

**DESIGN AND ACCESS STATEMENT.**  
**67 GOLDHURST TERRACE LONDON NW6 3HB**

**The Application:**

This Design and Access Statement is intended to aid the understanding of the design intent expressed in the drawings and support material submitted as part of the planning application for rear roof terrace and rear balcony to 67 Goldhurst Terrace, London NW6 3HB.

The application was prepared in accordance with the comments received from the planning department at Camden, correspondence of which form part of this statement. This document also contains granted reference of similar granted application in Goldhurst Terrace.

**Location:**

67 Goldhurst Terrace is on a long sloping residential street to the west of Finchley Road. The building on the site is a large terraced three storey house which dates from the late 19th century. The property is divided into flats. The street is characterised by similar large residential properties some of which are single family dwelling houses, some of which are divided into flats. The site is located in Swiss Cottage Conservation Area. The building on the site is not listed. No changes are proposed to the existing landscaping, and there are no trees on the site which would be affected by the proposal work.

**The Proposal:**

The proposed works would result in the creation of roof terrace to the top flat, accessed from the lower floor of the same flat via a cast iron spiral stair. The roof terrace will be contained with traditional design balustrading, painted black in cast iron. The balustrade will be set in from the roof edge on two side to minimize overlooking.

**Neighbouring sites granted planning**

Top Floor Flat – House No.71 Goldhurst Terrace: Permission granted for the erection of two dormer windows on the rear roofslope and installation of 4 rooflights at the front roof slope in association with the provision of additional residential accommodation for the top floor flat, granted in March 2008, application number 2008/0974/P

Top Floor flat – House No. 79 Goldhurst Terrace: Permission granted for the

inclusive of dormer windows on the rear roof slope and 3 roof lights on the front roof slope in association with residential flat, granted in September 2010, application number 2010/3797/P.

Top floor flat – House No. 53 Goldhurst Terrace: Permission granted for the erection of a dormer with inset balcony to the rear roof slope and two roof lights to the front roof slope in connection with the residential flat in April 2011, application number 2010/0707/P.

House No.49 Goldhurst Terrace: Permission granted for the erection of a single storey rear extension, rear dormer extension and rear roof light, and two roof lights to front of dwelling house (Class C3) in May 2009, application number 2009/1545/P.

Flat 3 House No. 47 Goldhurst Terrace: Permission granted for the erection of dormer to rear roof slope of residential flat (use class C3) and the installation of roof lights to the front roof slope, in May 2010, application number 2010/0704/P.

House No. 142 Goldhurst Terrace: Permission granted for the formation of rear roof terrace with balustrade and associated new patio doors at the first level in connection with residential flat (Class C3), in September 2012, application number 2012/3638/P

House No.147 Goldhurst Terrace: Permission granted for the installation of French doors and railing to form a roof terrace at 1<sup>st</sup> floor level to rear elevation (Class C3), in August 2012, planning application 2012/3112/P.

### **Planning issues**

The proposed dormer roof and roof terrace will not overlook the adjoining properties. Also there is no impact or rights of light issues in regards to the adjoining properties, neither will there be any noise pollution which can be confirmed by a site visit. There will be no overlooking or loss of outlook and therefore the scheme will comply with the Local Authority Guidelines.

### **Use**

The proposal is to maximize the internal and external family space of the flat and improve the balance of the property through the enhanced rear elevation.

### **Sustainability**

The materials used for this development will conform to current building regulations standards for insulation standards and therefore the overall thermal performance of the house will be significantly enhanced thereby reducing its carbon footprint.

## Remo De Lucia

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**From:** Phillips, Kate <Kate.Phillips@camden.gov.uk>  
**Sent:** 03 May 2016 17:14  
**To:** Remo De Lucia  
**Subject:** RE: 67 Goldhurst Terrace

Dear Remo,

Thanks for your email. I have had a look at the revised plans.

The use of black painted metal railings is good (and no glazed screen), although I can't tell from the elevation drawings whether the balustrade will be set in from the sides of the roof terrace as well as the rear end.

I still have concerns about having a roof terrace at this level on the building. The examples at 95, 99, 156 Goldhurst Terrace are all set below the eaves level (i.e. at a lower point on the building) so they are not comparable. I also have concerns about obscuring the window, although if it serves a bathroom it may be ok.

Kind regards

Kate Phillips  
Planning Officer

Telephone: 0207 974 2521



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**From:** Remo De Lucia [mailto:remo@oactiv.co.uk]  
**Sent:** 15 April 2016 14:51  
**To:** Phillips, Kate  
**Subject:** FW: 67 Goldhurst Terrace

Hi Kate,

May we please have your comments to the email below at your earliest convenience.

