



Planning • Heritage
Specialist & Independent Advisors to the Property Industry

Heritage Statement

86-88 Fellows Road

London

NW3 3JG

SE Land & Estates Group of Companies

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86-88 FELLOWS ROAD

1.0 INTRODUCTION

This Heritage Statement has been prepared by CgMs Consulting on behalf of SE Land & Estates Group of Companies in support of a planning application for the proposed lower and upper ground floor rear extension of Nos. 86 and 88 Fellows Road, henceforth known as the 'Site'.

The Site comprises a pair of late Victorian semi-detached houses which have previously been sub-divided into ten residential flats and are arranged across four storeys plus attic accommodation. The Site is located within the Belsize Park Conservation Area and recognised within the council's adopted Conservation Area Statement as a positive contributor to the special character and appearance of the Conservation Area. The building forms part of a group with the late Victorian buildings to the west but is firmly grounded within a modern built context, given the close proximity of late twentieth century residential blocks. The principal interest of the building, particularly in terms of its contribution to the Conservation Area, lies in its main façade and its group value with the adjacent Victorian properties in views along Fellows Road.

The proposed development principally comprises the erection of a part-single storey, part-two storey rear extension at lower and upper ground floor levels, to extend the existing residential units to provide one x 2 bed and three x 3 bed flats, plus the creation of 2 roof terraces and a green roof. The proposals further include the internal reconfiguration of the walls of the lower and upper ground floors to provide improved accommodation. The existing front elevation of the building will remain unaltered with the proposed works principally confined to the rear of the building. Additionally, a new small window is proposed to the porch of No. 86.

By virtue of Paragraph 128 and 135 of the National Planning Policy Framework (NPPF), applicants are required to describe the significance of any heritage assets and non-designated heritage assets that have been identified within the vicinity of the Site, and demonstrate any potential impacts that a proposal will have upon their significance. This report presents a summary of the relevant legislative framework and planning policy at national and local levels, with special regard to policies that relate to development affecting conservation areas. It provides an assessment of the historic development of the surrounding area and the Site itself, including a historic map appraisal. A detailed site assessment has been undertaken as well as a thorough assessment of the Belsize Park Conservation Area in order to understand its special character and appearance and the contribution that the Site itself makes to this. In addition, an assessment of the proposed development scheme and its potential impact or otherwise, upon the relevant heritage assets is also contained within.



Figure 1: Aerial view of the rear (north) elevation of the Site and its surroundings.



Figure 2: View of the existing rear elevation of the Site, showing the upper ground, first and second floors.

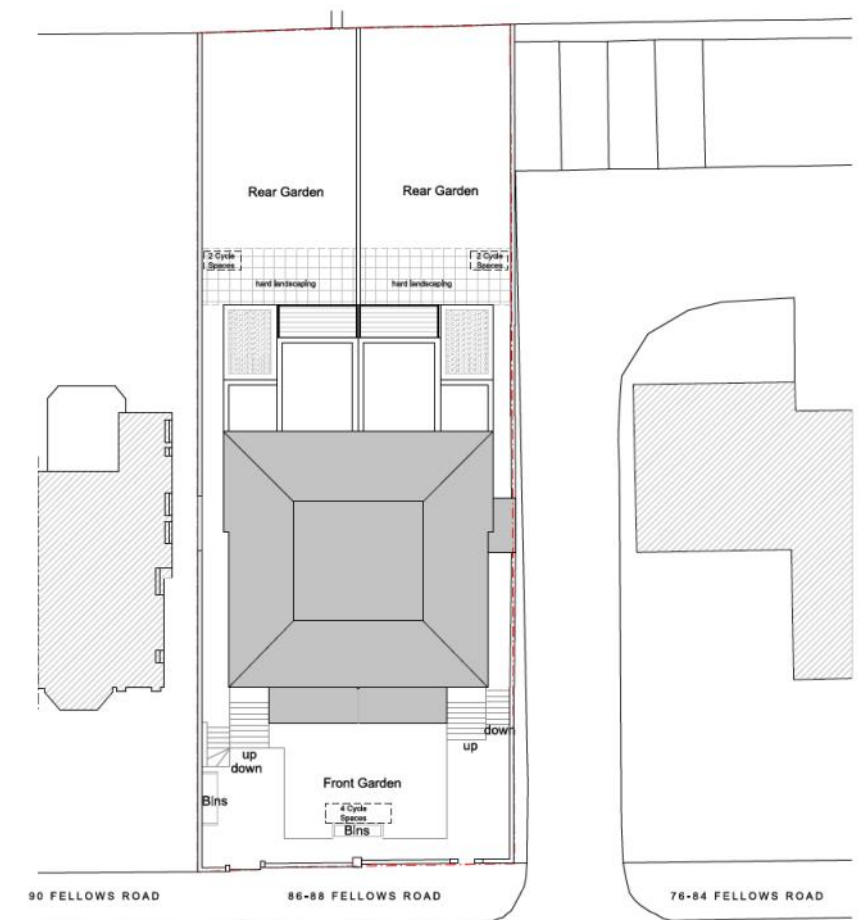


Figure 3: Proposed Site plan.



Figure 4: Proposed rear (north) elevation.

2.0 LEGISLATIVE AND PLANNING POLICY FRAMEWORK

2.1 LEGISLATION, NATIONAL PLANNING POLICY AND GUIDANCE

The current policy regime identifies, through the National Planning Policy Framework (NPPF), that applications should consider the potential impact of development on Heritage Assets. This term includes both designated heritage assets, which possess a statutory designation (for example listed buildings, conservation areas, and registered parks and gardens), as well as undesignated heritage assets.

Legislation

Legislation regarding buildings and areas of special architectural and historic interest is contained within the Planning (Listed Buildings and Conservation Areas) Act 1990.

The relevant legislation in this case extends from Section 16 of the 1990 Act which states that in considering applications for listed building consent, the local planning authority shall have special regard to the desirability of preserving the Listed Building or its setting or any features of special architectural or historic interest which it possesses. Section 66 further states that special regard must be given by the authority in the exercise of planning functions to the desirability of preserving or enhancing Listed Buildings and their setting.

