are limited in number and have been designed to be sensitive to the importance of hierarchy within the building and the readable plan form of the spaces.
60. At roof level it is proposed to provide a new roof terrace, sat in the middle of the existing front and rear slate roof slopes. This has been designed to sit away from the street frontage and to be set within the roof scape to avoid any visual impact. It follows the design and pattern of other roof terraces granted consent along the terrace, which include terraces at Nos. 12, 16, 21, 22, 29, 34 and 36.
61. This section should be read with reference to the general arrangement plans and the detailed drawings produced by Gartner Lewin Architects.

External Alterations

62. The only external alterations proposed are the roof terrace and the replacement of the rear, non-original windows. Like over houses within the terrace the addition of a discreet roof terrace, accessed via a new flight of stairs in the stairwell below will have no effect on the heritage significance of the building. It will only affect 1960s fabric and the appearance of a traditional roof form will be maintained from the street and the wider area. There is proposed to be a deck (timber) with walkover glass skylights to provide light into two bathroom below. This roof terrace will have no effect on the heritage significance of the listed building and will not affect any historic fabric.
63. Replacement of the rear windows will improve the appearance of the building from the east. The windows will be timber framed, double glazed sash windows in keeping with the existing windows but improving on the thermal and acoustic performance to the rear rooms. The glazing will be slim line, to avoid undue visual change. There will be no impact on the significance of the building as a result of providing new, bespoke, timber framed sash windows on this secondary elevation of the house. Other properties with double glazing on the rear include No.8 and No.31 where it was considered that there would be no impact on heritage significance due to the highly altered nature of the rear elevations of all the houses in this terrace.

Internal Alterations*Lower Ground Floor*

64. At lower ground floor level it is proposed to insert a partition within the front of the building to subdivide the space. Historic drainage plans from 1924 demonstrate that this front room was divided by a partition, which has since been removed. It is proposed to make minor alterations to the walls and doors to provide service staff areas, laundry and storage areas. There are no cornices and the doors are modern 1960s doors. It is proposed to replace the skirting with a simple ogee profile throughout and to omit cornices (given this is a lower ground floor place). The doors will be timber panelled, of a simple, subservient form.
65. The vaults are proposed for new plant, which is to be fitted within the existing space (with no lowering of the floor). New doors will be installed with some ventilation, in line with other examples along the terrace. These changes will have no impact on historic fabric.

Ground Floor

66. At ground floor level the alterations include the insertion of a new opening between the front and rear rooms, to provide a more open plan living and kitchen area. The 1924 plans demonstrate that the current wall between the front and rear rooms at this level is not in its original location and was moved to accommodate the new lift inserted in the 1960s. There is evidence for a former opening in

this location as well. The doors in the new opening are to be two panel full height doors in keeping with the grandeur of the space. They are to have a timber moulded surround but will be sliding doors to enable them to not clash with the door into the room or the kitchen units.

67. Within the entrance hall the floating arch detail is to be removed (non-original and not in keeping with the original layout). Doors are to be removed and replaced with timber four panelled doors of a height appropriate to the principle ground floor (i.e. taller than the existing openings). Cornices are proposed to replace the existing cornices in the hallway and the ground floor rooms. The ground floor front room cornice will replicate the same pattern as existing (and as is evidenced in other houses on the terrace). In the hallway the existing design is not appropriate and will be replaced with another design more in keeping.
68. Overall these alterations will improve the appearance of the interior of this terraced house by restoring a period character to the property. Floor plan will not be affected, nor will any original fabric.

First Floor

69. At first floor there will be no significant changes to plan form and the major decorative interior features will be retained. Sliding/bi-folding doors between the front and rear rooms (21 and 22) are proposed necessitating the removal of two of the decorative columns. The columns are not original and are arranged around the lift inserted in the 1960s. New lighting, carpets, radiators, bookshelves, doors, skirting and cornices will be installed being replaced, in some instances, on a like for like basis and in others with a more appropriate design. The door heights will be in keeping for this principle floor.
70. New lighting arrangements are proposed that reduce the number of spot lights, introduce a large pendent and small lights around the perimeter of the ceiling. This will improve upon the existing situation.

Second Floor

71. At second Floor there will be a general rearrangement of the floor plan, removing non-original partitions and providing a master suite. As with the other floors all new internal finishes will be appropriate to the hierarchy of the floor level and the period of the building.
72. There will be no harm to heritage significance as a result of the proposed changes.

Third Floor

73. Reconfiguration at third floor level will involve the removal of all the non-original partitions and the rebuilding of partitions on a simpler floor plan (made up of four rooms and two bathrooms symmetrically arranged). This will improve upon the existing layout.
74. In place of an existing cupboard on the landing a new flight of stairs will be installed up to the roof terrace, accessed through a sliding glazed rooflight.
75. These alterations will have no impact on heritage significance.

