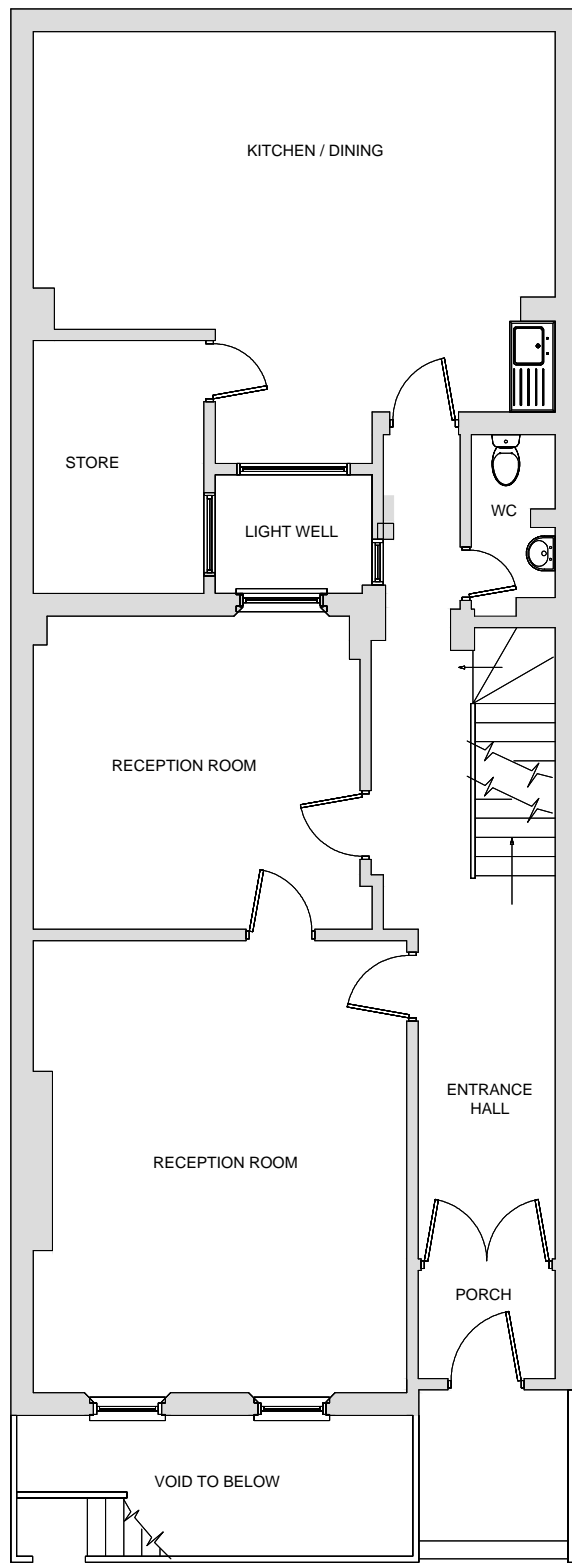
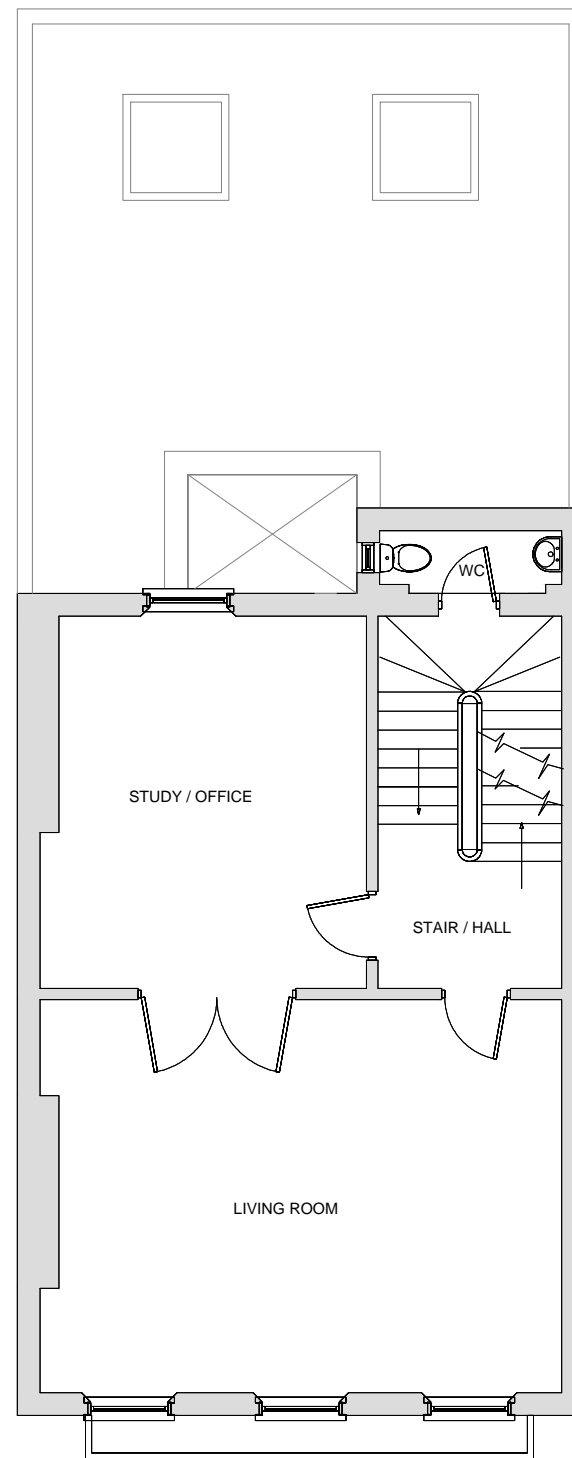


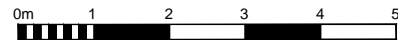
EXISTING LOWER GROUND FLOOR PLAN



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



Construction staff and operatives must ensure the principal contractor has provided thorough and accurate information on all health and safety aspects relating to the designs identified on this drawing including the review of:

- Designers/contractors risk assessments
- Method statements
- Permit to work
- Pre construction information

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- Preliminary
- Planning
- Comment
- Tender
- Construction
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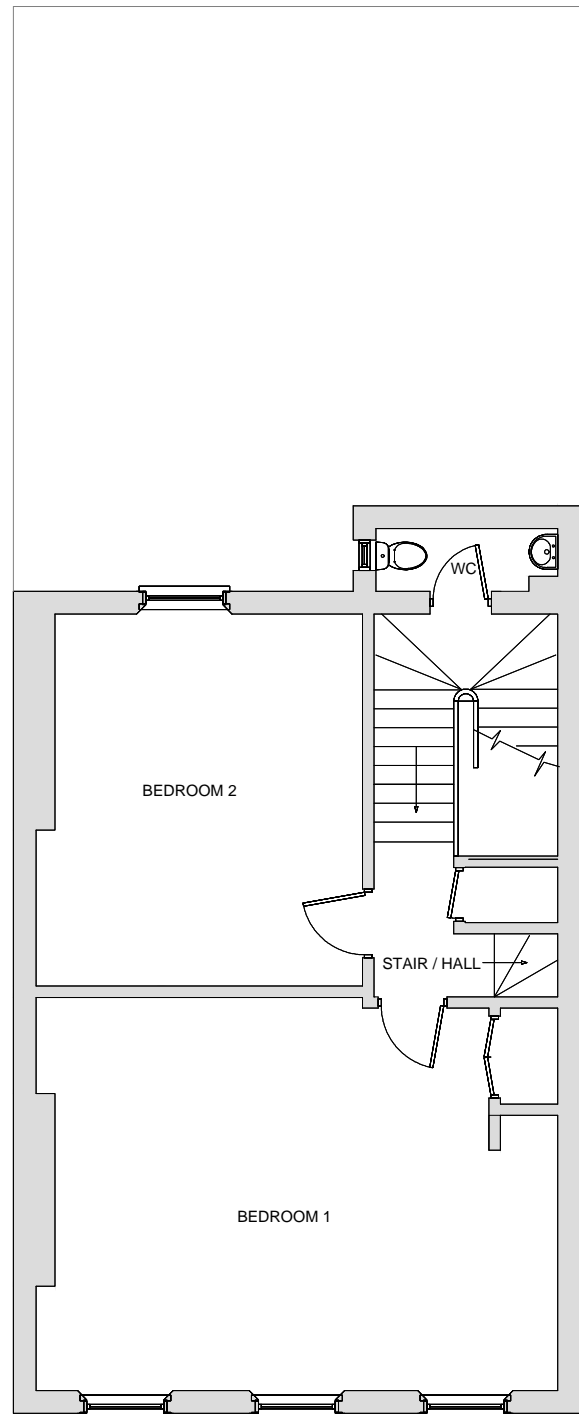
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drawn by	checked by	date	scale @ A3
AJP	TP	24.08.15	1:100
<b>Mr ED WILCOX</b> <b>15 JOHN STREET, WC1N</b>			



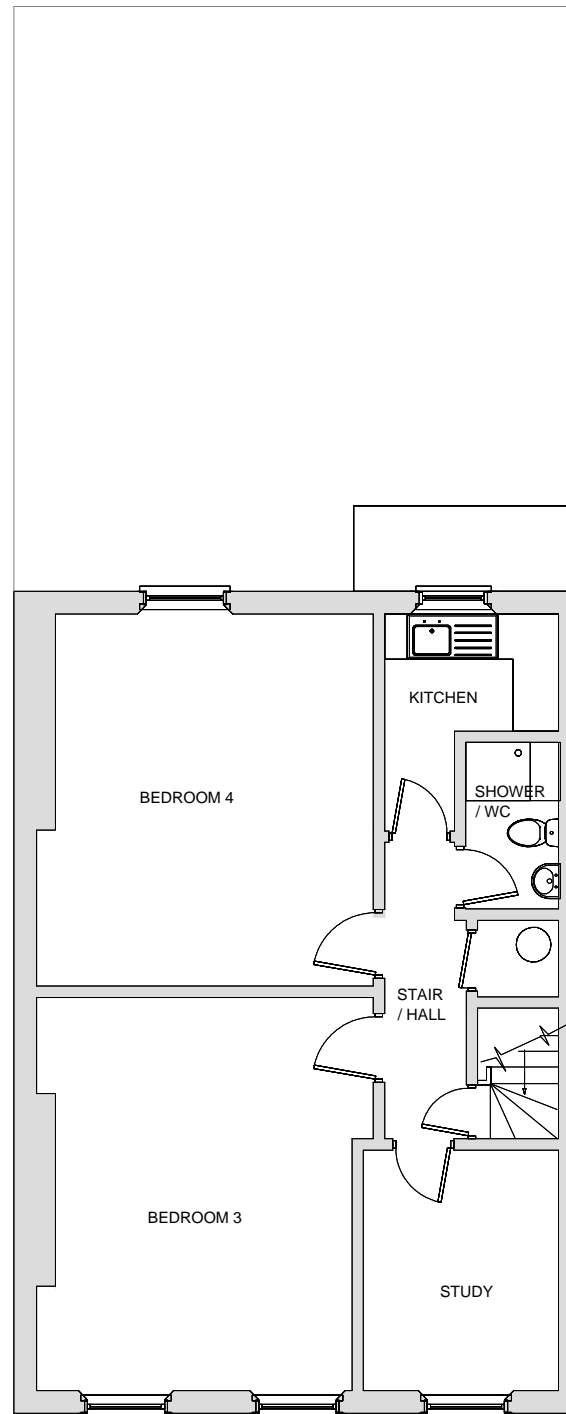
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EXISTING FLOOR PLANS BASEMENT, GROUND, & FIRST		
project number	drawing number	revision
7682	P(000)002	-

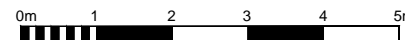
cad reference: \\br-london\CAD\_LONDON\P-London\7682 - 03 Cad\000 Existing, Presentation, Planning\7682 - P(000)002 - 003 - EXISTING FLOOR PLANS.dwg



EXISTING SECOND FLOOR PLAN



EXISTING THIRD FLOOR PLAN



Construction staff and operatives must ensure the principal contractor has provided thorough and accurate information on all health and safety aspects relating to the designs identified on this drawing including the review of:

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- Method statements
- Permit to work
- Pre construction information

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|--|----------------------------------|---------------------------------------|
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| <input checked="" type="checkbox"/> Planning | <input type="checkbox"/> Tender  | <input type="checkbox"/> Record       |