Kind Regards,

Remo

Remo De Lucia Bsci Arch FCABE Eng  
OCTIV  
ARCHITECTURE DESIGN

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Mobile: 0777 550 8446  
[www.octiv.co.uk](http://www.octiv.co.uk)



 **Respect the environment. Think before you print!**

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**From:** Remo De Lucia [mailto:remo@octiv.co.uk]  
**Sent:** 03 April 2016 21:07  
**To:** 'Phillips, Kate' <Kate.Phillips@camden.gov.uk>  
**Subject:** RE: 67 Goldhurst Terrace

Dear Kate,

Please find attached the following for your information;

1. A revised drawing indicating the removal of the 1.8m screens, adding traditional balustrading and setting back the balustrade from the roofs edge.
2. Granted examples of similar proposals, all in Goldhurst Terrace as requested.
3. The window referred serves a bathroom to the same flat. The window can be obscure glass.

We look forward to your comments, before proceeding further.

Kind Regards,

Remo

**Remo De Lucia Bsci Arch FCABE Eng**  
OCTIV  
ARCHITECTURE DESIGN

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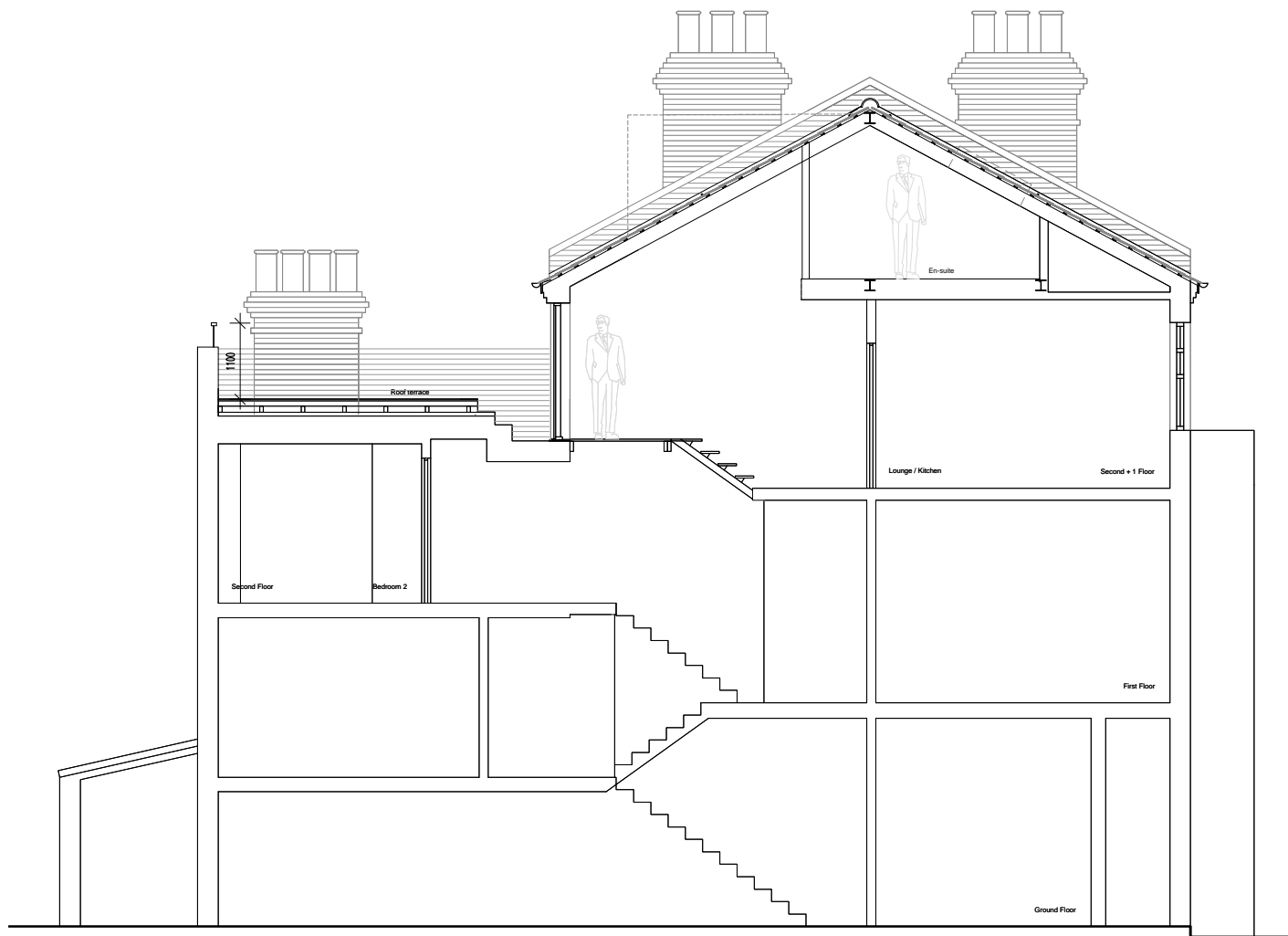