Section 69 defines a conservation area as an “area of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance”. It is the duty of Local Authorities to designate such areas and to use their legal powers to safeguard and enhance the special qualities of these areas within the framework of controlled and positive management of change.

Further to this, Section 72 of the 1990 Act states that in exercising all planning functions, local planning authorities must have special regard to the desirability of preserving or enhancing Conservation Areas and their setting. Further provisions are detailed in Section 74 of the Act.

National Planning Policy Framework (NPPF), (March, 2012)

The National Planning Policy Framework was published on the 27 March 2012 and is the principal document which sets out the Government’s planning policies for England and how these are expected to be applied. It has purposefully been created to provide a framework within which local people and LPAs can produce their own distinctive Local and Neighbourhood Plans which reflect the needs and priorities of their communities.

When determining Planning Applications the NPPF directs LPAs to apply the approach of presumption in favour of sustainable development; the ‘golden thread’ which is expected to run through the plan-making and decision-taking

activities. It should be noted however, that this is expected to apply except where this conflicts with other policies combined within the NPPF, inclusive of those covering the protection of designated heritage assets, as set out in paragraph 14 of the NPPF.

Within section 7 of the NPPF, ‘Requiring Good Design’, Paragraphs 56 to 68, reinforce the importance of good design in achieving sustainable development by ensuring the creation of inclusive and high quality places. This section of the NPPF affirms, in paragraph 58, the need for new design to function well and add to the quality of the area in which it is built; establish a strong sense of place; and respond to local character and history, reflecting the built identity of the surrounding area.

Section 12, ‘Conserving and Enhancing the Historic Environment’, Paragraphs 126-141, relate to developments that have an effect upon the historic environment. These paragraphs provide the guidance to which local authorities need to refer when setting out a strategy for the conservation and enjoyment of the historic environment in their Local Plans. This should be a positive strategy for the conservation and enjoyment of the historic environment and should include heritage assets which are most at risk through neglect, decay or other threats. It is also noted that heritage assets should be conserved in a manner appropriate to their significance. The NPPF further provides definitions of terms which relate to the historic environment in order to clarify the policy guidance given. For the purposes of this report, the following are important to note:

- Heritage asset. This is ‘a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions’. These include designated heritage assets and assets identified by the local planning authority.
- Significance. The value of a heritage asset to this and future generations because of its heritage interest. This interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.
- Setting. The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

The NPPF advises local authorities to take into account the following points when drawing up strategies for the conservation and enjoyment of the historic environment. Paragraph 126 outlines these considerations that should be taken into account when determining planning applications:

- The desirability of sustaining and enhancing the significance of heritage assets and preserving them in a viable use consistent with their conservation;
- The wider social, cultural, economic and environmental benefits that the conservation of the historic environment can bring;
- The desirability of new development in making a positive contribution to local character and distinctiveness;
- Opportunities to draw on the contribution made by the historic environment to the character of a place.

In order to determine applications for development, Paragraph 128 of the NPPF states that LPAs should require applicants to describe the significance of the heritage assets affected and the contribution made by their setting. Adding that the level of detail provided should be proportionate to the significance of the asset and sufficient to understand the impact of the proposal on this significance.

According to Paragraph 129, LPAs should also identify and assess the significance of a heritage asset that may be affected by a proposal and should take this assessment into account when considering the impact upon the heritage asset.

Paragraphs 132 to 136 consider the impact of a proposed development upon the significance of a heritage asset. Paragraph 132 emphasises that when a new development is proposed, great weight should be given to the asset’s conservation and that the more important the asset, the greater this weight should be. It is noted within this paragraph that significance can be harmed or lost through the alteration or destruction of the heritage asset or by development within its setting.

Paragraph 134 advises that where a development will cause less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

Paragraph 135 notes that the effect of an application on the significance of a undesignated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

2.1 LEGISLATION, NATIONAL PLANNING POLICY AND GUIDANCE

The NPPF therefore continues the philosophy of that upheld in PPS5 in moving away from narrow or prescriptive attitudes towards development within the historic environment, towards intelligent, imaginative and sustainable approaches to managing change. English Heritage defined this new approach, now reflected in the NPPF, as 'constructive conservation'. This is defined as 'a positive and collaborative approach to conservation that focuses on actively managing change...the aim is to recognise and reinforce the historic significance of places, while accommodating the changes necessary to ensure their continued use and enjoyment.' (Constructive Conservation in Practice, English Heritage, 2009).

National Guidance

Planning Practice Guidance, (PPG), (2014)

This guidance has recently been adopted in order to support the NPPF. It reiterates that conservation of heritage assets in a manner appropriate to their significance is a core planning principle.

It also states, conservation is an active process of maintenance and managing change, requiring a flexible and thoughtful approach. Furthermore, it highlights that neglect and decay of heritage assets is best addressed through ensuring they remain in active use that is consistent with their conservation.

Importantly, the guidance states that if complete, or partial loss of a heritage asset is justified, the aim should then be to capture and record the evidence of the asset's significance, and make the interpretation publically available.

Key elements of the guidance relate to assessing harm. It states, an important consideration should be whether the proposed works adversely affect a key element of the heritage asset's special architectural or historic interest.

Adding, it is the degree of harm, rather than the scale of development that is to be assessed. The level of 'substantial harm' is stated to be a high bar, that may not arise in many cases. Essentially, whether a proposal causes substantial harm will be a judgment for the decision taker, having regard to the circumstances of the case and the NPPF.

Importantly, it is stated harm may arise from works to the asset or from development within its setting. Setting is defined as the surroundings in which an asset is experienced, and may be more extensive than the curtilage. A thorough assessment of the impact of proposals upon setting needs to take into account, and be proportionate to, the significance of the heritage asset and the degree to which proposed changes enhance or detract from that significance and the ability to appreciate it.

Overview: Historic Environment Good Practice Advice in Planning

On the 25th March 2015 Historic England (formerly English Heritage) withdrew the PPS5 Practice Guide. This document has been replaced with three Good Practice Advice in Planning Notes (GPAs), 'GPA1: Local Plan Making' (Published 25th March 2015), 'GPA2: Managing significance in Decision-Taking in the historic Environment' (Published 27th March 2015) and 'GPA3: The Setting of Heritage Assets' (25th March 2015). A further document entitled 'GPA4: Enabling Development' is yet to be adopted.