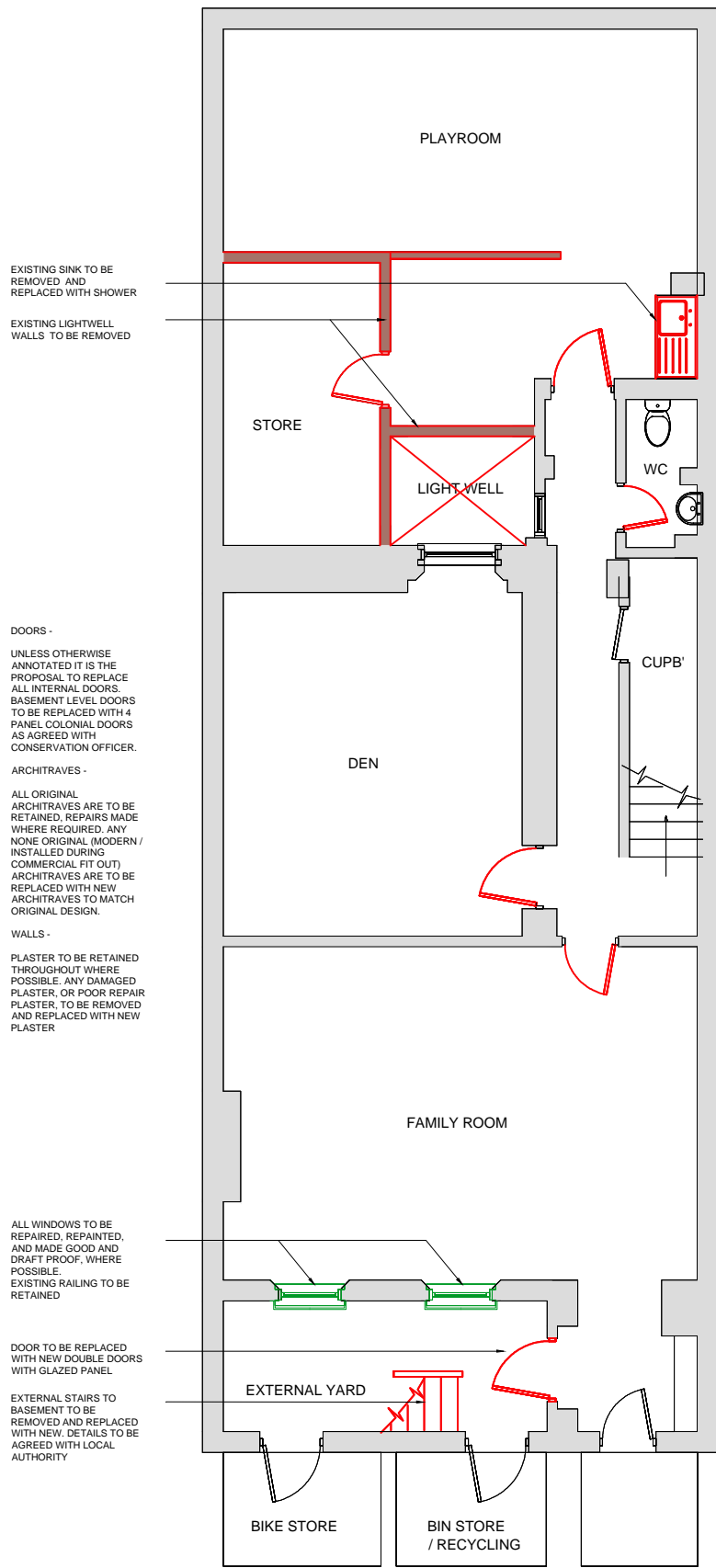
revision	date	by	chk
drawn by	checked by	date	scale @ A3
AJP	TP	24.08.15	1:100
<b>Mr ED WILCOX</b> <b>15 JOHN STREET, WC1N</b>			

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EXISTING FLOOR PLANS		
2nd FLOOR, 3rd FLOOR		
project number	drawing number	revision
7682	P(000)003	-



EXISTING LOWER GROUND FLOOR PLAN

EXISTING SINK TO BE REMOVED AND REPLACED WITH SHOWER  
EXISTING LIGHTWELL WALLS TO BE REMOVED

DOORS -  
UNLESS OTHERWISE ANNOTATED IT IS THE PROPOSAL TO REPLACE ALL INTERNAL DOORS. BASEMENT LEVEL DOORS TO BE REPLACED WITH 4 PANEL COLONIAL DOORS AS AGREED WITH CONSERVATION OFFICER.

ARCHITRAVES -  
ALL ORIGINAL ARCHITRAVES ARE TO BE RETAINED. REPAIRS MADE WHERE REQUIRED. ANY NONE ORIGINAL (MODERN / INSTALLED DURING COMMERCIAL FIT OUT) ARCHITRAVES ARE TO BE REPLACED WITH NEW ARCHITRAVES TO MATCH ORIGINAL DESIGN.

WALLS -  
PLASTER TO BE RETAINED THROUGHOUT WHERE POSSIBLE. ANY DAMAGED PLASTER, OR POOR REPAIR PLASTER, TO BE REMOVED AND REPLACED WITH NEW PLASTER

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED

DOOR TO BE REPLACED WITH NEW DOUBLE DOORS WITH GLAZED PANEL

EXTERNAL STAIRS TO BASEMENT TO BE REMOVED AND REPLACED WITH NEW. DETAILS TO BE AGREED WITH LOCAL AUTHORITY

DOORS -  
UNLESS OTHERWISE ANNOTATED IT IS THE PROPOSAL TO REPLACE ALL INTERNAL DOORS. GROUND LEVEL DOORS TO BE REPLACED WITH 6 PANEL COLONIAL DOORS AS AGREED WITH CONSERVATION OFFICER.

ARCHITRAVES -  
ALL ORIGINAL ARCHITRAVES ARE TO BE RETAINED. REPAIRS MADE WHERE REQUIRED. ANY NONE ORIGINAL (MODERN / INSTALLED DURING COMMERCIAL FIT OUT) ARCHITRAVES ARE TO BE REPLACED WITH NEW ARCHITRAVES TO MATCH ORIGINAL DESIGN.

WALLS -  
PLASTER TO BE RETAINED THROUGHOUT WHERE POSSIBLE. ANY DAMAGED PLASTER, OR POOR REPAIR PLASTER, TO BE REMOVED AND REPLACED WITH NEW PLASTER

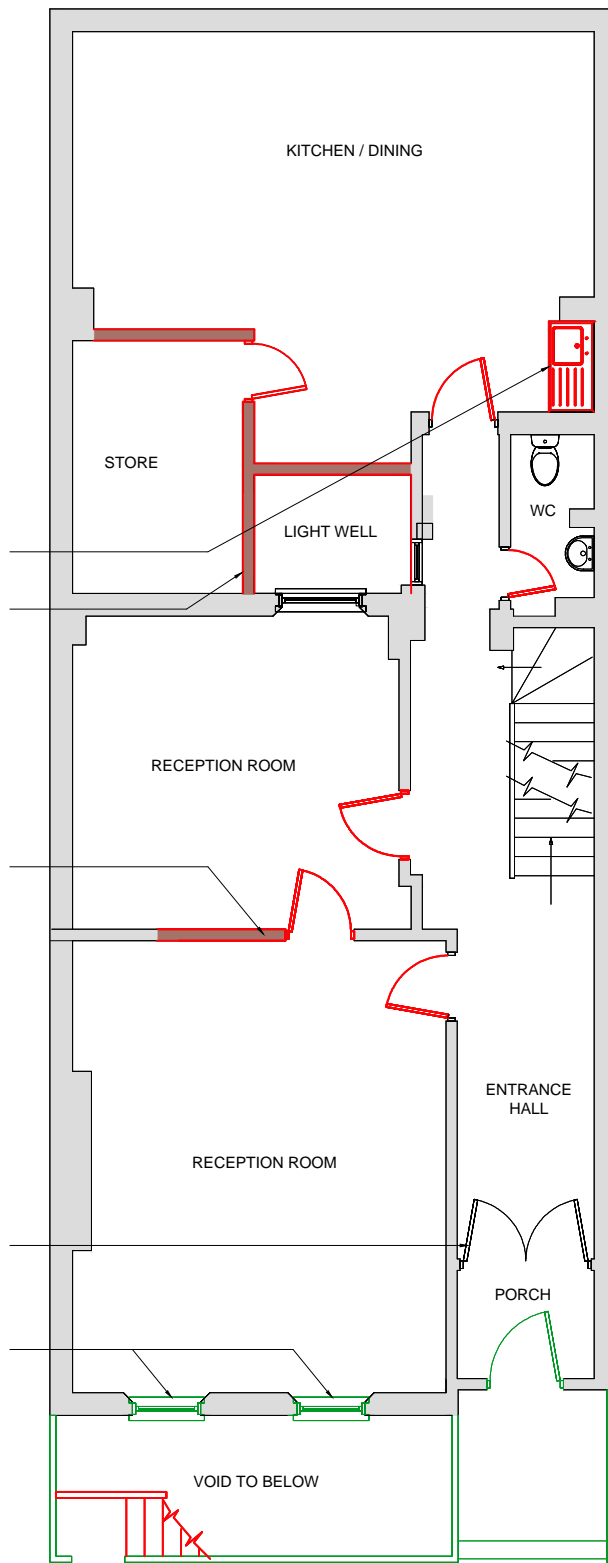
EXISTING SINK TO BE REMOVED AND REPLACED WITH SHOWER

EXISTING LIGHTWELL WALLS TO BE REMOVED

EXISTING WALL AND DOOR REMOVED TO ALLOW OPENING

ORIGINAL INTERNAL ENTRANCE DOOR TO BE RETAINED

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE



EXISTING GROUND FLOOR PLAN

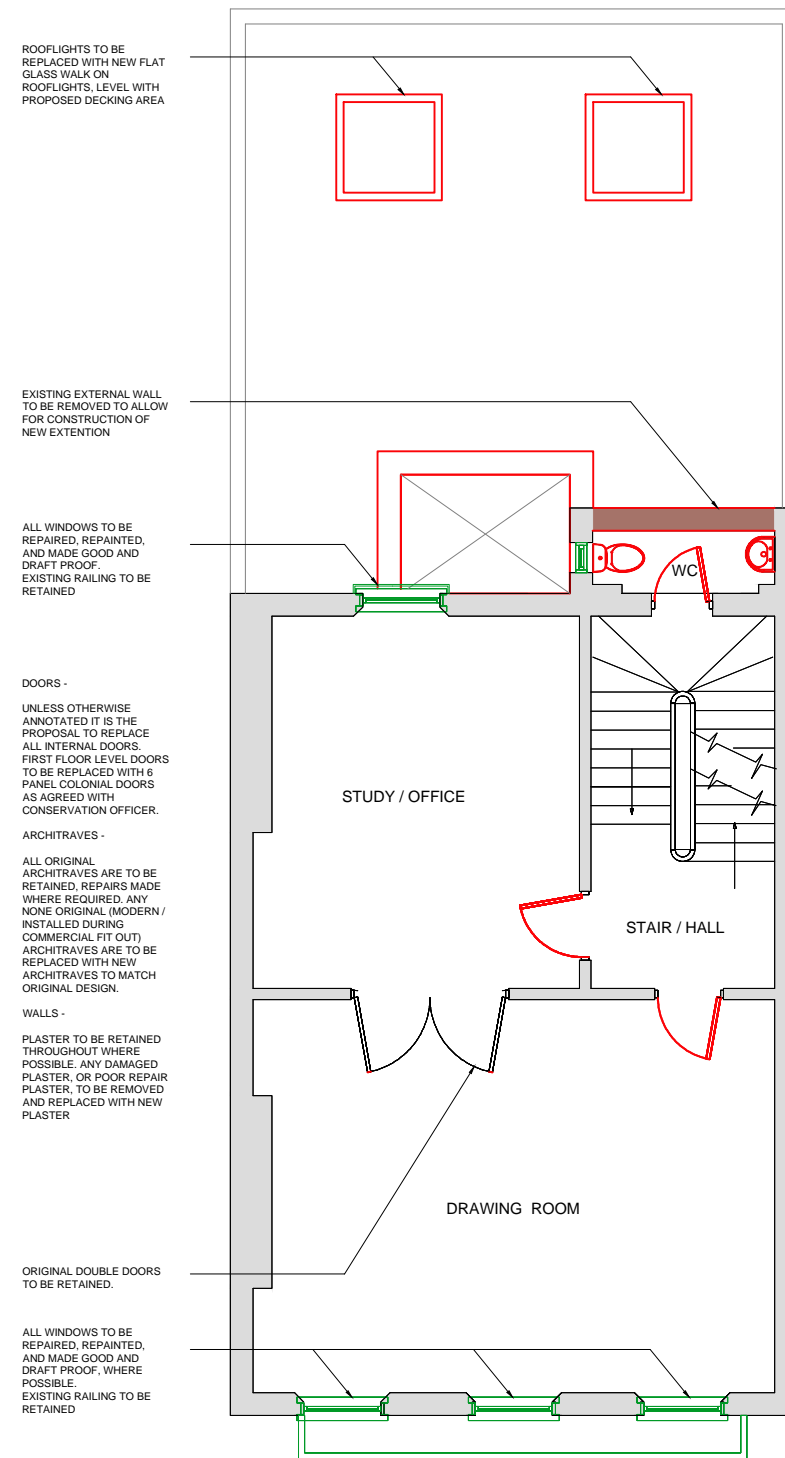
EXISTING SINK TO BE REMOVED AND REPLACED WITH SHOWER

EXISTING LIGHTWELL WALLS TO BE REMOVED

EXISTING WALL AND DOOR REMOVED TO ALLOW OPENING

ORIGINAL INTERNAL ENTRANCE DOOR TO BE RETAINED

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE



EXISTING FIRST FLOOR PLAN

ROOFLIGHTS TO BE REPLACED WITH NEW FLAT GLASS WALK ON ROOFLIGHTS. LEVEL WITH PROPOSED DECKING AREA

EXISTING EXTERNAL WALL TO BE REMOVED TO ALLOW FOR CONSTRUCTION OF NEW EXTENSION

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

DOORS -  
UNLESS OTHERWISE ANNOTATED IT IS THE PROPOSAL TO REPLACE ALL INTERNAL DOORS. FIRST FLOOR LEVEL DOORS TO BE REPLACED WITH 6 PANEL COLONIAL DOORS AS AGREED WITH CONSERVATION OFFICER.

ARCHITRAVES -  
ALL ORIGINAL ARCHITRAVES ARE TO BE RETAINED. REPAIRS MADE WHERE REQUIRED. ANY NONE ORIGINAL (MODERN / INSTALLED DURING COMMERCIAL FIT OUT) ARCHITRAVES ARE TO BE REPLACED WITH NEW ARCHITRAVES TO MATCH ORIGINAL DESIGN.

WALLS -  
PLASTER TO BE RETAINED THROUGHOUT WHERE POSSIBLE. ANY DAMAGED PLASTER, OR POOR REPAIR PLASTER, TO BE REMOVED AND REPLACED WITH NEW PLASTER

ORIGINAL DOUBLE DOORS TO BE RETAINED.

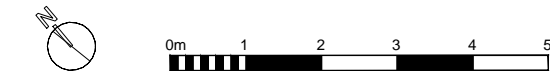
ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED

KEY

Indicates existing building elements to be adjusted

Indicates existing building elements to be repaired, re painted and made good where possible.