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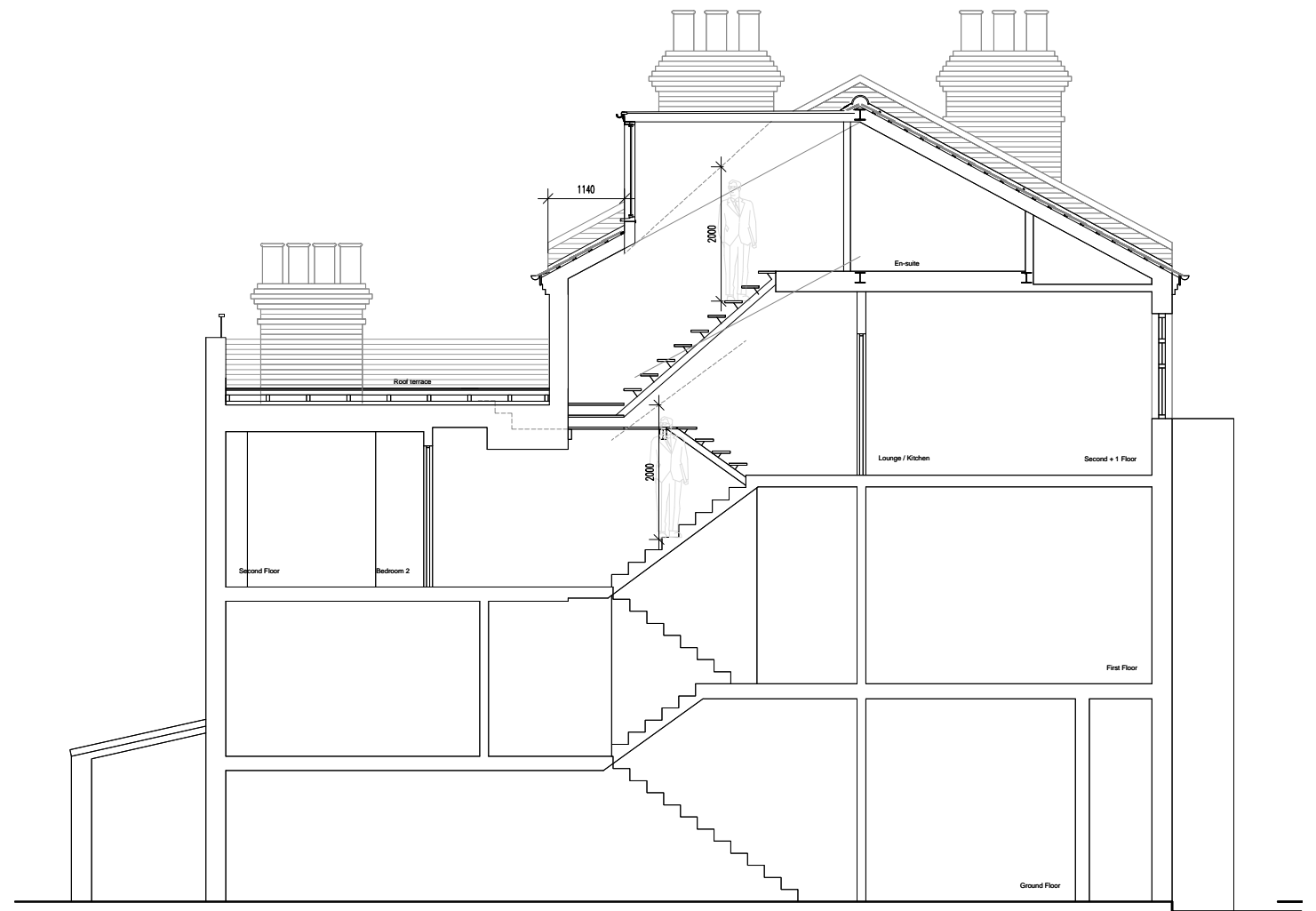
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**From:** Phillips, Kate [mailto:Kate.Phillips@camden.gov.uk]  
**Sent:** 24 March 2016 16:14



PROPOSED SECTION A-A



PROPOSED SECTION C-C



**GENERAL NOTES:**  
 This scheme is subject to Town Planning and the plans shall not be acted upon until they have been approved in accordance with the Building Regulations. All dimensions and levels given, whether figured or scaled, are to be physically checked on site by the contractor prior to commencement of work and the contractor will take responsibility for the same.  
 All design and construction is to be in accordance with the Construction, Design and Management Regulations 2007.  
 This plan is copyright and is not to be produced or used for construction purposes without permission. It is only for use as a Planning and Building Control document.  
 Prior to commencement of works, the contractor must ensure that all necessary notices under The Party Wall etc Act 1996 have been given and that all formal procedures required under the act have been fulfilled.