The GPAs provide supporting guidance relating to good conservation practice. The documents particularly focus on the how good practice can be achieved through the principles included within national policy and guidance. As such, the GPAs provide information on good practice to assist LPAs, planning and other consultants, owners, applicants and other interested parties when implementing policy found within the NPPF and PPG relating to the historic environment.

In addition to these documents Historic England has published three core Advice Notes (HEAs) which provide detailed and practical advice on how national policy and guidance is implemented. These documents include; 'HEA1: Understanding Place: Conservation Area Designation, Appraisal and Management' (25th February 2016), 'HEA2: Making Changes to Heritage Assets' (25th February 2016) and 'HEA3: The Historic Environment and Site Allocations in Local Plans' (30th October 2015). In addition to these 'HEA4: Tall Buildings' (10th December 2005), 'Seeing the History in the View' (31st May 2011) and 'Managing Local Authority Heritage' (2nd June 2003) provide further information and guidance in respect of managing change within the historic environment.

Historic Environment Good Practice Advice in Planning: Note 1 (GPA1): The Historic Environment in Local Plans

This advice note focuses on the importance of identifying heritage policies within Local Plans. The advice stresses the importance of formulating Local Plans that are based on up-to-date and relevant evidence about the economic, social and environmental characteristics and prospects of the area, including the historic environment, as set out by the NPPF. The document provides advice on how information about the local historic environment can be gathered, emphasising the importance of not only setting out known sites, but in understanding their value (i.e. significance). This evidence should be used to define a positive strategy for the historic environment and the formulation of a plan for the maintenance and use of heritage assets and for the delivery of development including within their setting that will afford appropriate protection for the asset(s) and make a positive contribution to local character and distinctiveness.

The document gives advice on how the heritage policies within Local Plans should identify areas that are inappropriate for development as well as defining specific Development Management Policies for the historic environment. It also suggests that a heritage Supplementary Planning Document (SPD) in line with paragraph 153 of the NPPF can be a useful tool to amplify and elaborate on the delivery of the positive heritage strategy in the Local Plan.

Historic Environment Good Practice Advice in Planning: Note 2 (GPA2): Managing Significance in Decision-Taking in the Historic Environment

This document provides advice on numerous ways in which decision-taking in the historic environment could be undertaken, emphasising that the first step for all applicants is to understand the significance of any affected heritage asset and the contribution of its setting to its significance. In line with the NPPF and NPPG, the document states that early engagement and expert advice in considering and assessing the significance of heritage assets is encouraged. The advice suggests a structured staged approach to the assembly and analysis of relevant information and is as follows:

1. Understand the significance of the affected assets;
2. Understand the impact of the proposal on that significance;
3. Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF;
4. Look for opportunities to better reveal or enhance significance;
5. Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change;
6. Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

The advice reiterates that heritage assets may be affected by direct physical change or by change in their setting. Assessment of the nature, extent and importance of the significance of a heritage asset and the contribution of its setting at an early stage can assist the planning process in informed decision-taking. The document sets out the recommended steps for assessing significance and the impact of development proposals upon it, including examining the asset and its setting and analysing local policies and information sources. In assessing the impact of a development proposal on the significance of a heritage asset the document emphasises that the

2.1 LEGISLATION, NATIONAL PLANNING POLICY AND GUIDANCE

cumulative impact of incremental small-scale changes may have as great an effect on the significance of a heritage asset as a larger scale change. Crucially, the nature and importance of the significance that is affected will dictate the proportionate response to assessing that change, its justification, mitigation and any recording which may be necessary.

Historic Environment Good Practice Advice in Planning: Note 3 (GPA3): The Setting of Heritage Assets

This advice note focuses on the management of change within the setting of heritage assets. This document is an update to guidance previously published by English Heritage (The Setting of Heritage Assets 2011) in order to ensure that it is fully compliant with the NPPF and is designed in order to aid practitioners with the implementation of national policies and guidance relating to the historic environment found within the NPPF and NPPG. The guidance is largely a continuation of the philosophy and approach of the 2011 document and does not present a divergence in either the definition of setting or the way in which it should be assessed.

As with the NPPF the document defines setting as ‘the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve’. Setting is also described as being a separate term to curtilage, character and context. The guidance emphasises that setting is not a heritage asset nor a heritage designation and that its importance lies in what it contributes to the significance of the heritage asset. It also states that elements of setting may make a positive, negative or neutral contribution to the significance of the heritage asset.

While setting is largely a visual term, with views considered to be an important consideration in any assessment of the contribution that setting makes to the significance of an asset, setting, and thus the way in which an asset is experienced, can also be affected by other environmental factors including noise, vibration and odour, while setting may also incorporate perceptual and associational attributes pertaining to the asset’s surroundings.

This document provides guidance on practical and proportionate decision making with regards to the management of proposed development and the setting of heritage assets. It is stated that the protection of the setting of a heritage asset need not prevent change and that decisions relating to such issues need to be based on the nature, extent and level of the significance of a heritage asset, further weighing up the potential public benefits associated with the proposals. It is further stated that changes within the setting of a heritage asset may have positive or neutral effects. It is stated that the

contribution made to the significance of heritage assets by their settings will vary depending on the nature of the heritage asset and its setting and that different heritage assets may have different abilities to accommodate change within their settings without harming the significance of the asset and therefore setting should be assessed on a case-by-case basis. Although not prescriptive in setting out how this assessment should be carried out, noting that any approach should be demonstrably compliant with legislation, national policies and objectives, English Heritage recommend using the ‘5-step process’ in order to assess the potential affects of a proposed development on the setting and significance of a heritage asset, with this 5-step process continued from the 2011 guidance:

1. Identification of heritage assets which are likely to be affected by proposals.
2. Assessment of whether and what contribution the setting makes to the significance of a heritage asset.
3. Assessing the effects of proposed development on the significance of a heritage asset.
4. Maximising enhancement and reduction of harm on the setting of heritage assets.
5. The final decision about the acceptability of proposals.

The guidance reiterates the NPPF in stating that where developments affecting the setting results in ‘substantial’ harm to significance, this harm can only be justified if the developments delivers substantial public benefit and that there is no other alternative (i.e. redesign or relocation).