Doors to be removed and replaced with 4 panel and 6 panel colonial doors. Architraves as original



C	WORKS ASSOCIATED WITH RECEPTION ROOM WINDOW TO REAR LIGHTWELL REMOVED FOLLOWING DISCUSSIONS WITH CONSERVATION OFFICER	27.04.16	AP	TP
B	NOTE ADDED TO EACH LEVEL REGARDING DOOR, ARCHITRAVE, AND WALL PROPOSALS AS REQUESTED BY PLANNING AUTHORITY,	07.03.16	AP	TP
A	FURTHER INFORMATION ADDED TO DRAWINGS FOLLOWING REVIEW WITH CLIENT	17.11.15	OS	TP
	revision	date	by	chk



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- Pre construction information

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- Preliminary
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- Comment
- Tender
- Construction
- Record

drawn by	checked by	date	scale @ A3
AJP	TP	24.08.15	1:100

Mr ED WILCOX  
15 JOHN STREET, WC1N

ALTERATION FLOOR PLANS BASEMENT, GROUND, & FIRST		
project number	drawing number	revision
7682	P(000)004	C

**DOORS -**  
UNLESS OTHERWISE ANNOTATED IT IS THE PROPOSAL TO REPLACE ALL INTERNAL DOORS. SECOND FLOOR LEVEL DOORS TO BE REPLACED WITH 6 PANEL COLONIAL DOORS AS AGREED WITH CONSERVATION OFFICER.

**ARCHITRAVES -**  
ALL ORIGINAL ARCHITRAVES ARE TO BE RETAINED, REPAIRS MADE WHERE REQUIRED. ANY NONE ORIGINAL (MODERN / INSTALLED DURING COMMERCIAL FIT OUT) ARCHITRAVES ARE TO BE REPLACED WITH NEW ARCHITRAVES TO MATCH ORIGINAL DESIGN.

**WALLS -**  
PLASTER TO BE RETAINED THROUGHOUT WHERE POSSIBLE. ANY DAMAGED PLASTER, OR POOR REPAIR PLASTER, TO BE REMOVED AND REPLACED WITH NEW PLASTER

EXISTING EXTERNAL WALL TO BE REMOVED TO ALLOW FOR CONSTRUCTION OF NEW EXTENTION

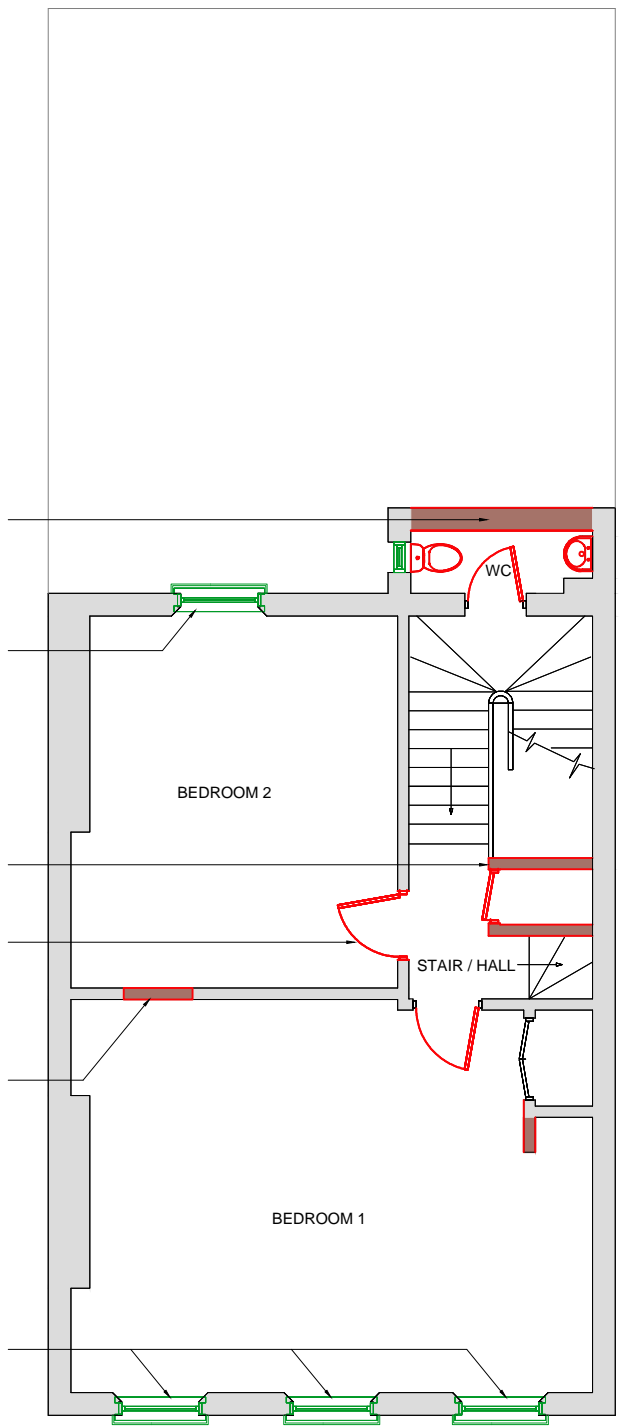
ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

WALLS TO BE REMOVED AND REPLACED WITH RAILINGS TO MATCH EXISTING BALLUSTRADE

EXISTING DOOR TO BE REMOVED, AND OPENING BLOCKED UP

OPENING CREATED TO ALLOW FOR NEW DOOR

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED



EXISTING SECOND FLOOR PLAN

**DOORS -**  
UNLESS OTHERWISE ANNOTATED IT IS THE PROPOSAL TO REPLACE ALL INTERNAL DOORS. THIRD FLOOR LEVEL DOORS TO BE REPLACED WITH 4 PANEL COLONIAL DOORS AS AGREED WITH CONSERVATION OFFICER.

**ARCHITRAVES -**  
ALL ORIGINAL ARCHITRAVES ARE TO BE RETAINED, REPAIRS MADE WHERE REQUIRED. ANY NONE ORIGINAL (MODERN / INSTALLED DURING COMMERCIAL FIT OUT) ARCHITRAVES ARE TO BE REPLACED WITH NEW ARCHITRAVES TO MATCH ORIGINAL DESIGN.

**WALLS -**  
PLASTER TO BE RETAINED THROUGHOUT WHERE POSSIBLE. ANY DAMAGED PLASTER, OR POOR REPAIR PLASTER, TO BE REMOVED AND REPLACED WITH NEW PLASTER

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

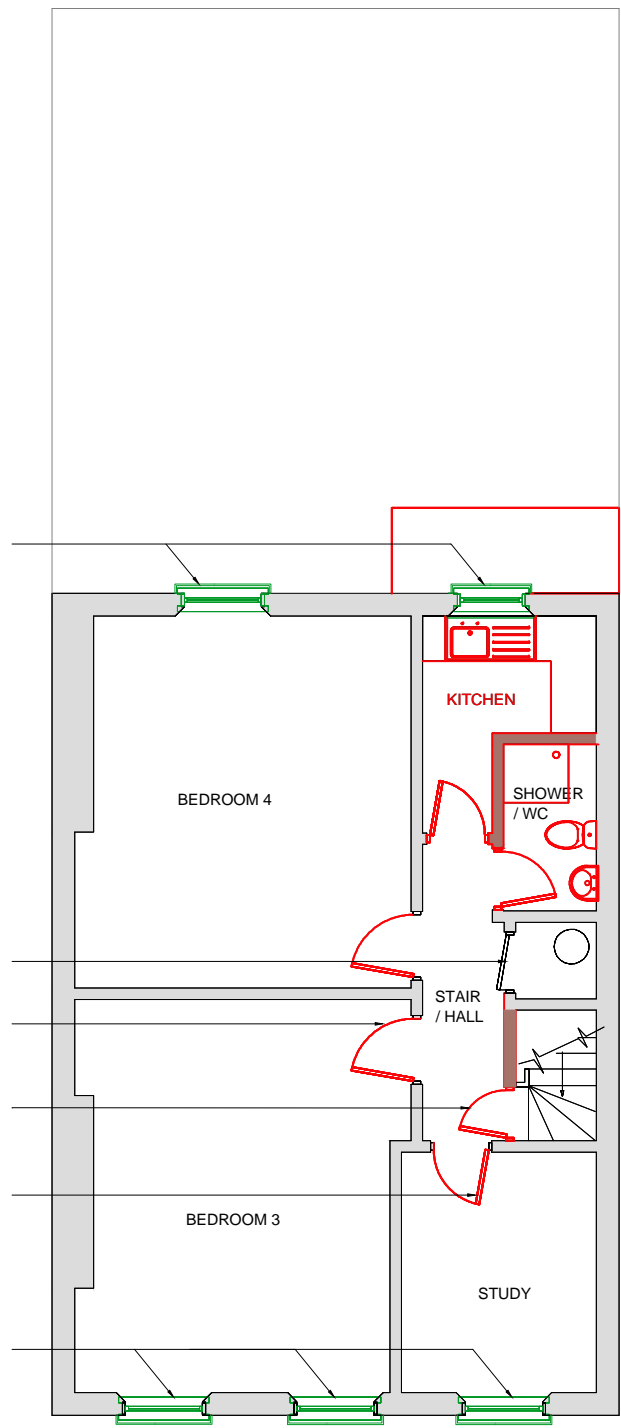
EXISTING DOOR TO BE RETAINED DUE TO ITS HISTORIC INTEREST

EXISTING DOOR TO BE REMOVED, RETAINED AND RE-HUNG WITH THE SWING IN THE OPPOSITE DIRECTION

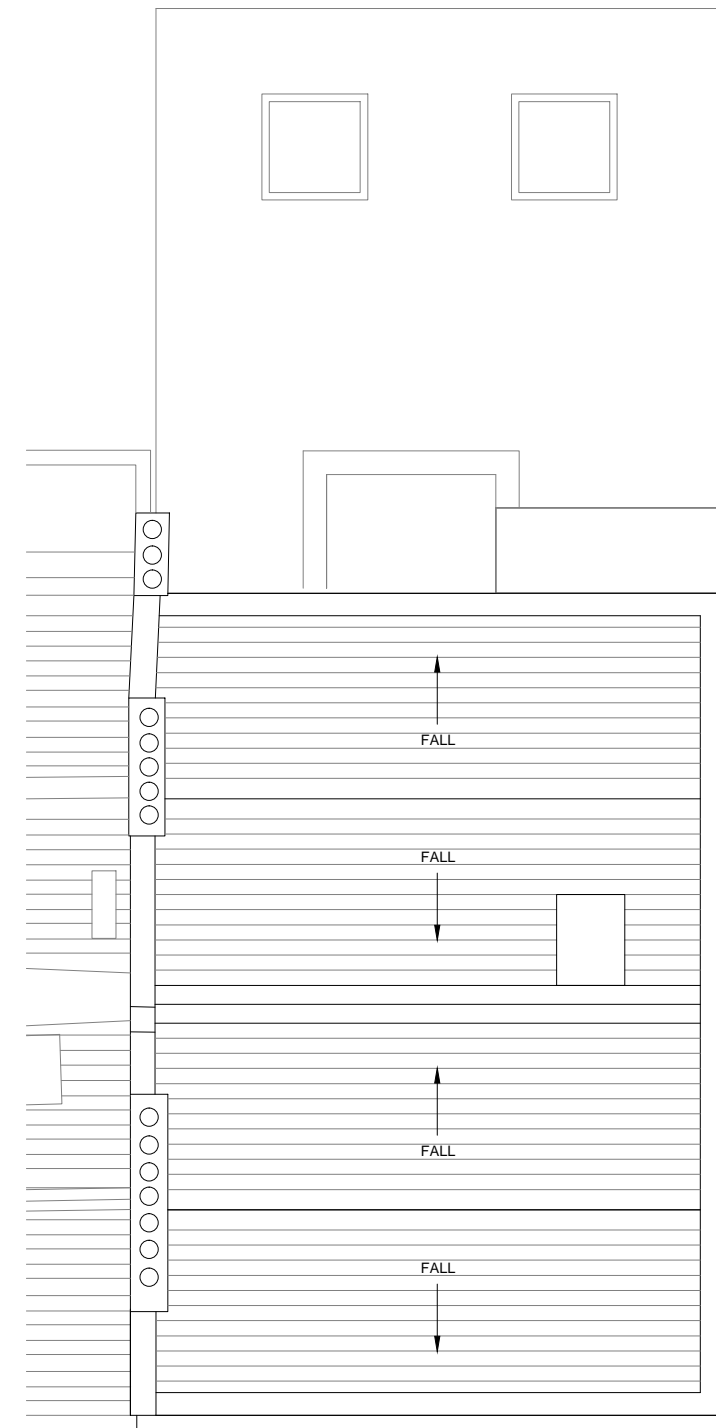
WALL AND DOOR TO BE REMOVED TO TOP OF STAIR AS SUGGESTED BY CONSERVATION OFFICER. HANDRAIL TO MATCH EXISTING

EXISTING DOOR TO BE REMOVED, RETAINED AND RE-HUNG WITH THE SWING IN THE OPPOSITE DIRECTION

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED



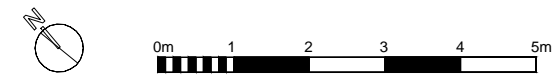
EXISTING THIRD FLOOR PLAN



EXISTING ROOF PLAN

**KEY**

- Indicates existing building elements to be adjusted
- Indicates existing building elements to be repaired, re painted and made good where possible.
- Doors to be removed and replaced with 4 panel and 6 panel colonial doors. Architraves as original



B	NOTE ADDED TO EACH LEVEL REGARDING DOOR, ARCHITRAVE, AND WALL PROPOSALS AS REQUESTED BY PLANNING AUTHORITY, AMENDMENTS TO TOP OF STAIR ON 3RD FLR	07.03.16	AP	TP
A	FURTHER INFORMATION ADDED TO DRAWINGS FOLLOWING REVIEW WITH CLIENT	17.11.15	OS	TP
	revision	date	by	chk

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- Permit to work
- Pre construction information