**PLEASE NOTE:**  
 1. ALL DIMENSIONS AND SITE BOUNDARIES ARE TO BE CHECKED ON SITE AS NECESSARY.  
 2. DRAWING TO BE READ IN CONJUNCTION WITH DRAWING nos. 8033-P01, P02, P03, P04, P05 & P06.  
 3. ALL PROPOSALS ARE SUBJECT TO STRUCTURAL ENGINEERS DESIGN.

**C** Dormer reduced in width & windows amended to reduce roof apron. Section line C added. PS 01.10.13

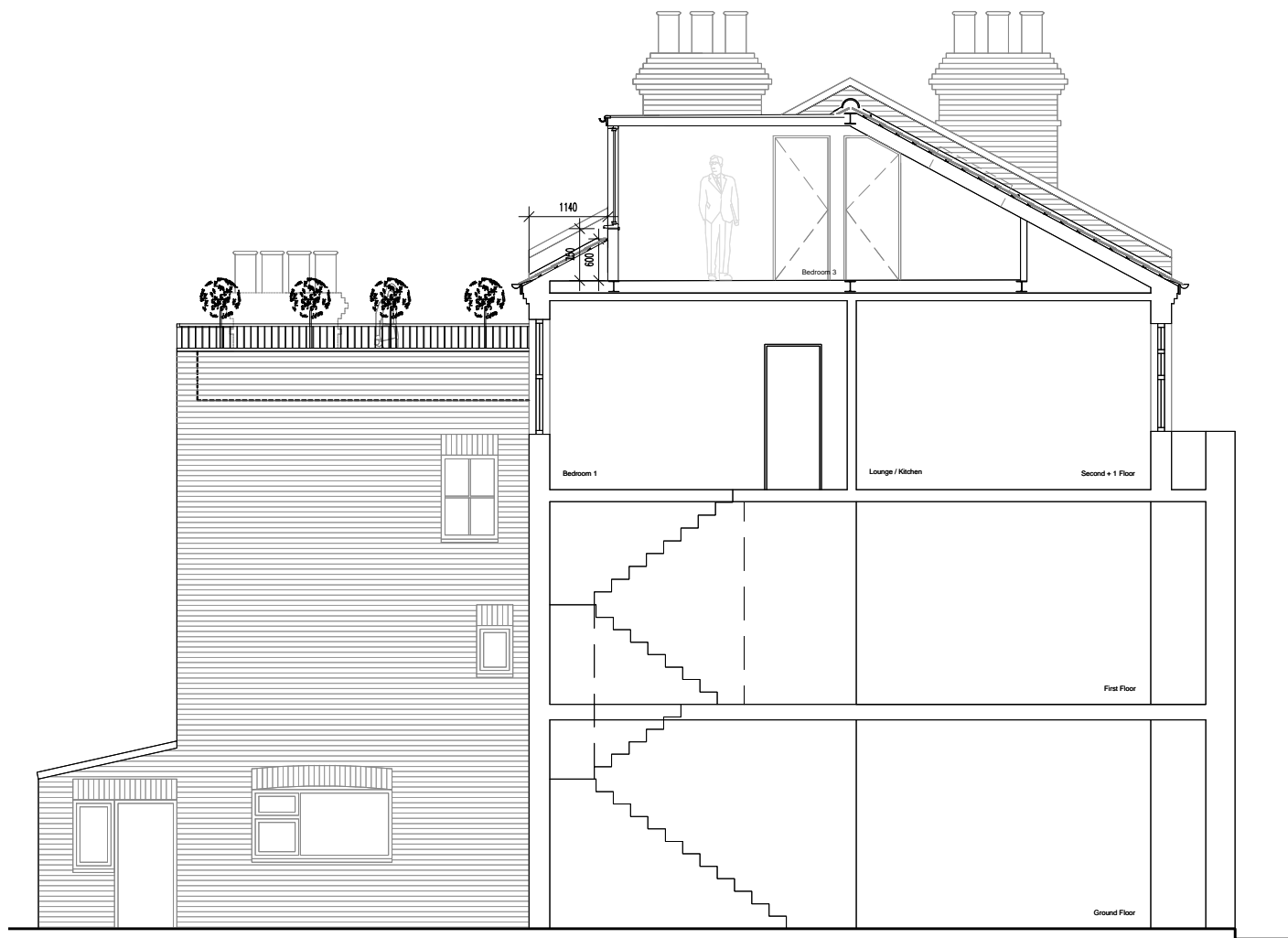
**B** Railing to terrace set in, 1 no velux removed & reduced in size. Dormer centralised and reduced in size. PS 29.09.13  
**A** Dormer reduced in size & set back. Access to terrace lowered & terrace width reduced. PS 23.09.13