Policy Compliance

76. This report has assessed that the proposed alterations are compliant with local and national planning policy and guidance.
77. This Heritage Statement has satisfied the requirements of paragraph 128 of the NPPF insofar as it provides a proportionate assessment of the significance of heritage assets affected by proposals. It goes on to assess the impact of proposals on that significance. The proposed alterations fall outside the remit of paragraphs 133 and 134 of the NPPF insofar as they will not result in any harm to, or loss, of significance of the grade I listed building or the Regent's Park Conservation Area.
78. With respect to local policy, the proposed works are compliant with Policy DP25 with respect to the effect on heritage significance. The London Plan is complied with.

SUMMARY AND CONCLUSIONS

79. 25 Chester Terrace is a grade I listed building designated in May 1974 along with its wider terrace; nos.1-42. The building was designed by John Nash and dates from c.1825. As demonstrated by its high grade of listing the building possesses considerable architectural and historic interest as part of an important early 19th century terrace of the Regent's Park Crown Estate development. The building is located within the Regent's Park Conservation Area.
80. It is proposed to renovate the entire building through internal reconfiguration redecoration. The works, save for works to the roof and rear elevation all relate to internal alterations and have been informed by documentary research into the history of the building and the wider terrace.
81. As identified the proposed works only affect modern fabric and though an additional flight of stairs is provided to reach the proposed roof terrace the hierarchy of the stair core and the interest this bestows upon the listed building is preserved. The proposed works will preserve and slightly enhance the significance of the grade I listed building as a result of the restoration of features more in keeping with the period than the 1960s work.
82. There will be no visual change to 25 Chester Terrace in long and short views of the front and rear elevation or views from the upper floors of surrounding buildings. Due to this lack of visual change there will be no effect on the significance, character or appearance of the Regent's Park Conservation Area.
83. Overall, this report establishes that the development will preserve the significance of the grade I listed 25 Chester Terrace and Regent's Park Conservation Area. As such, paragraphs 132-134 of the NPPF would not be engaged by this proposal as no material harm to the significance of the listed building or conservation area will occur. Rather, proposals result in a slight enhancement to the significance of the listed building as a result of various roof level alterations. As such, the proposed development is in accordance with the requirements of the NPPF and local planning policies.

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London VII.32	1:60"	1870, 1893, 1935
TQ 2883 SE	1:1250	1958, 1968
Drainage application for 25 Chester Terrace	April 1925	
Drainage application for 25 Chester Terrace	May 1925	

The National Archives

LRRO 1/5079	Chester Terrace: nos 4-42, repairs to bomb damage; plans	1947
CRES 59/301	London: Chester Terrace development (Albany street redevelopment)	1964-73
CRES 2 /1742	Chester Terrace: alterations and repairs to premises (inc. plans)	1830-1858
CRES 2/1739	Leases of land to James Burton and his nominees for erection of Chester Terrace, Nos 1-4, Chester Place and Nos 61-115, Albany	1824-1831
LRRO 1/5080	Chester Terrace: proposed redevelopment; plans and elevations (Proposals to amend the houses to flats)	1950

London Metropolitan Archives (Consulted during previous research in 2013)

London County Council bomb damage map	1940s	
LMA/4625/D/11/003	Regents Park; Clarence Terrace and Chester Terrace	1959-1963

Photographs/ PrintsCamden Local Studies and Archives

LCP 942.143	Chester Terrace	n.d.
LCP 942.143	Chester Terrace	n.d.

London Metropolitan Archives [Accessed for previous research in 2013]

SC/PHL/01/336	Chester Terrace	1937
SC/PHL/01/336	Chester Terrace	1937
SC/PHL/01/336	Chester Terrace	1959
SC/PHL/01/336	Chester Terrace	1960
LMA/4625/D/11/003		
SC/SS/07/003/167	Chester Terrace	1900
SC/SS/07/003/171	Chester Terrace	1961
SC/PZ/SP/01/277	Chester Terrace, general view	1828
SC/PZ/SP/01/343	Chester Terrace	1834
SC/PZ/SP/01/344	Chester Terrace	1834

Historic England Archive (online)

bl22905	No.14 Morning room	Feb 1915
bl22906a	No.14 Morning room across corridor	Feb 1915
bl22907	No.14 Drawing room	Feb 1915

Secondary Sources

- Journals/newspapers

Sale particulars for Chester Terrace in *London Portrait Magazine* (March 1986)

Sale particulars for Chester Terrace in *London Portrait Magazine* (October, 1991)

Regency Drama from the Terraces in *The Times* (15/03/1997)

Sale prospectus for 33 Chester Terrace, 1972

- Books

B. Cherry and N. Pevsner, *The Buildings of England. London 3: North West* (Penguin Books, 1991)

A Parish and I Goddard, *London's Pride*, (Ward, Lock and Co. Ltd., London 1951)

The Future of the Regent's Park Terraces. Reports 1947-62 Crown Commissioners (London, 1962)

J Summerson, *The Life and Work of John Nash Architect* (George Allen and Unwin, London, 1980)

- Unpublished reports

Heritage Collective Research Report for 2 Chester Terrace, November 2013

Heritage Collective Research Report for 8 Chester Terrace, May 2013

- Online sources

APPENDIX 1: CHESTER TERRACE LIST DESCRIPTION

NUMBERS 1-42 AND ATTACHED RAILINGS AND LINKING ARCHES

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBERS 1-42 AND ATTACHED RAILINGS AND LINKING ARCHES

List entry Number: 1271885

Location

NUMBERS 1-42 AND ATTACHED RAILINGS AND LINKING ARCHES, 1-42, CHESTER TERRACE

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: I

Date first listed: 14-May-1974

Date of most recent amendment: Not applicable to this List entry.