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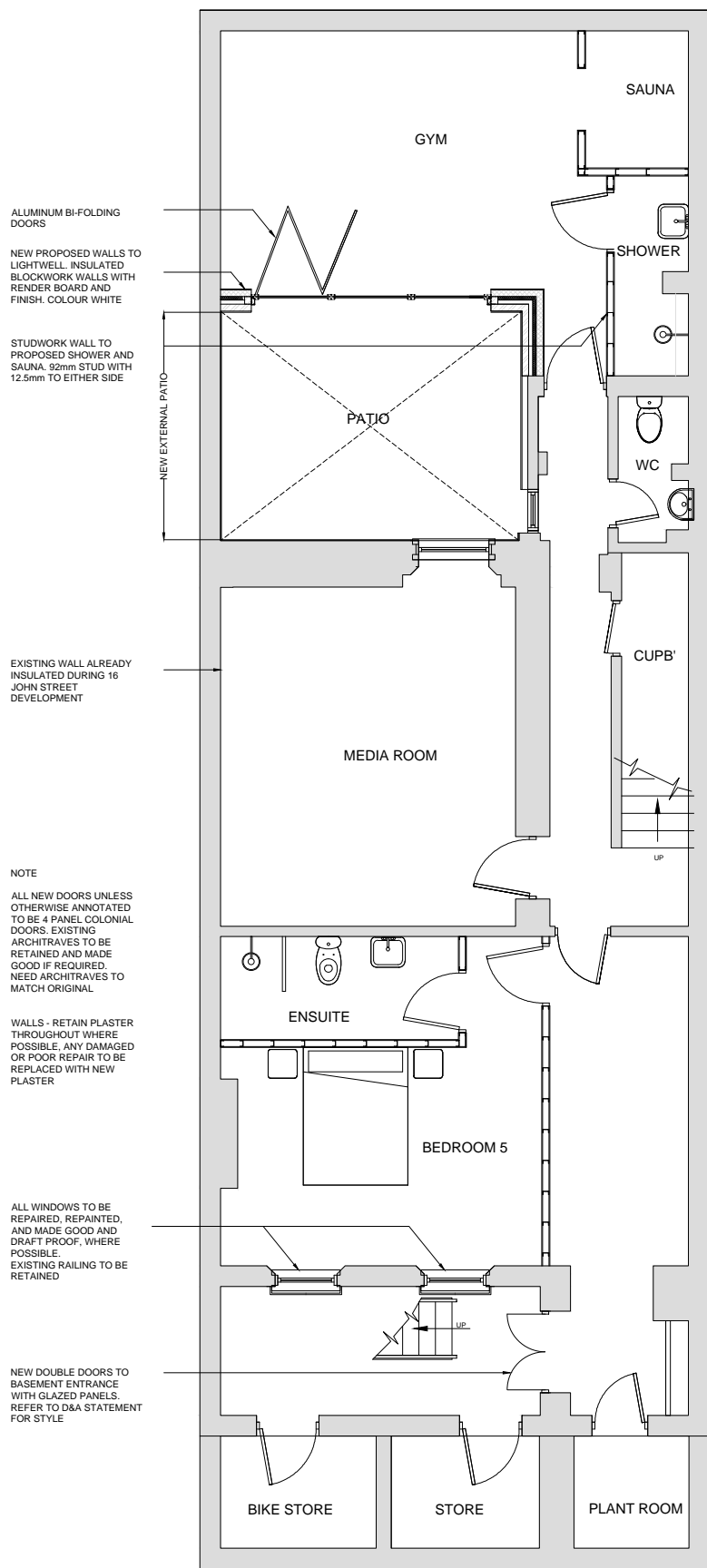
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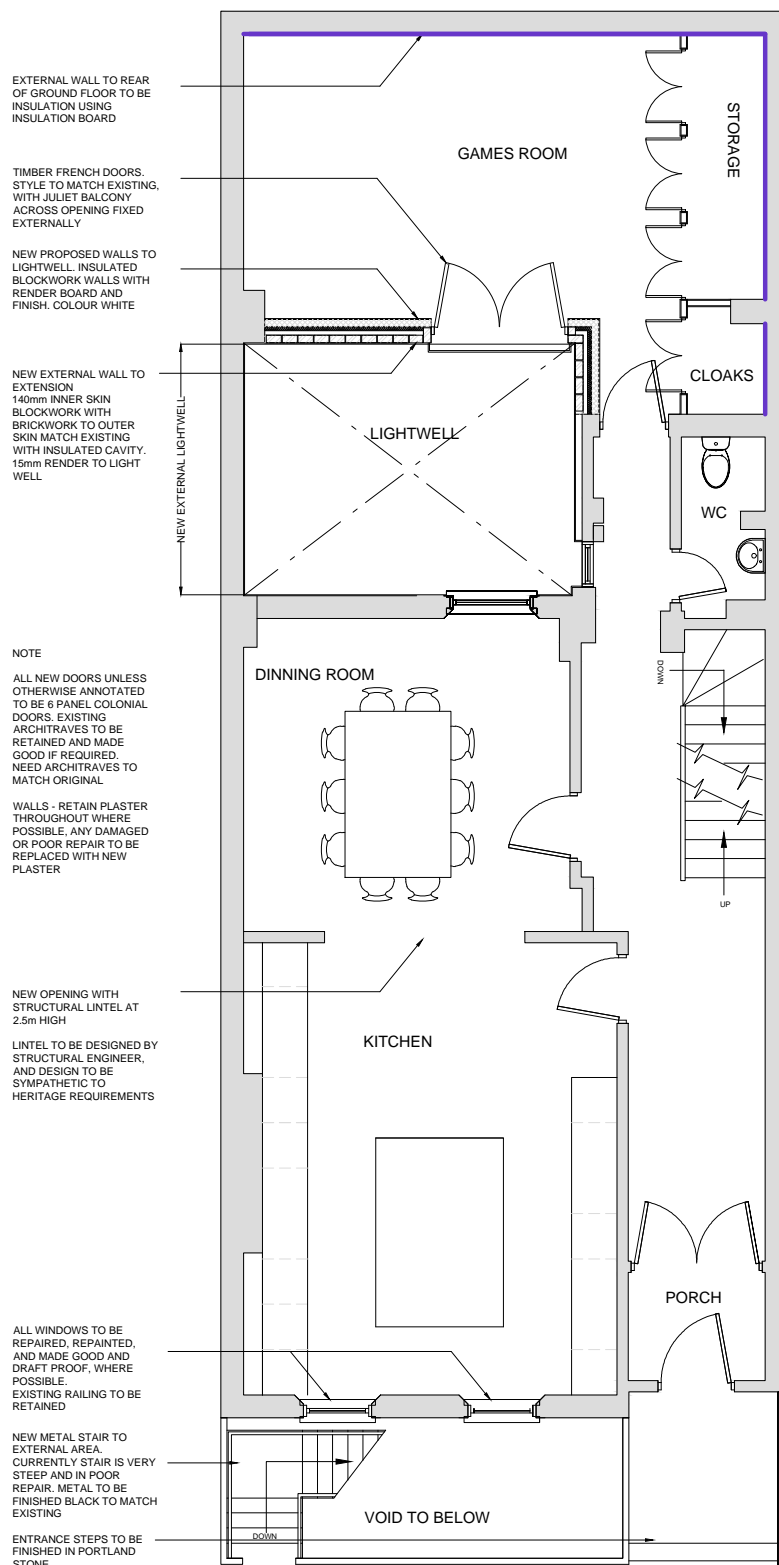
drawn by	checked by	date	scale @ A3
AJP	TP	24.08.15	1:100
<b>Mr ED WILCOX</b>			
<b>15 JOHN STREET, WC1N</b>			

<b>ALTERATION FLOOR PLANS</b>		
<b>2nd FLOOR, 3rd FLOOR</b>		
project number	drawing number	revision
7682	P(000)005	B

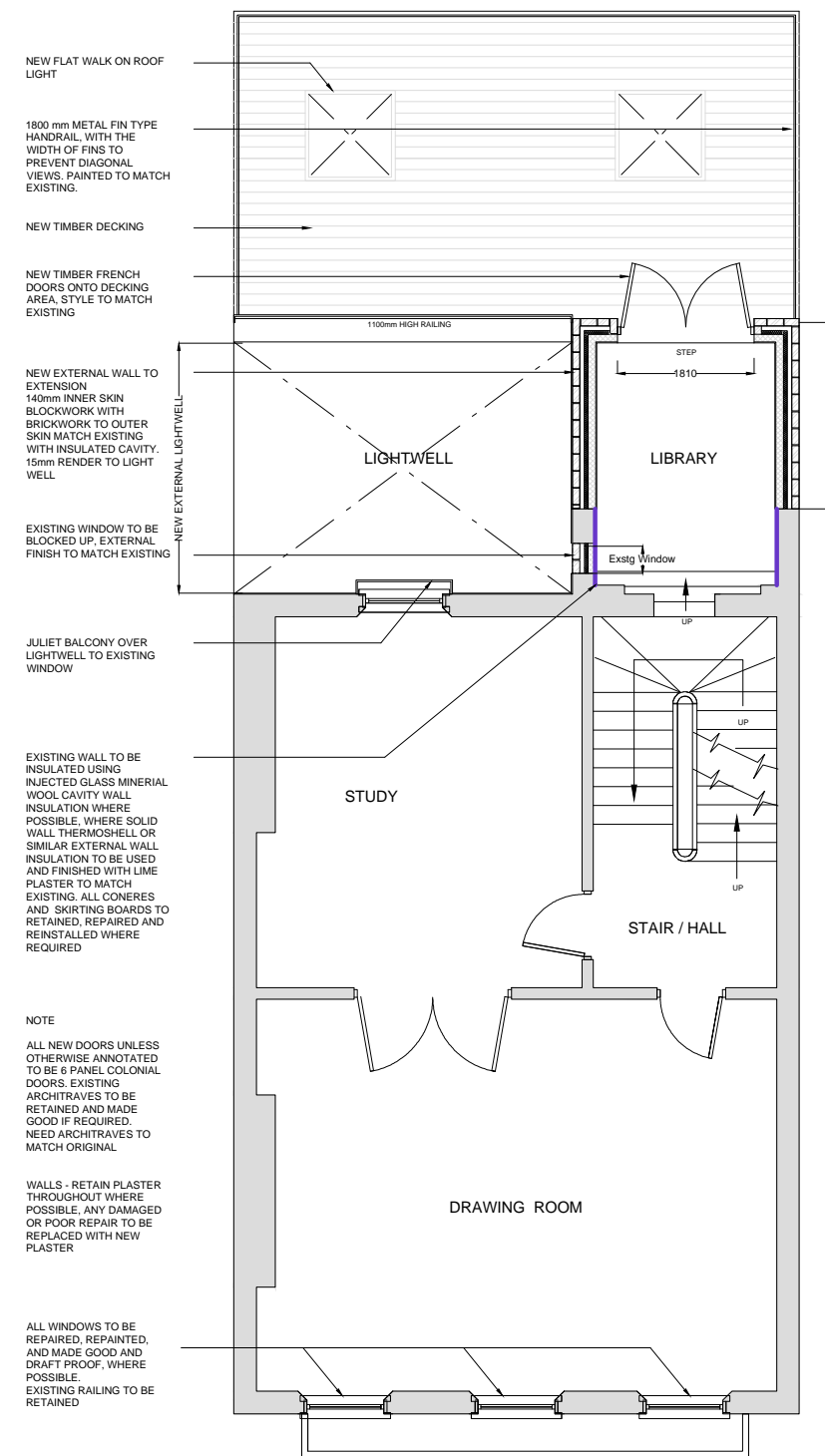
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PROPOSED LOWER GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



EXTERNAL WALL TO REAR OF GROUND FLOOR TO BE INSULATION USING INSULATION BOARD

TIMBER FRENCH DOORS, STYLE TO MATCH EXISTING, WITH JULIET BALCONY ACROSS OPENING FIXED EXTERNALLY

NEW PROPOSED WALLS TO LIGHTWELL, INSULATED BLOCKWORK WALLS WITH RENDER BOARD AND FINISH, COLOUR WHITE

NEW EXTERNAL WALL TO EXTENSION 140mm INNER SKIN BLOCKWORK WITH BRICKWORK TO OUTER SKIN MATCH EXISTING WITH INSULATED CAVITY, 15mm RENDER TO LIGHT WELL

NOTE

ALL NEW DOORS UNLESS OTHERWISE ANNOTATED TO BE 6 PANEL, COLONIAL DOORS. EXISTING ARCHITRAVES TO BE RETAINED AND MADE GOOD IF REQUIRED. NEED ARCHITRAVES TO MATCH ORIGINAL

WALLS - RETAIN PLASTER THROUGHOUT WHERE POSSIBLE, ANY DAMAGED OR POOR REPAIR TO BE REPLACED WITH NEW PLASTER

NEW OPENING WITH STRUCTURAL LINTEL AT 2.5m HIGH

LINTEL TO BE DESIGNED BY STRUCTURAL ENGINEER, AND DESIGN TO BE SYMPATHETIC TO HERITAGE REQUIREMENTS

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED

NEW METAL STAIR TO EXTERNAL AREA. CURRENTLY STAIR IS VERY STEEP AND IN POOR REPAIR. METAL TO BE FINISHED BLACK TO MATCH EXISTING

ENTRANCE STEPS TO BE FINISHED IN PORTLAND STONE

NEW FLAT WALK ON ROOF LIGHT

1800 mm METAL FIN TYPE HANDRAIL, WITH THE WIDTH OF FINIS TO PREVENT DIAGONAL VIEWS, PAINTED TO MATCH EXISTING.