Historic England Advice Note 1 (HEA1): Conservation Areas (February 2016)

This document forms revised guidance which sets out the ways to manage change in order to ensure that historic areas are conserved. In particular information is provided relating to conservation area designation, appraisal and management. Whilst this document emphasises that ‘*activities to conserve or invest need to be proportionate to the significance of the heritage assets affected,*’ it reiterates that the work carried out needs to provide sufficient information in order to understand the issues outlined in Paragraph 192 of the NPPF, relating to the assessment of any heritage assets that may be affected by proposals.

There are different types of special architectural and historic interest which contribute to the significance and character of a conservation area, leading to its designation. These include:

- Areas with a high number of nationally designated heritage assets and a variety of architectural styles and historic associations;
- Those linked to a particular industry or individual with a particular local interest;
- Where an earlier, historically significant, layout is visible in the modern street pattern;
- Where a particular style of architecture or traditional building materials predominate; and
- Areas designated because of the quality of the public realm or a spatial element, such as a design form or settlement pattern, green spaces which are an essential component of a wider historic area, and historic parks and gardens and other designed landscapes, including those included on the Historic England Register of parks and gardens of special historic interest.

Change is inevitable, however, this document provides guidance in respect of managing change in a way that conserves and enhances areas, through identifying potential within a conservation area. This can be achieved through historic characterisation studies, production of neighbourhood plans, confirmation of special interest and setting out of recommendations. Paragraph 127 of the NPPF states that ‘*when considering the designation of conservation areas, local planning authorities should ensure that an area justifies such status because of its special architectural or historic interest,*’ this document reiterates that this needs to be considered throughout this process.

Section 71 of the Planning (Listed Buildings and Conservations Area) Act 1990 places on LPAs the duty to produce proposals for the preservation and enhancement of conservation areas. This document provides guidance for the production of management plans, which can ‘*channel development pressure to conserve the special quality of the conservation area*’. These plans may provide polices on the protection of views, criteria for demolition, alterations and extensions, urban design strategy and development opportunities. Furthermore, it includes information relating to Article 4 Directions, which give the LPA the power to limit permitted development rights where it is deemed necessary to protect local amenity or the well-being of an area.

2.1 LEGISLATION, NATIONAL PLANNING POLICY AND GUIDANCE

Conservation Principles, Policies and Guidance (English Heritage, 2008)

Conservation Principles outlines English Heritage's approach to the sustainable management of the historic environment. While primarily intended to ensure consistency in English Heritage's own advice and guidance through the planning process, the document is commended to local authorities to ensure that all decisions about change affecting the historic environment are informed and sustainable.

This document was published in line with the philosophy of PPS5, yet remains relevant with that of the current policy regime in the emphasis placed upon the importance of understanding significance as a means to properly assess the effects of change to heritage assets. The guidance describes a range of heritage values which enable the significance of assets to be established systematically, with the four main 'heritage values' being: evidential, historical, aesthetic and communal. The Principles emphasise that 'considered change offers the potential to enhance and add value to places... it is the means by which each generation aspires to enrich the historic environment' (paragraph 25).

2.2 STRATEGIC AND LOCAL PLANNING POLICY AND GUIDANCE

Strategic Planning Policy

The London Plan (adopted July 2011 and revised March 2015)

On 22 July 2011 the Mayor of London published the London Plan which replaced the amended version of 2004. However, on 10 March 2015 the Mayor of London published the Further Alterations to the London Plan (FALP), which now replaces previously published versions of the London Plan. This remains as the strategic Development Plan for London.

Policy 7.8 'Heritage Assets and Archaeology' seeks to record, maintain and protect the city's heritage assets in order to utilise their potential within the community. Further to this it provides the relevant policy with regard development in historic environments. It requires that developments which have an affect upon heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

Policy 7.4 'Local Character' requires new developments to have regard to the local architectural character in terms of form, massing, function and orientation. This is supported by Policy 7.8 in its requiring local authorities in their policies, to seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy, as part of managing London's ability to accommodate change and regeneration.

Policy 7.6 'Architecture' stipulates that architecture should make a positive contribution to a coherent public realm, streetscape and wider cityscape. It should incorporate the highest quality materials and design appropriate to its context.

Essentially the London Plan encourages the enhancement of the historic environment and looks favourably upon developments which seek to maintain the setting of heritage assets.

Local Planning Policy

Many local planning policies (not only those for design and conservation) can affect development with regard to heritage assets. For instance policies on sustainable development, meeting housing needs, affordable housing, landscape, biodiversity, energy efficiency, transport, people with disabilities, employment and town centres can all have an influence on development and the quality of the environment. However, policies concerned with design quality and character generally take greater importance in areas concerning heritage assets. As aforementioned these policies, along with other matters, will figure in the on-going management of development in the given area.

The following adopted documents and policies are relevant in this case:

Camden Core Strategy 2010—2025 (November 2010)

The Camden Core Strategy was published in November 2010 and comprises a central document to the Local Development Framework Plan (LDF). It sets out the council's planning vision and strategy. This document presents an overview of key issues and options for the borough's future, these are then addressed in further detail within 'Development Policies', 'Camden Planning Guidance' and Conservation Area Statements, Appraisals and Management Plans.

CS14—Promoting High Quality Places and Conserving our Heritage

The Council will ensure that Camden's places and buildings are attractive, safe and easy to use by:

- a) requiring development of the highest standard of design that respects local context and character;
- b) preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens;
- c) promoting high quality landscaping and works to streets and public spaces;
- d) seeking the highest standards of access in all buildings and places and requiring schemes to be designed to be inclusive and accessible;
- e) protecting important views of St Paul's Cathedral and the Palace of Westminster from sites inside and outside the borough and protecting important local views.