Legacy System: LBS

UID: 476897

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ2882NE CHESTER TERRACE 798-1/87/212 (East side) 14/05/74 Nos.1-42 (Consecutive) and attached railings and linking arches

GV I

Grand palace-style terrace of 37 houses & 5 semi-detached houses. c1825. By John Nash. For the Commissioners of Woods, Forests and Land Revenues. Built by J Burton. Stucco. Slate mansard roofs with attic dormers. EXTERIOR: the longest unbroken facade in Regent's Park (approx 280m) with an alternating system of bays (ABCBABCBA). At either end projecting pavilion blocks connected to main facade by thin triumphal arches. Main Block (Nos 6-38): symmetrical composition of 3 and 4 storeys. 3 windows to each house. "A" bays, screen of 8 free-standing, fluted Corinthian columns supporting an entablature with modillion cornice above which a recessed attic storey with round-arched windows. Round-arched ground floor openings; architraved heads linked by impost bands. Recessed doorways with panelled doors and fanlights. Windows with margin glazing. 1st floors with architraved sashes and continuous cast-iron balconies. "B" bays, round-arched ground floor openings; architraved heads linked by impost bands. Recessed doorways with panelled doors and fanlights. Windows with margin glazing. Architraved 1st and 2nd floor sashes; 1st floor with continuous cast-iron balcony. Main projecting modillion cornice at 3rd floor level. Cornice and blocking course above 2nd floor. "C" bays, slightly projecting with screen of 6 attached, fluted Corinthian columns supporting an entablature with modillion cornice above which 2 recessed attic storeys with cornice at 3rd floor level and pediment above. Round-arched ground floor openings; architraved heads linked by impost bands. Recessed doorways with panelled doors and fanlights. Windows with margin glazing. 1st & 2nd floors with architraved sashes; 1st floor with continuous cast-iron balcony. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings to areas. Linking triumphal arches with round-arched vehicle entrance flanked by pedestrian entrances. Inner elevations with 4 attached Corinthian columns supporting a modillion entablature above which a scrolled frieze, cornice and blocking course. Outer elevations with 4 Corinthian pilasters supporting a modillion entablature with panel inscribed "Chester Terrace", cornice and blocking course. Nos 4 & 5 and Nos 39 & 40: to south and north of arches respectively. Channelled stucco ground floors. Square-headed doorways with panelled doors and fanlights. Recessed sashes, upper floors with architraves; 1st floors with continuous cast-iron balconies. Main cornice at 3rd floor level. Cornice and blocking course above 3rd floor. Right hand return of No.4 pedimented with blind windows. No.3: fronting on to Chester Gate. 2 storeys and basement. 4 windows. Forms the terminal return to main block. 3 central bays slightly projecting. Greek Doric prostyle portico; panelled door and fanlight. Recessed sashes, those flanking the portico with shouldered architraves (left hand blind). Right hand bay with projecting bay window surmounted by parapet with central balustraded panel. Cornice and blocking course with central feature of segmental-headed cut out block flanked by panelled dies. Left hand angle with enriched pilaster strip and surmounted by anthemion acroterion; right hand angle with anthemion acroterion only. Symmetrical west frontage to garden; 2 windows, 1st floor with balconies. Bust of Nash on bracket between 1st floor windows. Parapet with central urn. INTERIOR not inspected. SUBSIDIARY FEATURES: attached cast-iron railings to garden and flanking steps. Nos 1, 2 & 41, 42: projecting pavilion blocks fronting Regent's Park and linked to main block by triumphal arches. Similar to "C" bays. 4 storeys. 5 windows and 3-window returns. Attached Corinthian columns (paired at angles) rise through 1st and 2nd floors to support entablature with projecting cornice; Corinthian pilasters to other fronts. Round-arched ground floor openings; windows architraved with margin glazing. Upper floors with recessed sashes; 1st floor with cast-iron balconies except central window. 2nd and 3rd floor form attic storeys (2nd floor windows architraved) with cornice at 3rd floor sill level and cornice and blocking course above 3rd floor. INTERIORS: not inspected. HISTORICAL NOTE: No.13 was the residence of CR Cockerell, architect and antiquary (English Heritage plaque). (Survey of London: Vol. XIX, Old St Pancras and Kentish Town (St Pancras II): London: -1938: 120).