NEW TIMBER DECKING

NEW TIMBER FRENCH DOORS ONTO DECKING AREA, STYLE TO MATCH EXISTING

NEW EXTERNAL WALL TO EXTENSION 140mm INNER SKIN BLOCKWORK WITH BRICKWORK TO OUTER SKIN MATCH EXISTING WITH INSULATED CAVITY, 15mm RENDER TO LIGHT WELL

EXISTING WINDOW TO BE BLOCKED UP, EXTERNAL FINISH TO MATCH EXISTING

JULIET BALCONY OVER LIGHTWELL TO EXISTING WINDOW

EXISTING WALL TO BE INSULATED USING INJECTED GLASS MINERAL WOOL CAVITY WALL INSULATION WHERE POSSIBLE. WHERE SOLID WALL THERMOSEAL OR SIMILAR EXTERNAL WALL INSULATION TO BE USED AND FINISHED WITH LIME PLASTER TO MATCH EXISTING. ALL CONERES AND SKIRTING BOARDS TO BE RETAINED, REPAIRED AND REINSTALLED WHERE REQUIRED

NOTE

ALL NEW DOORS UNLESS OTHERWISE ANNOTATED TO BE 6 PANEL, COLONIAL DOORS. EXISTING ARCHITRAVES TO BE RETAINED AND MADE GOOD IF REQUIRED. NEED ARCHITRAVES TO MATCH ORIGINAL

WALLS - RETAIN PLASTER THROUGHOUT WHERE POSSIBLE, ANY DAMAGED OR POOR REPAIR TO BE REPLACED WITH NEW PLASTER

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED

ALUMINIUM BI-FOLDING DOORS

NEW PROPOSED WALLS TO LIGHTWELL, INSULATED BLOCKWORK WALLS WITH RENDER BOARD AND FINISH, COLOUR WHITE

STUDWORK WALL TO PROPOSED SHOWER AND SAUNA, 92mm STUD WITH 12.5mm TO EITHER SIDE

EXISTING WALL ALREADY INSULATED DURING 16 JOHN STREET DEVELOPMENT

NOTE

ALL NEW DOORS UNLESS OTHERWISE ANNOTATED TO BE 4 PANEL, COLONIAL DOORS. EXISTING ARCHITRAVES TO BE RETAINED AND MADE GOOD IF REQUIRED. NEED ARCHITRAVES TO MATCH ORIGINAL

WALLS - RETAIN PLASTER THROUGHOUT WHERE POSSIBLE, ANY DAMAGED OR POOR REPAIR TO BE REPLACED WITH NEW PLASTER

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED

NEW DOUBLE DOORS TO BASEMENT ENTRANCE WITH GLAZED PANELS. REFER TO D&A STATEMENT FOR STYLE

E	FRENCH DOORS AND JULIET BALCONY REMOVED FROM GROUND FLOOR DINING ROOM, AND EXISTING WINDOW ADDED BACK (TO REMAIN), AS REQUESTED BY CONSERVATION OFFICER.	27.04.16	TP	AP
D	AMENDMENTS MADE FOLLOWING PLANNING AUTHORITY COMMENTS. NOTE ADDED TO EACH LEVEL REGARDING DOORS, ARCHITRAVES, AND WALLS, HANDRAIL DETAILS TO DECKING AMENDED AS REQUESTED.	07.03.16	TP	AP

C	BASEMENT ACCESS STAIR SET OUT ADJUSTED, AND NOTE ADDED TO ENTRANCE STEPS	30.11.15	AP	TP
B	FURTHER INFORMATION ADDED TO DRAWINGS FOLLOWING REVIEW WITH CLIENT	17.11.15	OS	TP
A	STORAGE AND CLOAKS ADDED TO GROUND FLOOR, DOOR TO LIBRARY REMOVED AND STEPS ADDED DUE TO LEVEL DIFFERENCE	14.10.15	AP	TP
	revision	date	by	chk

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- Method statements
- Permit to work
- Pre construction information

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Preliminary  Comment  Construction  
 Planning  Tender  Record

drawn by: AJP  
checked by: TP  
date: 01.09.15  
scale @ A3: 1:100

Mr ED WILCOX  
15 JOHN STREET, WC1N



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PROPOSED PLANS		
BASEMENT, GROUND, & FIRST		
project number	drawing number	revision
7682	P(000)006	E

NEW TIMBER SASH WINDOWS TO MATCH EXISTING

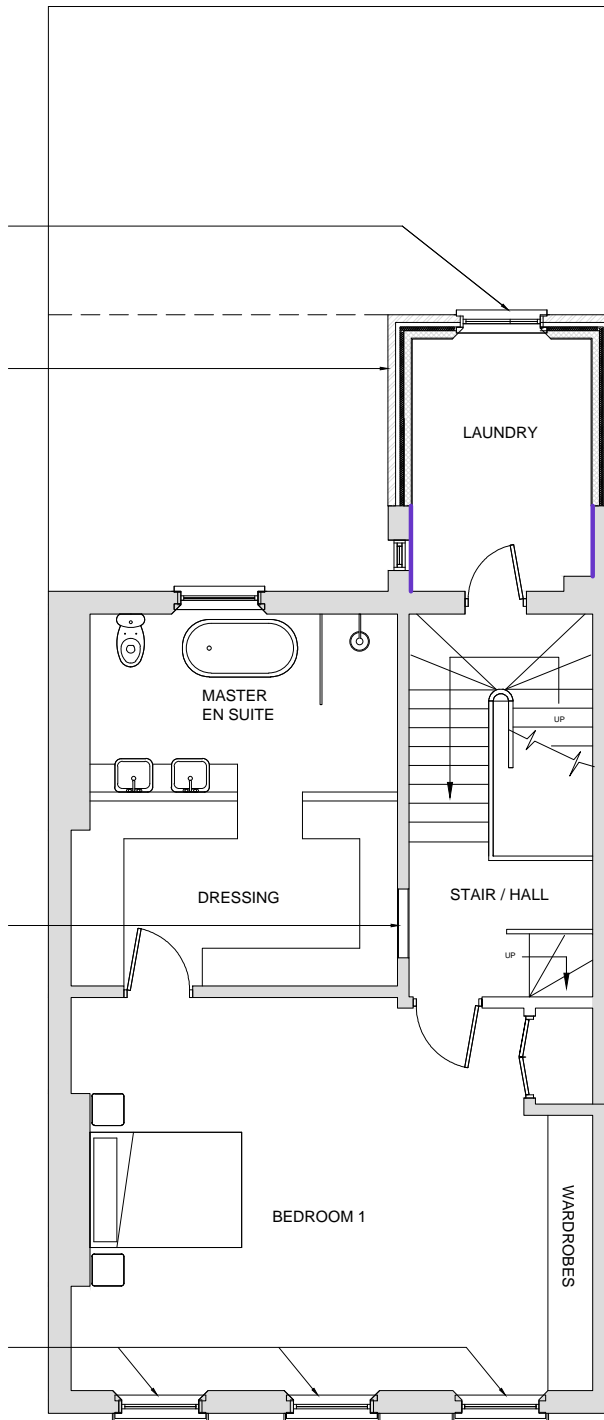
NEW EXTERNAL WALL TO EXTENSION  
140mm INNER SKIN BLOCKWORK WITH BRICKWORK TO OUTER SKIN MATCH EXISTING WITH INSULATED CAVITY.

NOTE  
ALL NEW DOORS UNLESS OTHERWISE ANNOTATED TO BE 6 PANEL COLONIAL DOORS. EXISTING ARCHITRAVES TO BE RETAINED AND MADE GOOD IF REQUIRED. NEED ARCHITRAVES TO MATCH ORIGINAL.

WALLS - RETAIN PLASTER THROUGHOUT WHERE POSSIBLE. ANY DAMAGED OR POOR REPAIR TO BE REPLACED WITH NEW PLASTER

DOOR TO BE LOCKED CLOSED AND RETAINED ON CORRIDOR SIDE. FRAME TO BE REMOVED ON DRESSING ROOM SIDE AND WALL PLASTERED OVER.

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED



PROPOSED SECOND FLOOR PLAN

NOTE

ALL NEW DOORS UNLESS OTHERWISE ANNOTATED TO BE 4 PANEL COLONIAL DOORS. EXISTING ARCHITRAVES TO BE RETAINED AND MADE GOOD IF REQUIRED. NEED ARCHITRAVES TO MATCH ORIGINAL.

WALLS - RETAIN PLASTER THROUGHOUT WHERE POSSIBLE. ANY DAMAGED OR POOR REPAIR TO BE REPLACED WITH NEW PLASTER

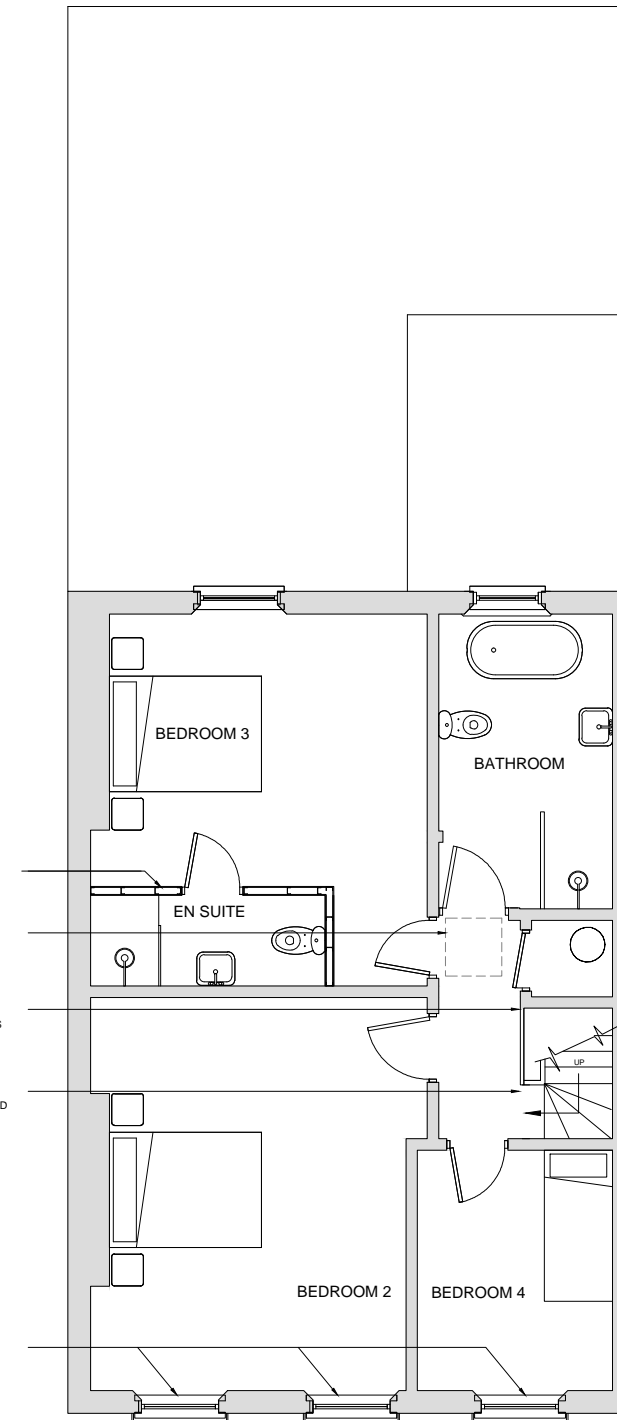
STUDYWORK WALL TO PROPOSED ENSUITE. 92mm STUD WITH 12.5mm TO EITHER SIDE

EXISTING ROOF HATCH TO BE REDUCED IN SIZE TO ALLOW FOR EXTENDING BATHROOM

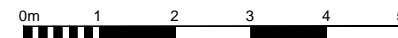
EXISTING DOOR AND ARCHITRAVE RETAINED AS AGREED WITH CONSERVATION OFFICER

EXISTING WALL AND DOOR TO TOP OF STAIR REMOVED TO ALLOW OPEN STAIRCASE. AS WOULD HAVE BEEN ORIGINAL AS AGREED WITH CONSERVATION OFFICER. HANDRAILS TO MATCH EXISTING STAIRCASES

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF, WHERE POSSIBLE. EXISTING RAILING TO BE RETAINED



PROPOSED THIRD FLOOR PLAN



D	AMENDMENTS MADE TO MASTER ENSUITE AND DRESSING ROOM AS AGREED WITH CONSERVATION OFFICER	03.05.16	TP	OS
C	MASTER ENSUITE MOVED TO BACK OF HOUSE TO ACCOMMODATE DRAINAGE TO REAR, ENSUITE IN BEDROOM 3 ADJUSTED.	07.03.16	TP	OS
B	AMENDMENTS MADE FOLLOWING PLANNING AUTHORITY COMMENTS. NOTE ADDED TO EACH LEVEL REGARDING DOORS, ARCHITRAVES, AND WALLS. ENSUITE MOVED IN BEDR' 3 TO OUTER WALL FOR DRAINAGE. DOOR AND STAIR TO TOP OF STAIR REMOVED.	07.03.16	TP	OS
A	FURTHER INFORMATION ADDED TO DRAWINGS FOLLOWING REVIEW WITH CLIENT	17.11.15	OS	TP
	revision	date	by	chk

drawn by	checked by	date	scale @ A3
AJP	TP	24.08.15	1:100

Mr ED WILCOX  
15 JOHN STREET, WC1N



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PROPOSED PLANS 2nd FLOOR, 3rd FLOOR		
project number	drawing number	revision
7682	P(000)007	D