Project: Proposed Loft Conversion & Roof Terrace  
 95c Goldhurst Terrace  
 London. NW6 3HA  
 Title: Proposed Sections

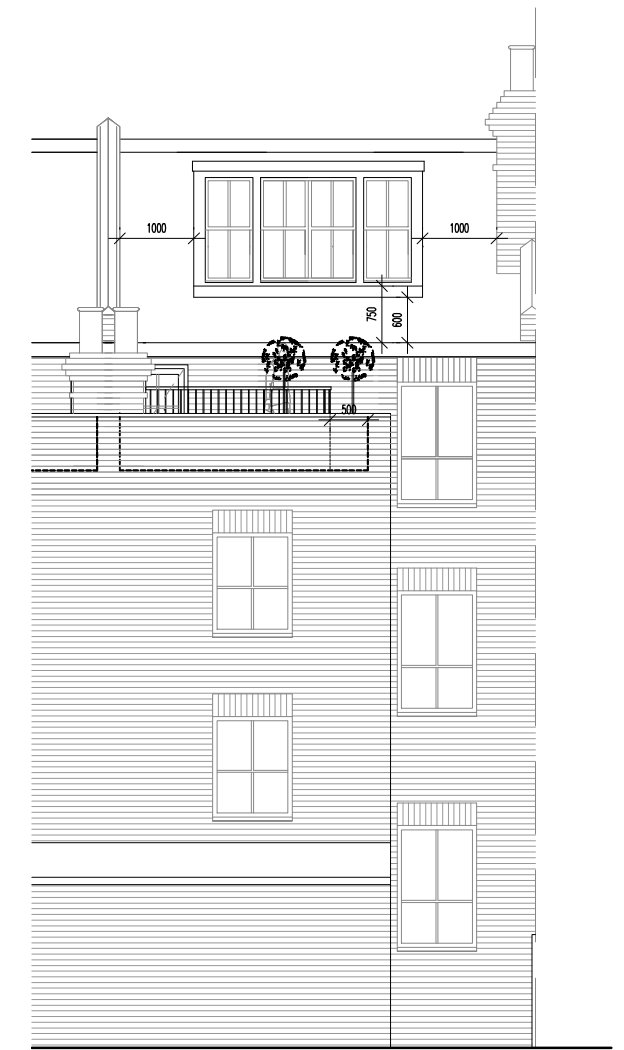
Scale: 1:100@A3	Date: 07/13	<p><small>It shall be the responsibility of the Building Practitioner and relevant guide to practice. The contractor is to check all dimensions on site and prior to start of the work. Any discrepancies are to be notified immediately. This drawing is copyright.</small></p> <p><b>HAL</b></p> <p><small>Headquarters Architects Ltd        15 Grafton Street        London        W1D 7DU        Tel: 01753 661066        www.architectshalford.com</small></p>
Drawing Number: 8033-P07 C	Sheet: PS	



PROPOSED FRONT (NW) ELEVATION



PROPOSED SIDE (NE) ELEVATION & SECTION B-B




PROPOSED REAR (SE) ELEVATION

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**PLEASE NOTE:**  
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 3. ALL PROPOSALS ARE SUBJECT TO STRUCTURAL ENGINEERS DESIGN.