Camden Development Policies 2010-2025 (November 2010)

"DP 24—Securing high quality design

The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- a) character, setting, context and the form and scale of neighbouring buildings;
- b) the character and proportions of the existing building, where alterations and extensions are proposed;
- c) the quality of materials to be used;
- d) the provision of visually interesting frontages at street level;
- e) the appropriate location for building services equipment;
- f) existing natural features, such as topography and trees;
- g) the provision of appropriate hard and soft landscaping including boundary treatments;
- h) the provision of appropriate amenity space; and
- i) accessibility

DP25—Conserving Camden's Heritage

Conservation areas

In order to maintain the character of Camden's conservation areas, the Council will:

- a) take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;
- b) only permit development within conservation areas that preserves and enhances the character and appearance of the area;
- c) prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention;
- d) not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area; and

2.2 STRATEGIC AND LOCAL PLANNING POLICY AND GUIDANCE

- e) preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden's architectural heritage.

Listed buildings

To preserve or enhance the borough's listed buildings, the Council will:

- e) prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention;
- f) only grant consent for a change of use or alterations and extensions to a listed building where it considers this would not cause harm to the special interest of the building; and
- g) not permit development that it considers would cause harm to the setting of a listed building.

Archaeology

The Council will protect remains of archaeological importance by ensuring acceptable measures are taken to preserve them and their setting, including physical preservation, where appropriate.

Other heritage assets

The Council will seek to protect other heritage assets including Parks and Gardens of Special Historic Interest and London Squares."

Local Planning Guidance

CPG 1 Design (Adopted April 2011, Amended September 2013)

To support the policies of Camden's LDF, Camden Planning Guidance (CPG) forms a Supplementary Planning Document (SPD), an additional "material consideration" in planning decisions, which is consistent with the adopted Core Strategy and the Development Policies. Following statutory consultation the Camden Planning Guidance documents (CPG1 to CPG8) replace Camden Planning Guidance 2006.

The Council formally adopted CPG1 Design on 6 April 2011, which was subsequently updated on 4 September 2013 following statutory consultation to include Section 12 on artworks, statues and memorials. This guidance applies to all applications which may affect any element of the historic environment and therefore may require planning permission or listed building consent.

With regard to proposed development within, or affecting the setting of, conservation areas in the Borough, Council will only grant permission that preserves and enhances the character and appearance of the area. When determining an application, guidance on such matters are set out in the Core Strategy Policy CS14 and Development Policy DP25, as well as that in conservation area statements, appraisals and management plans. Total or substantial demolition of a building or structure in a conservation area is deemed a criminal offence without first getting consent from the Council. Also, demolition would not normally be allowed without substantial justification, in accordance with criteria set out in the NPPF.

The document further provides guidance on 'extensions, alterations and conservatories' to residential properties. With regard to rear extensions the guidance outlines that rear extensions should be secondary to the building being extended. When determining an application, guidance on such matters are set out in the Core Strategy Policy CS14 and Development Policy DP24 (Securing high quality design).

Belsize Conservation Area Statement (April 2003)

The Belsize Park Conservation Area was first designated in 1973 and subsequently extended on a number of occasions, most recently in 2002. The Conservation Area designation is supported by the Belsize Conservation Area Statement, published in April 2003. The Belsize Conservation Area Statement describes the character of the area, provides an outline of the key issues and identifies development pressures.

The document further sets out the key policy framework to the Conservation Area and formulates specific guidance for it. The following guidelines are considered to be of relevance for the proposals assessed hereon in:

"New Development

BE19

New development should be seen as an opportunity to enhance the Conservation Area. All development should respect existing features such as building lines, roof lines, elevational design, and, where appropriate, architectural characteristics, detailing, profile and materials of adjoining buildings. Proposals should be guided by the UDP in terms of the appropriate uses and other matters such as density and parking standards.

BE20

The Belsize Conservation Area has a variety of building types, ages and styles. Modern development has not always taken account of the area's history and its context. Development which is overtly modern will not be resisted provided it respects the layout, height and scale of existing development within the Conservation Area.

Rear Extensions/Conservatories

BE21

Planning Permission is usually required for the erection of a rear extension or conservatory. However, modest single storey extensions to a single family dwelling may be exempt from permission under the General Permitted Development Order 1995 depending on the proposed volume & height. It is advisable to contact the Planning Service to confirm if this is the case.

BE22

Extensions and conservatories can alter the balance and harmony of a property or of a group of properties by insensitive scale, design or inappropriate materials. Some rear extensions, although not widely visible, so adversely affect the architectural integrity of the building to which they are attached that the character of the Conservation Area is prejudiced. Rear extensions should be as unobtrusive as possible and should not adversely affect the character of the building or the Conservation Area. In most cases such extensions should be no more than one storey in height but its effect on neighbouring properties and Conservation Area will be the basis of its suitability.

BE23

Extensions should be in harmony with the original form and character of the house and the historic pattern of extensions within the terrace or group of buildings. The acceptability of larger extensions depends on the particular site and circumstances.

BE24

The infilling of yards and rear spaces between buildings will generally be unacceptable.

BE25

In many locations there are views along rear elevations from adjoining streets. Rear extensions will not be acceptable where they would spoil a uniform rear elevation of an unspoilt terrace or group of buildings."

3.0 ARCHITECTURAL AND HISTORIC APPRAISAL

3.1 HISTORIC DEVELOPMENT OF THE SITE AND ITS SURROUNDINGS

The area around the development Site is broadly identified as Swiss Cottage, and sits between St John's Wood and the area formerly known as Portland Town, to the south, Kilburn to the west, Hampstead to the north, and Belsize Park and Chalk Farm to the east. The name 'Swiss Cottage' comes from the Swiss Tavern, a public house built in a mock-Alpine style, which opened in 1804; it was later renamed The Swiss Cottage, probably from the 1840s.

Prior to the Industrial Revolution the area surrounding the settlement of Hampstead was predominantly open land in agricultural use, with the land surrounding the Site split between two freeholders; the northern area acquired by the Dean & Chapter of Westminster at the beginning of the fourteenth century, and the area broadly to the south of what is now Lancaster Grove and Englands Lane was given to Eton College by Henry VI in 1449. During the reign of King Henry VIII the area broadly formed part of a large Chase or hunting ground and was occupied by scattered woodlands and fields with no more than a few manors in place, including Belsize House.