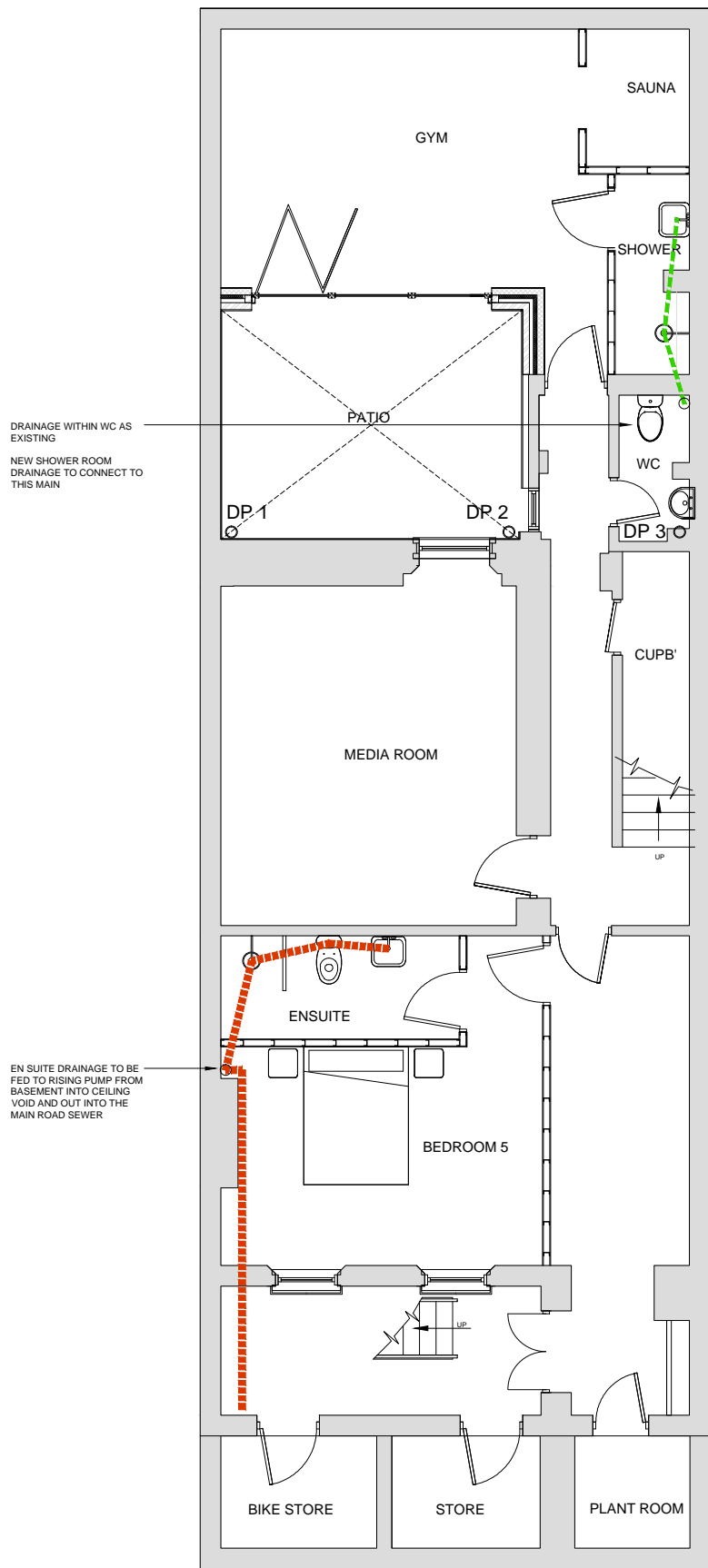
Construction staff and operatives must ensure the principal contractor has provided thorough and accurate information on all health and safety aspects relating to the designs identified on this drawing including the review of:

- Designers/contractors risk assessments
- Method statements
- Permit to work
- Pre construction information

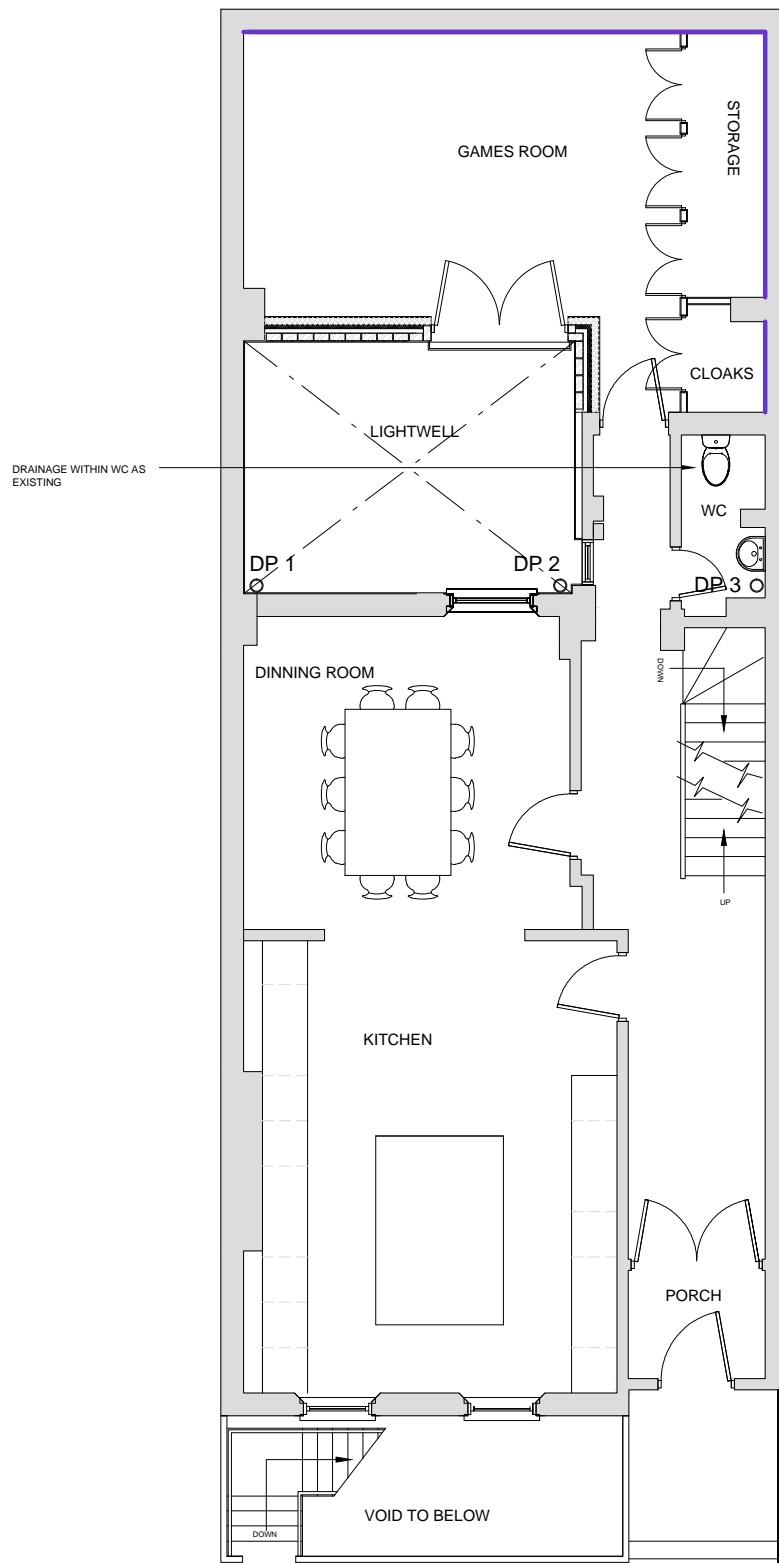
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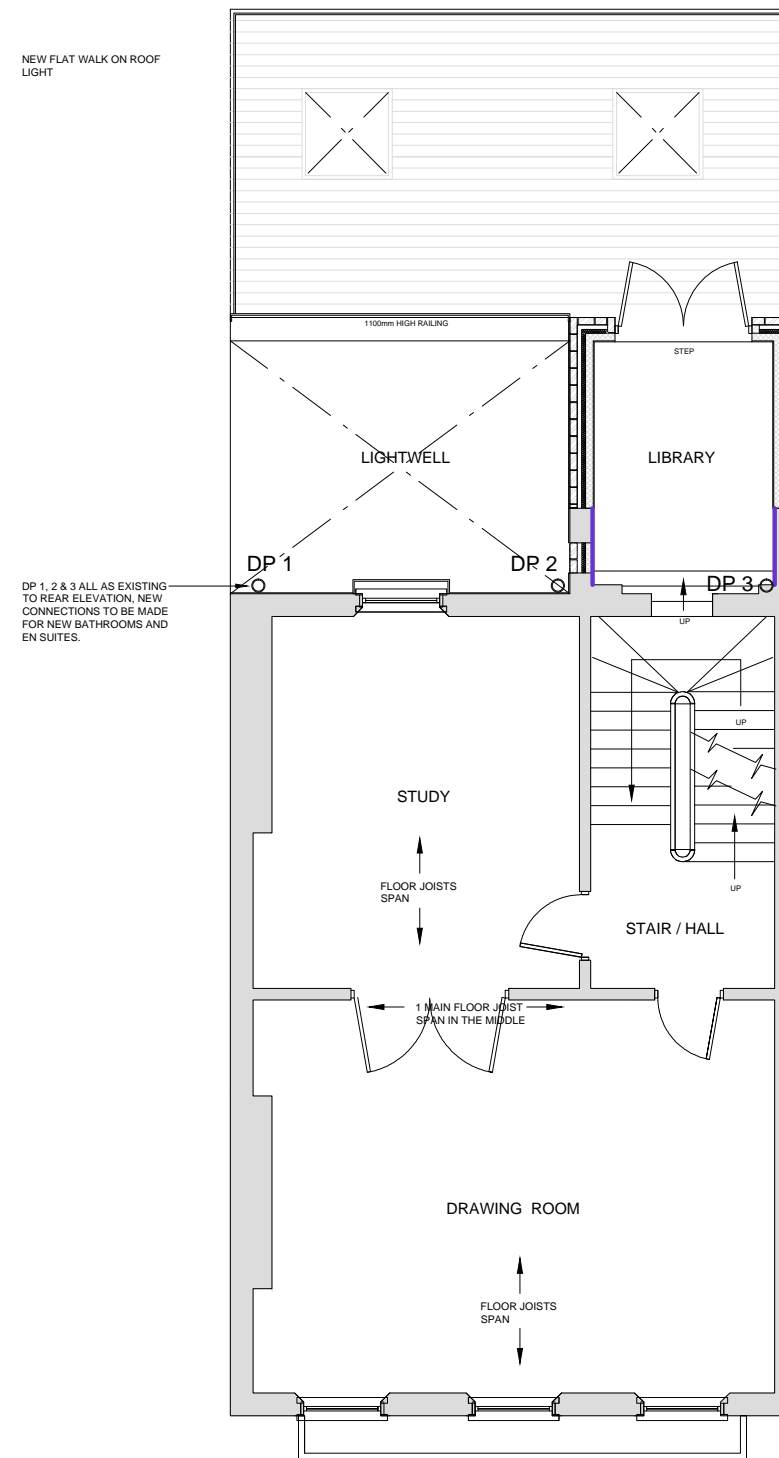
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  - Comment
  - Tender
  - Construction
  - Record



PROPOSED LOWER GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



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- Method statements
- Permit to work
- Pre construction information

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- Record

revision	date	by	chk
drawn by	checked by	date	scale @ A3
AJP	TP	27.04.16	1:100
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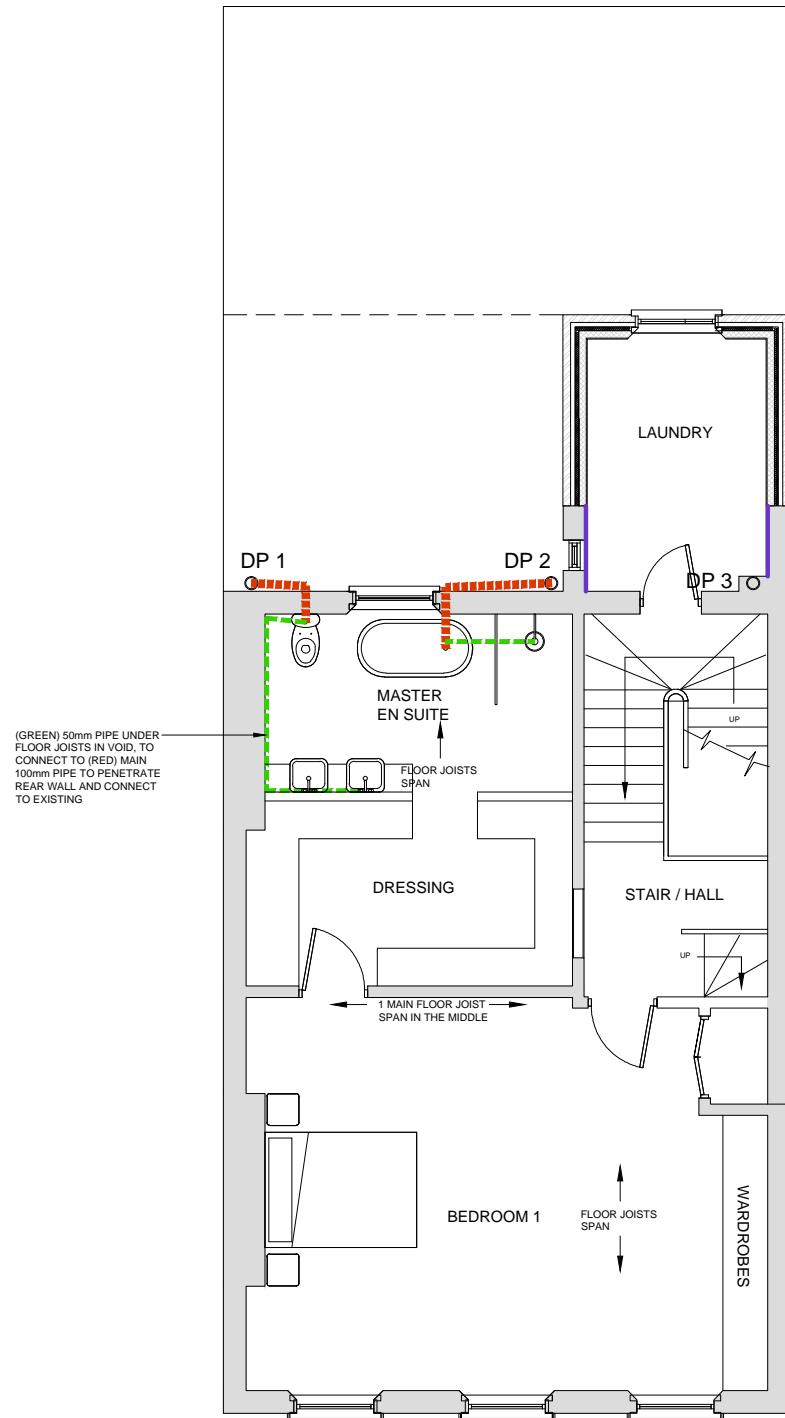
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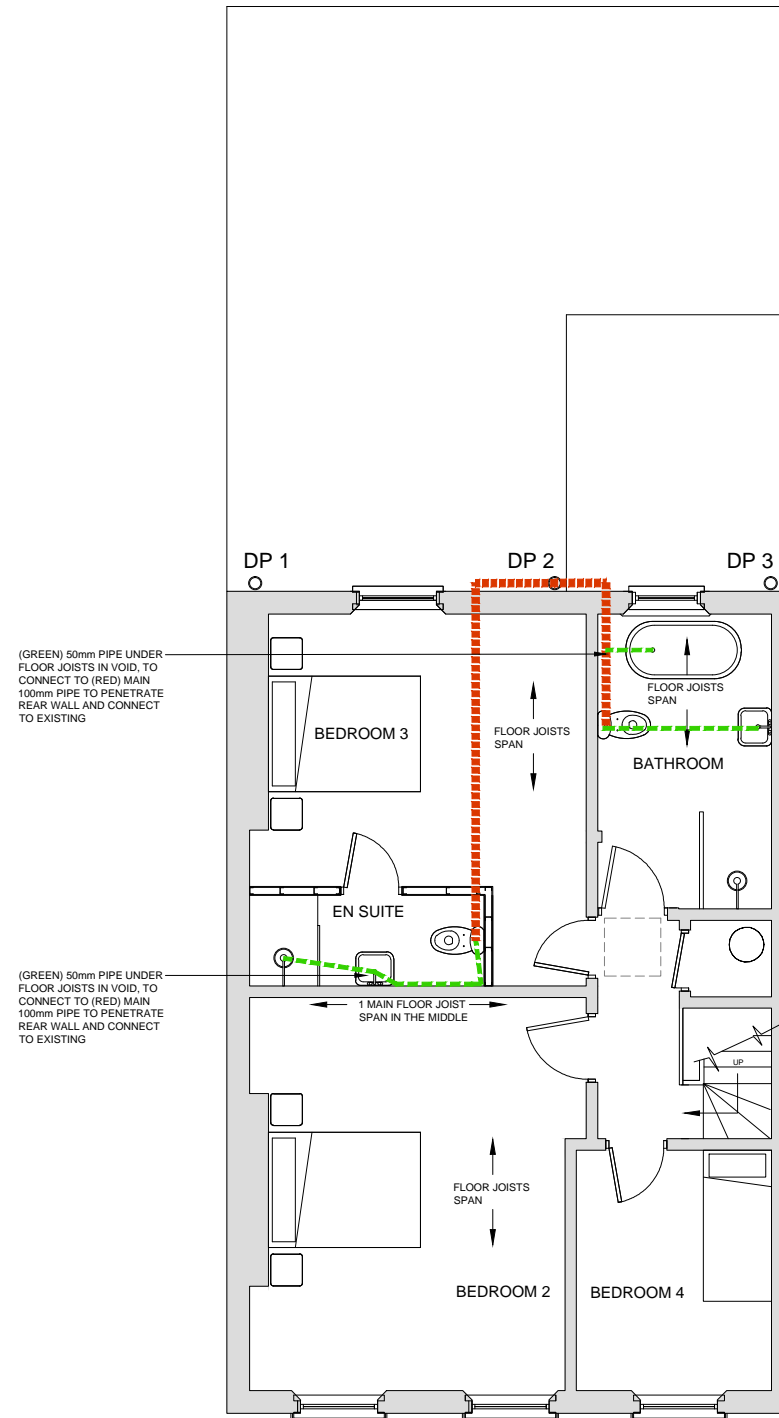
PROPOSED DRAINAGE PLANS