**PROPOSED MATERIALS:**  
 WALLS - VERTICAL HUNG SLATES TO DORMER  
 ROOF - LEAD LFAT ROOF TO DORMER  
 WINDOWS - TIMBER SASH WINDOWS PAINTED WHITE/CONSERVATION STYLE VELLUX WINDOWS  
 RAINWATER GOODS - BLACK DOWNPIPES & GUTTERS

D	Dormer reduced in width. PS 14.10.13	B	Railing to terrace set in, 1 no velux removed & reduced in size. Dormer centralised and reduced in size. PS 29.09.13
C	Dormer reduced in width & windows amended to reduce roof apron. Section line C added. PS 01.10.13	A	Dormer reduced in size & set back. Access to terrace lowered & terrace width reduced. PS 23.09.13

Project	Proposed Loft Conversion & Roof Terrace 95c Goldhurst Terrace London. NW6 3HA	Scale	1:100@A3	Date	07/13
Drawing No.	8033-P06 D	Disc	PS	<small>It shall be the responsibility of the contractor to check all dimensions on site and to take the site as shown. Any discrepancies are to be notified immediately.          This drawing is copyright.          The Architects          H&amp;A Architects Ltd          11, Grafton Street          London, W1D 7JF          Tel: 020 761 1888          www.architectshandall.com</small>	
					

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## Materials Notes

**Roof** - EPDM rubber roof to new dormer

**Walls** - Vertical hung slates to match existing roof slates

**Windows** - All new windows to be timberframed sash and double glazed to match existing

**Rooflights** - Conservation style velux/rooflights over

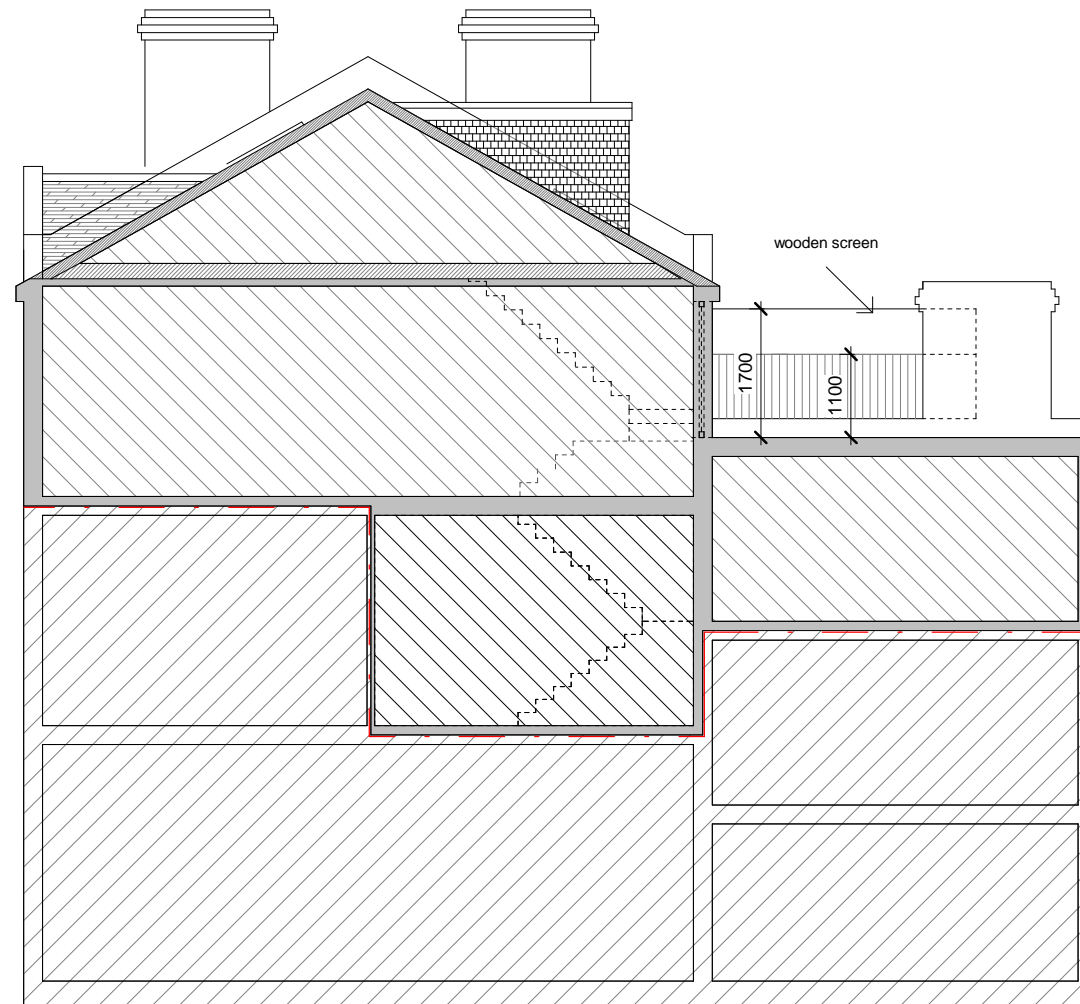
**Railing** - Grey/silver metal guarding

**Rainwater goods** - Black downpipes & gutters

**Other** - All other facing building materials to be used will be selected to closely match the existing materials.



Front Elevation



Side Elevation A

## PROPOSED ELEVATIONS FRONT & SIDE B

No.	Description	Date
1	dormer reduced in size and centred.	09/01/16
	changes to rooflights at front and added rooflight to rear.	
	external staircase to roof terrace removed.	
	amended existing opening to allow for a door to roof terrace from upper 2nd floor.	