Upon enclosure, the area was broken up into a variety of estates, as it passed out of crown hands; The Eyre Estate (focused on St John's Wood), the Chalcots Estate, and the Belsize Estate fell under different ownerships in the eighteenth and early nineteenth centuries. The Belsize Estate was split into eight leasehold estates in 1807 and sold to four local men. This fragmentation of the lease and complicated tenure agreements lead to the subsequent piecemeal release of land for building, and proved to be a key determinant in the pattern of development in the area. Generally, however, there was little development pressure on any of this land prior to the 1850s, as it continued to sit beyond the edges of urbanised London. As a result, isolated pockets of development occurred in a piecemeal fashion with the first area of mansions, lodges, villas and terraces being laid out in the Haverstock Hill area by 1826, to an extent setting the tone for development in the area.

Similarly, Eton College, the owners of the Chalcots Estate, and the Eyre family, made early attempts to generate development. The latter laid out Finchley Road and Avenue Road in 1826, following the passing of the Finchley Road Act, while Eton laid out Adelaide Road in 1830. It was their ownership, and their desire to create housing around Adelaide Road, that led to the driving of the London and Birmingham Railway through a tunnel when it arrived in 1837; its elaborate castellated, quasi-classical portals were a sop to Eton's need to retain this area's attractiveness to potential residents. In 1842, Primrose Hill, to the south, was made a public park by an Act of Parliament, linking it to Regents Park, which had existed from 1811, and the area's potential for development thus grew further.



Figure 5: The corner of Avenue Road with Eton Avenue, 1912.



Figure 6: View along Belsize Park Gardens in 1906. This road lies to the north of the Site.

Despite these advances, housing remained sparse and mainly consisted of scattered country houses set amongst parkland, however, the mid-nineteenth century saw a new wave of enthusiasm. The Eyre Estate signed a series of building agreements between 1838 and 1845, and a spate of new developments emerged in the 1840s and 1850s as a result. Belsize Park was also first laid out around this time, as the demolition of Belsize House in 1853 led to the laying out of an exclusive estate, arranged around a square and a church.

Reflecting the emergence of this area as a residential district, and encouraging its growth further, Swiss Cottage underground station opened in 1868, when the Metropolitan Line opened a station at the junction of Finchley Road and Avenue Road. By 1870 part of Fellows Road had been laid out and developed with some 40 grey brick houses with unusually high basements and in pairs but very close together, starting from the eastern end and up to Primrose Hill Road. Further houses were built here between 1873 and 1878 and by the end of the 1870s almost half of Fellows Road was completed. During the 1880s Fellows Road was extended westwards to meet Winchester Road and in 1881 William Willett the elder made a building agreement with Eton for the north-western 15 acres of the estate, where he undertook to erect 200 houses by 1900, reduced in 1885 to 140 houses, shops, and stables. Whilst Willett did not complete this number, he was responsible for 37 houses in Fellows Road in 1882-5 and many others on Eton Avenue, Strathray Road and Adamson Road. As such, William Willett and Son became the principal developers in the area immediately surrounding the Site itself. Willett's red brick houses were popular at the time and the earlier ones were designed by H. B. Measures with those after 1891 by A. F. Faulkner, the firm's own architects. By the time William Willett the elder retired in 1903 the firm had built more than 100 houses, and by 1913 building was complete throughout the Chalcots estate, dominated by detached or semi-detached houses in large gardens, laid out along curving roads; this pattern remains to a large extent, despite later developments.

The development of the area continued in a similar manner until the start of the twentieth century, when a decline in the market for larger houses saw a new emphasis on the development of smaller terraced houses and mansion flats, particularly around public transport links. Further development took place throughout the century in the form of replacement and infill development with residential flats and terraces. The original Metropolitan Line Station of 1868 was replaced, in 1939, by a new and adjacent station.

3.2 HISTORIC MAP APPRAISAL

The following historic map progression serves to visually illustrate the historic development of the Site and its immediate surroundings from the mid-eighteenth century to present day.

John Rocque's map of Middlesex, 1757, (Figure 7) illustrates that, as discussed above, the Site and its surroundings was entirely rural in character at this time, lying on the northern outskirts of the City of London. The substantial grounds of Belsize House can be made out to the northeast of the Site location, however, the vast majority of the land is defined by open fields.

Stanford's Library Map Of London And Its Suburbs 1864 (Figure 8) shows the limited extent to which the area had developed by this date. Development was focused along Finchley Road, Avenue Road, Adelaide Road and part of the Belsize Estate to the north of the Site. The western section of Fellows Road had not been laid out by this date and thus the Site continues to lie within open fields. The OS map of 1871-75 (Figure 9) illustrates that some ten years later the area broadly remained the same; Fellows Road had not yet been extended westwards to meet Winchester Road and further development was broadly limited to piecemeal infill and road extensions.



Figure 7: John Rocque's Map of Middlesex, 1757, showing the entirely rural nature of this area at this point. The broad location of the development site is indicated by a red circle.