BASEMENT, GROUND, & FIRST

project number	drawing number	revision
7682	P(000)020	-



PROPOSED SECOND FLOOR PLAN



PROPOSED THIRD FLOOR PLAN



B Plan updated to replicate changes made to mast en-suite 03.05.16 AP TP

A	Penetrations to rear wall at 3rd floor level reduced to 2, and internal drainage rationalised.	03.05.16	AP	TP
	revision	date	by	chk



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- Pre construction information

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| <input checked="" type="checkbox"/> Planning | <input type="checkbox"/> Tender  | <input type="checkbox"/> Record       |

drawn by AJP checked by TP date 27.04.16 scale @ A3 1:100

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15 JOHN STREET, WC1N

PROPOSED DRAINAGE PLANS		
2nd FLOOR, 3rd FLOOR		
project number	drawing number	revision
7682	P(000)007	B

cad reference: \\br-london\CAD\_LONDON\P-London\7682 - 03 Cad\000\Existing, Presentation, Planning\7682 - P(000)020 & 021- PROPOSED DRAINAGE PLAN.dwg





EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION

Construction staff and operatives must ensure the principal contractor has provided thorough and accurate information on all health and safety aspects relating to the designs identified on this drawing including the review of:

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A	EXISTING RAILINGS ADDED TO REAR WINDOWS	30.11.15	AP	TP
	revision	date	by	chk
	AJP	24.08.15	TP	
drawn by		checked by	date	scale @ A3
AJP		TP	24.08.15	1:100
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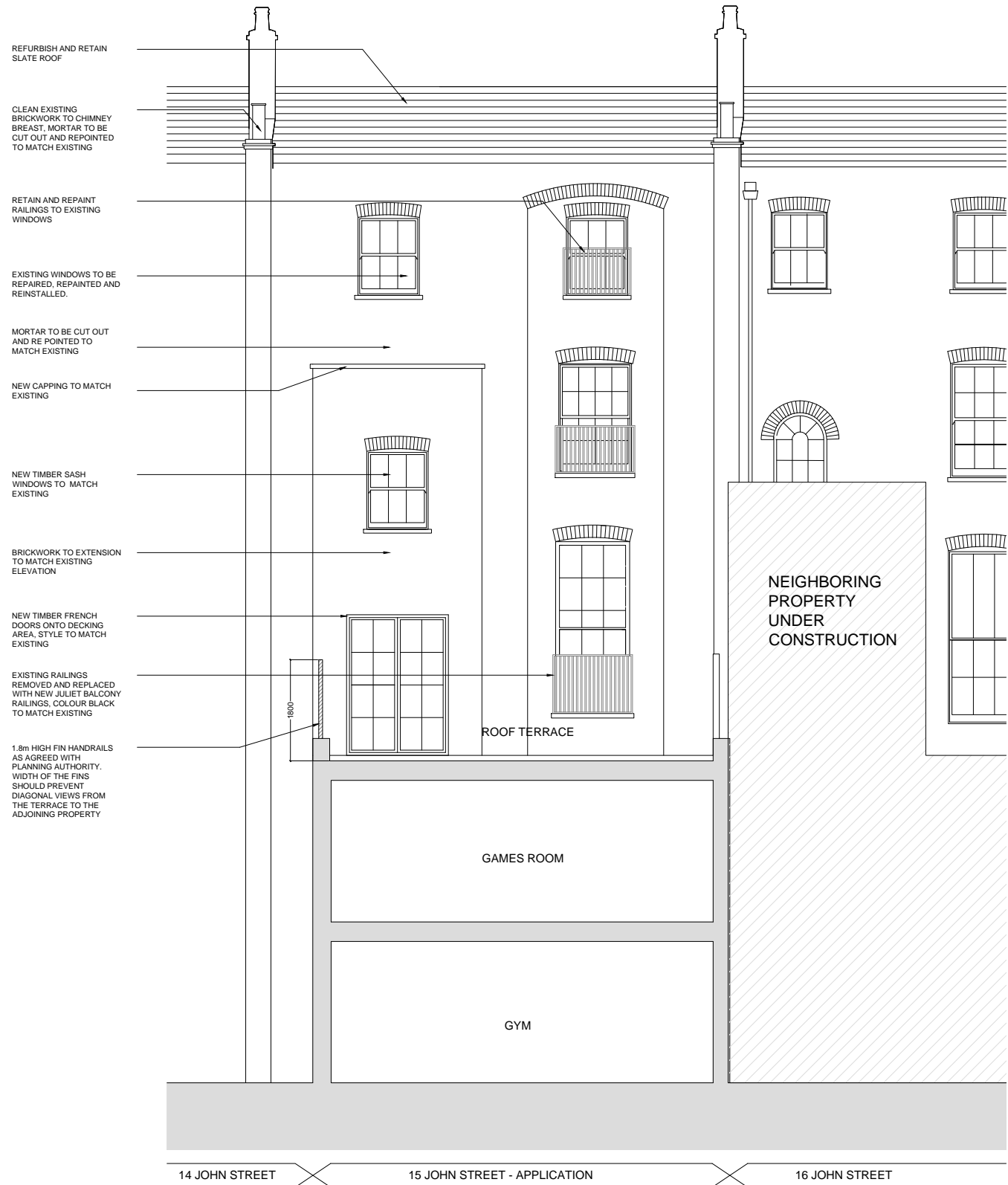
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EXISTING ELEVATIONS

project number	drawing number	revision
7682	P(000) 008	A



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

B RAILINGS AROUND THE TERRACE AREA 07.03.16 AP TP  
 ADDED TO DRAWINGS AND NOTES AS PER  
 DISCUSSIONS WITH PLANNING  
 AUTHORITY

revision	date	by	chk
A	30.11.15	AP	TP
JULIET BALCONY RAILINGS ADDED TO REAR WINDOW OVERLOOKING LIGHT WELL, NOTE ADDED TO ENTRANCE STEPS			



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- Method statements
- Permit to work
- Pre construction information

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- Planning
- Comment
- Tender
- Construction
- Record

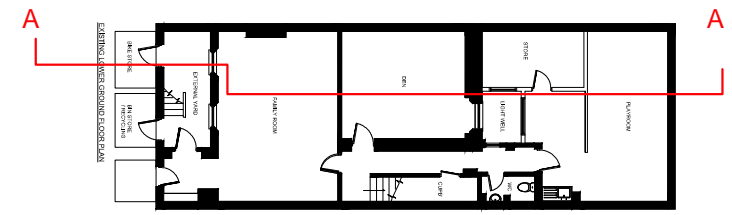
drawn by	checked by	date	scale @ A3
AJP	TP	NOV 15	1:100

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PROPOSED ELEVATIONS

project number	drawing number	revision
7682	P(000) 009	B

cad reference: \\br-london\CAD\_LONDON\15 John St, London\7682 - 03 Cad\000\Existing, Presentation, Planning\7682 - P(000) 008-09 - ELEVATIONS revision B.dwg



**LOCATION PLAN**  
(BASEMENT LEVEL)

- KEY**
- Indicates existing building elements to be adjusted
  - Indicates existing building elements to be retained, repaired, repainted and made good.

**NOTES**

All skirting boards, feature cornice to be retained and repaired if necessary

TO BE READ IN CONJUNCTION WITH ALTERATION FLOOR PLANS 7682 P( 004 -005)

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

BALCONY TO BE REPAIRED, REPAINTED AND RE SECURED TO TO MATCH EXISTING. STRUCTURAL CALCULATIONS TO BE CARRIED OUT FOR ITS STRUCTURAL INTEGRITY AND MADE GOOD IF NECESSARY

EXISTING WALL AND DOOR REMOVED TO ALLOW OPENING

RETAIN AND REFURNISH AND REPAIR EXISTING RAILINGS

REPLACE EXTERNAL STAIRS TO BASEMENT LEVEL. MATCH TO EXISTING

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

EXISTING PATIO ROOFLIGHT AND FLATROOF TO BE REMOVED. SECTION OF EXISTING ROOF OVER KITCHEN / DINING AREA TO ALSO BE REMOVED.

ROOFLIGHTS TO BE REPLACED WITH NEW FLAT GLASS WALK ON ROOFLIGHTS, LEVEL WITH PROPOSED DECKING AREA

EXISTING FLOOR TO BE REMOVED TO CREATE NEW LIGHTWELL. STRUCTURAL SUPPORTS TO BE INSTALLED TO SUIT NEW LAYOUT.

EXISTING PATIO WALLS TO BE REMOVED

EXISTING PARTITION TO BE REMOVED

A	ALTERATIONS TO RECEPTION ROOM WINDOW TO CREATE FRENCH DOORS AND JULIET BALCONY REMOVED	05.03.16	TP	AP
	revision	date	by	chk

drawn by	checked by	date	scale @ A3
OS	TP	NOV 15	1:100

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15 JOHN STREET, WC1N



ALTERATION SECTION A-A		
project number	drawing number	revision
7682	P(000) 010	A

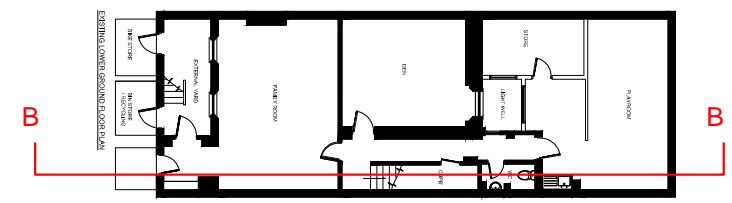
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- Pre construction information

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| <input checked="" type="checkbox"/> Planning | <input type="checkbox"/> Tender  | <input type="checkbox"/> Record       |



**LOCATION PLAN  
(BASEMENT LEVEL)**

**KEY**

- Indicates existing building elements to be adjusted
- Indicates existing building elements to be retained, repaired, repainted and made good.