No.	Description	Date
2	set down dormer from ridgeline.	17/02/16
	railings are set in from the rear of roof terrace and from boundary wall.	
	added wooden screen along boundary wall roof terrace	

**Sigal Belot**  
mob 0776675622  
email sigal1@btinternet.com

all dwgs to be read with former submitted existing drawings

**99c Goldhurst Terrace London NW6 3HA**  
**Proposed Elevations - Front & Side A**

Project number	2	GT2
Date	04/03/16	
Drawn by	Author	
Checked by	Checker	
Scale		1 : 100

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## Materials Notes

**Roof** - EPDM rubber roof to new dormer

**Walls** - Vertical hung slates to match existing roof slates

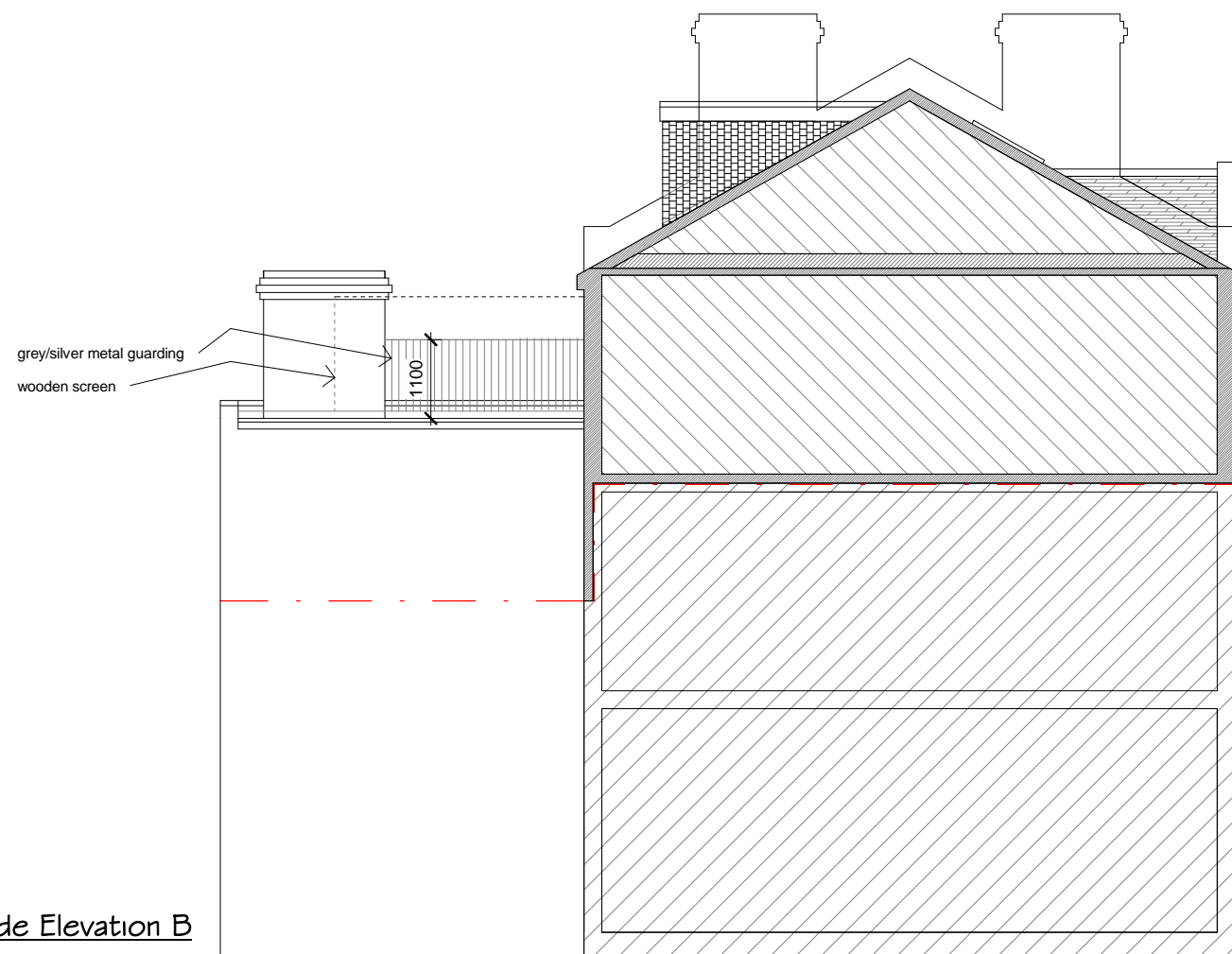
**Windows** - All new windows to be timberframed sash and double glazed to match existing