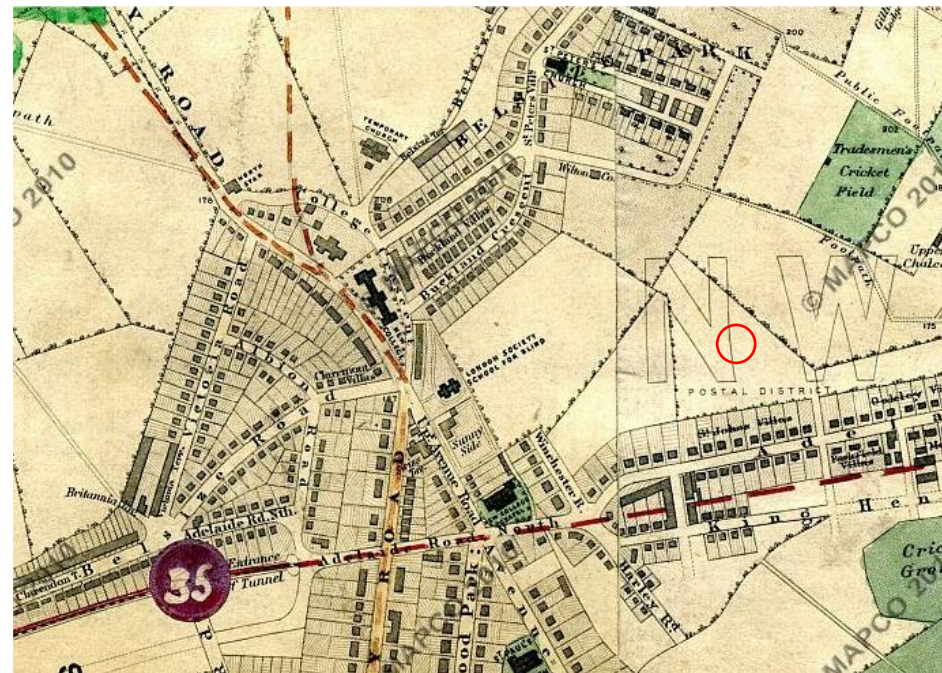


Figure 8: Stanford's Library Map Of London And Its Suburbs 1864, which shows the limited extent to which Swiss Cottage and South Hampstead had developed, even at this point. Development was focused along Finchley and Avenue Road, Adelaide Road and part of the Belsize Estate. Fellows Road had not yet been laid out by this date. (Source: Mapco)

The OS map of 1896 (Figure 10) shows that by the end of the nineteenth century the area had developed dramatically, with additional residential roads laid out in the previously unoccupied area of land immediately surrounding the Site. Fellows Road had been extended westwards by this date and the existing pair of houses, Nos. 86 and 88, are shown to occupy the Site. Whilst the surrounding streets are largely occupied by houses, a sizeable Saw Mill is indicated at the corner of Eton Avenue and Lancaster Road to the northeast of the Site. By 1915-16 (Figure 11) the Site remains unchanged but additional large houses have been laid out on the north side of Eton Avenue and Lancaster Road, with the earlier Saw Mill no longer being shown. Similarly, the OS map of 1932-35 (Figure 12) shows the Site as unchanged. Further development on Eton Avenue, including Eton Court and a Fire Station are also illustrated.

The OS map of 1954-55 (Figure 13) illustrates minor changes to the buildings within the Site itself. Among these are the indication of the steps which lead to their front doors and the identification of structures at the rear of the buildings, close to the side elevations. These appear similar to the front steps and, given that there are no identifiable masonry marks at the rear of the building (following the site visit in January 2016), it is likely that these structures were external metal staircases which

led from the upper ground floor doors to the lower ground floor rear gardens. The OS map of 1960-69 (Figure 14) shows an additional change to No. 86; a rear outbuilding which projects into the garden is identified as adjoining the boundary with No. 88. This map further shows Godolphin House, a block of 4 to 5-storey flats built in the early 1960s, to the east of the Site, replacing earlier houses.

The OS map of 1978-90 shows the Site as unchanged with the exception of a substation which is indicated at the northern end of the rear garden to No. 86. The southern side of Fellows Road had also undergone considerable change by this time through the construction of the substantial Chalcots Estate between the mid-1960s and the 1970s. The estate introduces a distinct late-twentieth century character to the street and includes four tower blocks of up to 23-storeys.

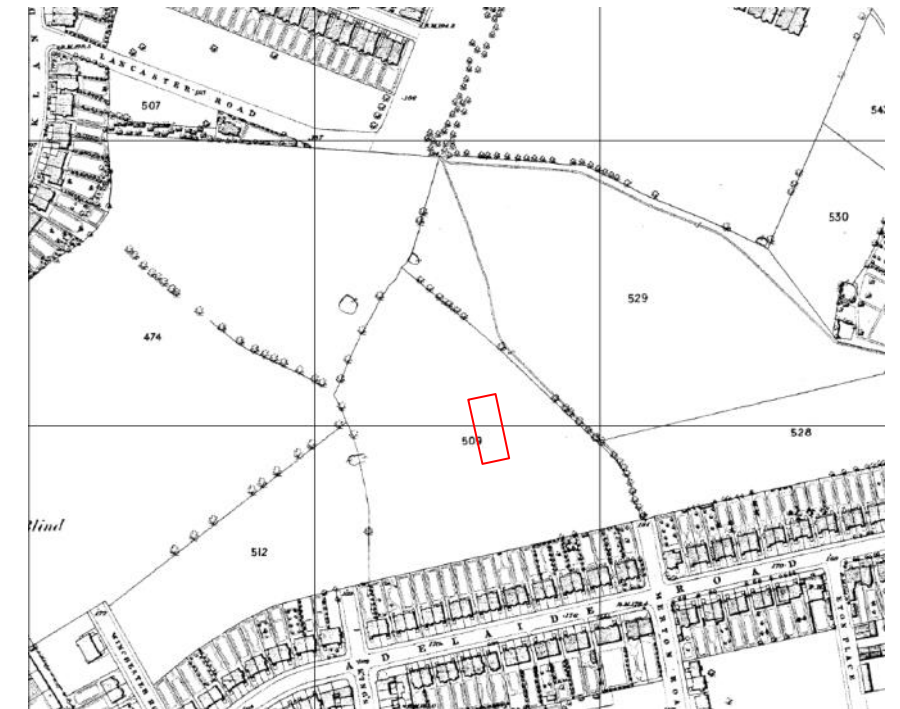


Figure 9: OS map of 1871-75, scale 1:2,500 (Source: Landmark)

3.2 HISTORIC MAP APPRAISAL



Figure 10: OS map of 1896, scale 1:2,500 (Source: Landmark)



Figure 12: OS map of 1932-35, scale 1:2500 (Source: Landmark)



Figure 14: OS map of 1960-69, scale 1:1250 (Source: Landmark)



Figure 11: OS map of 1915-16, scale 1:2500 (Source: Landmark)



Figure 13: OS map of 1954-55, scale 1:2500 (Source: Landmark)