**NOTES**

All skirting boards, feature cornice to be retained and repaired if necessary

TO BE READ IN CONJUNCTION WITH ALTERATION FLOOR PLANS 7682 P( 004 -005)

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

EXISTING WALLS TO BE REMOVED

WALLS TO BE REMOVED AND REPLACED WITH RAILINGS TO MATCH EXISTING BALLUSTRADE

EXISTING EXTERNAL WALL TO BE REMOVED TO ALLOW FOR CONSTRUCTION OF NEW EXTENSION

ALL WINDOWS TO BE REPAIRED, REPAINTED, AND MADE GOOD AND DRAFT PROOF. EXISTING RAILING TO BE RETAINED

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- Pre construction information

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  - Record

revision	date	by	chk
OS	NOV 15	TP	

drawn by OS checked by TP date NOV 15 scale @ A3 1:100

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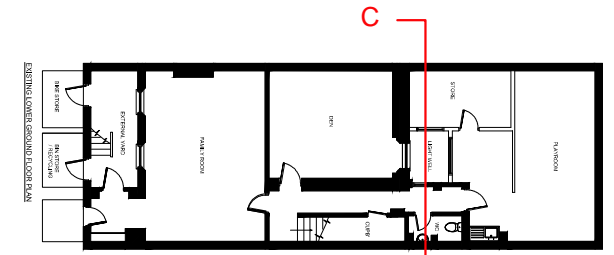
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ALTERATION SECTION B-B

project number	drawing number	revision
7682	P(000) 011	-



LOCATION PLAN  
(BASEMENT LEVEL)

KEY

- Indicates existing building elements to be adjusted
- Indicates existing building elements to be retained, repaired, repainted and made good.

NOTES

All skirting boards, feature cornice to be retained and repaired if necessary

TO BE READ IN CONJUNCTION WITH ALTERATION FLOOR PLANS 7682 P( 004 -005)

A	ALTERATIONS TO RECEPTION ROOM WINDOW TO CREATE FRENCH DOORS AND JULIET BALCONY REMOVED	07.03.16	TP	AP
	revision	date	by	chk
	OS	TP	NOV '15	1:100
<p>drawn by checked by date scale @ A3</p> <p>OS TP NOV '15 1:100</p> <p><b>Mr ED WILCOX</b></p> <p>15 JOHN STREET, WC1N</p>				

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ALTERATION SECTION C-C

project number	drawing number	revision
7682	P(000) 012	A

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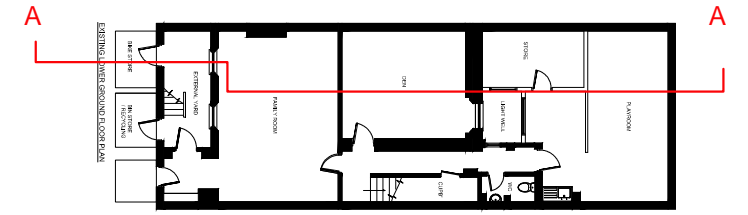
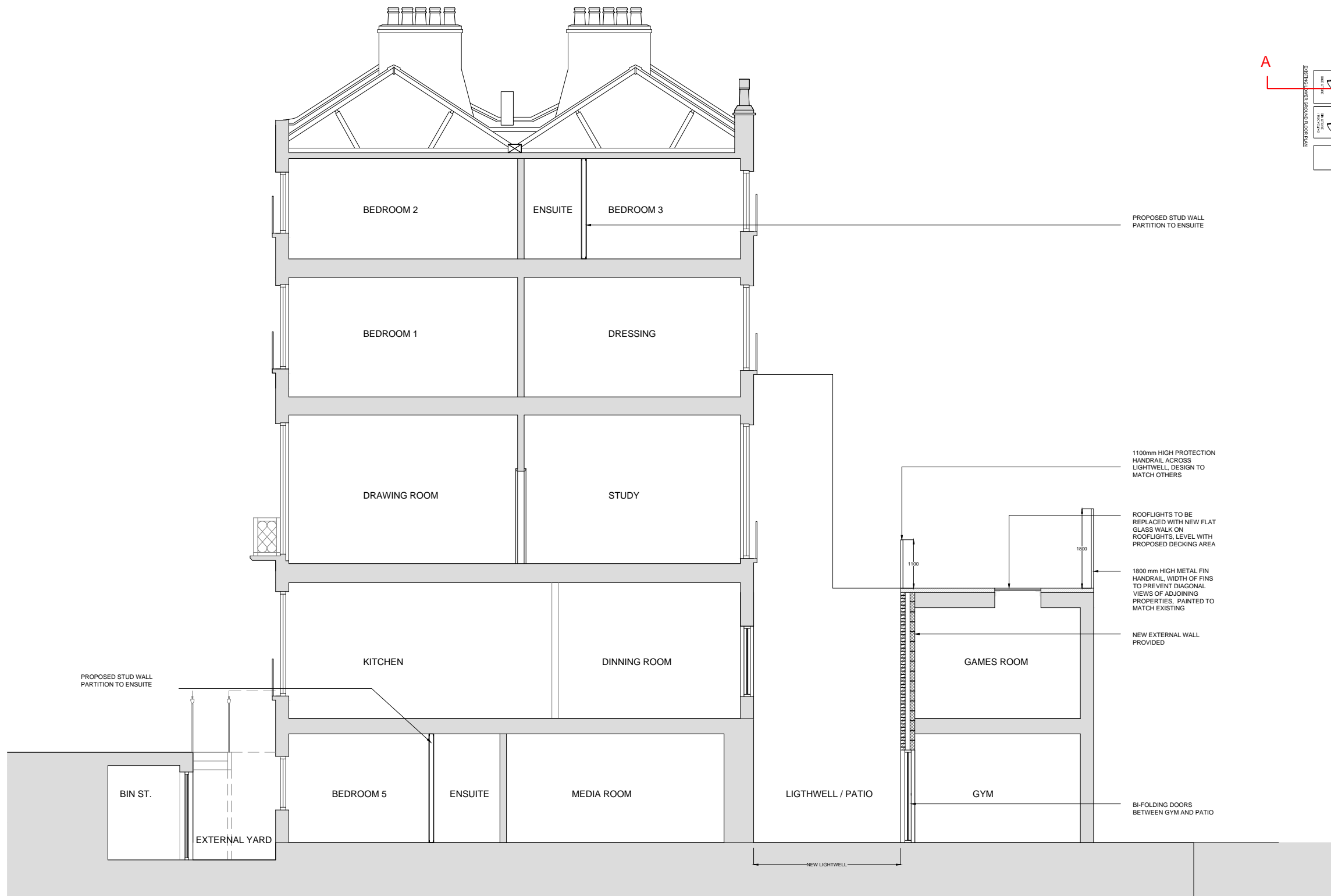
- Designers/contractors risk assessments
- Method statements
- Permit to work
- Pre construction information

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 Planning     Tender     Record



**LOCATION PLAN**  
(BASEMENT LEVEL)

TO BE READ IN CONJUNCTION WITH PROPOSED FLOOR PLANS  
7682 P(006-007)

B	NEW FRENCH DOORS TO DINING ROOM REMOVED AND RETURNED TO EXISTING. NOTE REMOVED.	03.05.16	TP	AP
A	HANDRAIL SPECIFICATION AND HEIGHT AMENDED FOLLOWING COMMENTS FROM PLANNING AUTHORITY	07.03.16	TP	AP
	revision	date	by	chk



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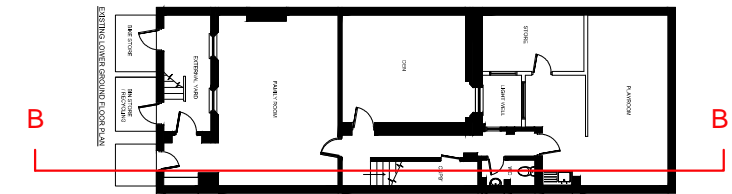
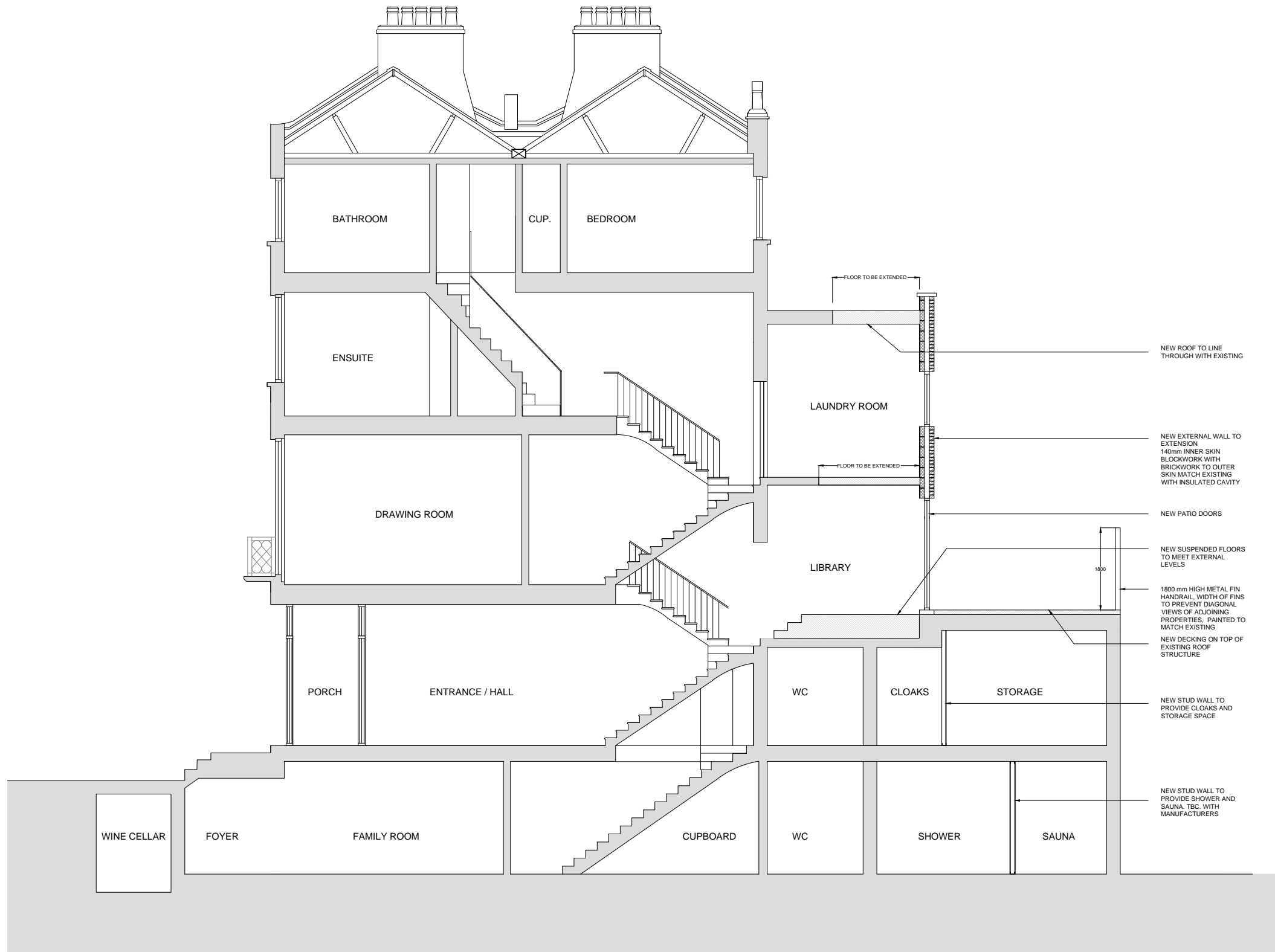
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drawn by OS checked by TP date NOV '15 scale @ A3 1:100

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15 JOHN STREET, WC1N

PROPOSED SECTION A-A		
project number	drawing number	revision
7682	P(000) 013	B



**LOCATION PLAN  
(BASEMENT LEVEL)**

TO BE READ IN CONJUNCTION WITH PROPOSED FLOOR PLANS  
7682 P( 006 -007)

- NEW ROOF TO LINE THROUGH WITH EXISTING
- NEW EXTERNAL WALL TO EXTENSION  
140mm INNER SKIN  
BLOCKWORK WITH  
BRICKWORK TO OUTER  
SKIN MATCH EXISTING  
WITH INSULATED CAVITY
- NEW PATIO DOORS
- NEW SUSPENDED FLOORS  
TO MEET EXTERNAL  
LEVELS
- 1800 mm HIGH METAL FIN  
HANDRAIL, WIDTH OF FIN  
TO PREVENT DIAGONAL  
VIEWS OF ADJOINING  
PROPERTIES. PAINTED TO  
MATCH EXISTING
- NEW DECKING ON TOP OF  
EXISTING ROOF  
STRUCTURE
- NEW STUD WALL TO  
PROVIDE CLOAKS AND  
STORAGE SPACE
- NEW STUD WALL TO  
PROVIDE SHOWER AND  
SAUNA. TBC. WITH  
MANUFACTURERS

A	HANDRAIL SPECIFICATION AND HEIGHT AMENDED FOLLOWING COMMENTS FROM PLANNING AUTHORITY	07.03.16	TP	AP
	revision	date	by	chk

drawn by	checked by	date	scale @ A3
OS	TP	NOV 15	1:100

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PROPOSED SECTION B-B		
project number	drawing number	revision
7682	P(000) 014	A

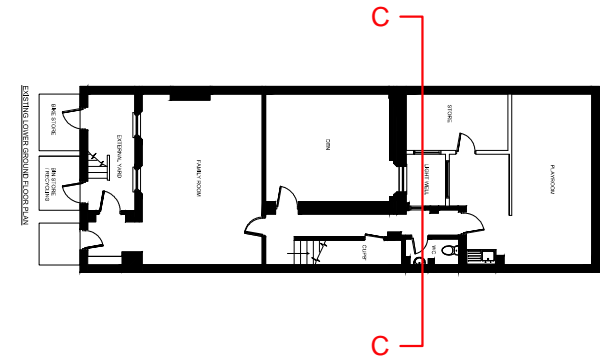
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**LOCATION PLAN**  
(BASEMENT LEVEL)

TO BE READ IN CONJUNCTION WITH PROPOSED FLOOR PLANS  
7682 P(006-007)

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| <input checked="" type="checkbox"/> Planning | <input type="checkbox"/> Tender  | <input type="checkbox"/> Record       |

A	FRENCH DOORS AND JULIET BALCONY REMOVED FROM DINING ROOM AND REPLACED BACK TO EXISTING	03.05.16	TP	AP
	revision	date	by	chk
	OS	NOV' 15	TP	AP
drawn by		checked by	date	scale @ A3
OS		TP	NOV' 15	1:100
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PROPOSED SECTION C-C

project number	drawing number	revision
7682	P(000) 015	A