**Rooflights** - Conservation style velux/rooflights over

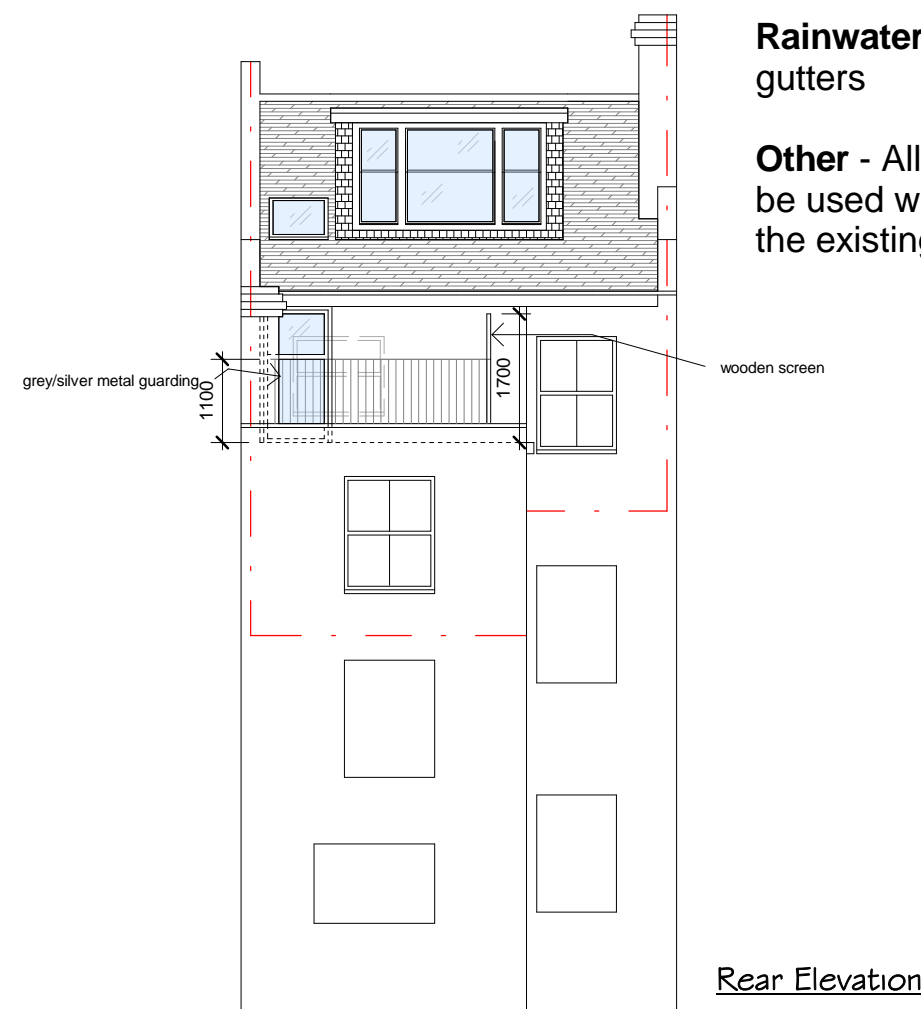
**Railing** - Grey/silver metal guarding

**Rainwater goods** - Black downpipes & gutters

**Other** - All other facing building materials to be used will be selected to closely match the existing materials.



Side Elevation B



Rear Elevation

## PROPOSED ELEVATIONS REAR & SIDE B

No.	Description	Date
1	dormer reduced in size and centred.	09/01/16
	changes to rooflights at front and added rooflight to rear.	
	external staircase to roof terrace removed.	
	amended existing opening to allow for a door to roof terrace from upper 2nd floor.	

No.	Description	Date
2	set down dormer from ridgeline.	17/02/16
	railings are set in from the rear of roof terrace and from boundary wall.	
	added wooden screen along boundary wall roof terrace	

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 email sigal1@btinternet.com

all dwgs to be read with former submitted existing drawings

**99c Goldhurst Terrace London NW6 3HA**  
**Proposed Elevations - Rear & Side B**

Project number	2	GT3
Date	04/03/16	
Drawn by	TF	
Checked by	Checker	
Scale		1 : 100