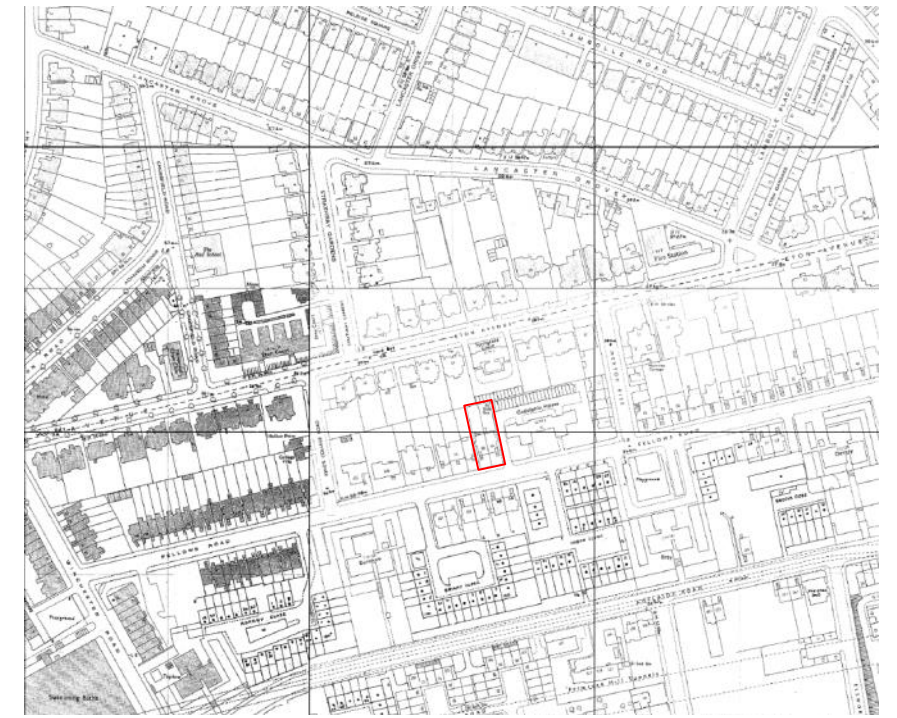


Figure 15: OS map of 1978-90, scale 1:1250 (Source: Landmark)

3.3 SITE ASSESSMENT

Location

The Site lies on the northern side of Fellows Road which forms the southern boundary of the Belsize Park Conservation Area, an assessment of which is provided in the following section. The Site is located within close proximity to Swiss Cottage to the west, Chalk Farm to the east, Belsize Park to the north and Primrose Hill and Regents Park to the south.

Fellows Road is a wide residential street, lined by trees on both sides with buildings set back from the roadside behind low brick boundary walls, hedges and fences. The north side of the road, which is included within the Belsize Park Conservation Area, is characterised by a mix of late-Victorian red and brown brick houses of 4 to 5-storeys in a variety of architectural styles, largely laid out in pairs to form a consistent building line with only small gaps between each pair. The properties on the north side of the road have small front gardens and are set back from the road behind low red brick walls and hedges. The buildings are further characterised by their large rear gardens which are generally divided by relatively low brick walls, fences and hedges. A number of the properties on the north side of Fellows Road have been extended to the rear, including No. 90-92 to the immediate west of the Site, which has a rear extension with a balcony at upper ground floor level that overlooks the back garden.

The 1960s Godolphin House, situated immediately to the east of the Site itself and of 4 to 5-storeys, forms an exception to the Victorian character of the north side of the road. The brick clad block is set back from both the road and the Site's eastern boundary and is set behind a large front garden with hard landscaping and garages located to the rear. The southern side of Fellows Road is of an entirely different character to the prevailing Victorian character of the north side. It is defined by the 1960s/70s Chalcots Estate buildings, comprising a mix of blocks of 3-storey flats interspersed by tower blocks of up to 23-storeys. Fewer trees line this side of the road and the street frontage is largely characterised by hard landscaping and off-street parking. The southern side of Fellows Road is not included within the Belsize Park Conservation Area.

The Site: Main façade

The Site itself contains two symmetrical late Victorian semi-detached houses, built in the late 1880s/early 1890s. The building is of 4-storeys with attic space and has previously been sub-divided into ten residential flats. The houses are set back from the road behind a low red brick wall and the principal upper ground floor of each is accessed via a set of steps that leads to a recessed entrance on the outer sides of each house. The central two bays of the



Figure 16: Main (south) façade of Nos. 86 (right) and 88 (left) Fellows Road.



Figure 17: The east elevation of No. 86 Fellows Road showing the modern rendered side extension.

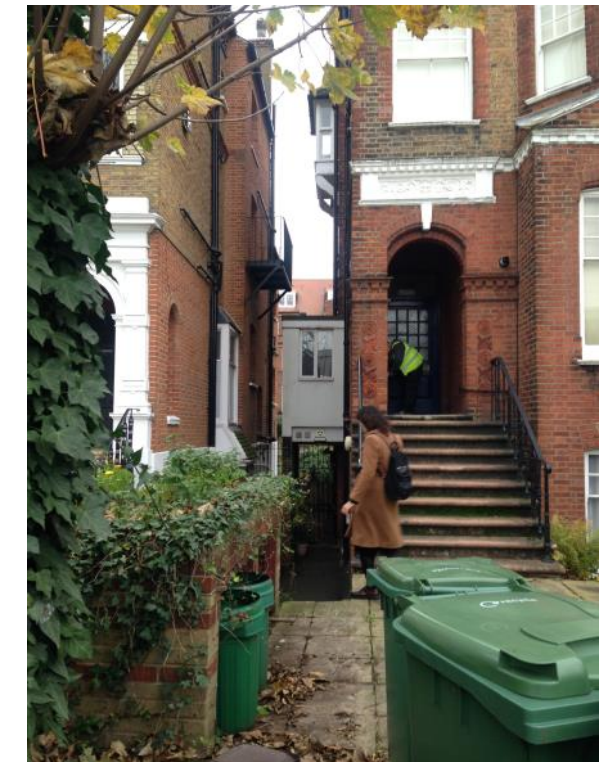


Figure 18: View of the upper ground floor entrance to No. 88. Note the overhanging modern side extension blocking glimpsed views through to the listed property of Eton Avenue.



Figure 19: View east along Fellows Road showing the Site in relation to its surroundings, located between late Victorian properties to the west and the 1960s Godolphin House to the east.



Figure 20: The late twentieth century Chalcots Estate buildings located on the south side of Fellows Road, opposite the Site.

3.3 SITE ASSESSMENT

building are defined by a projecting bay window which extends from the lower ground floor to the first floor. The building is of red brick to the upper ground floor and bay window of the first floor, and of brown brick to the remainder of the first floor and the second floor. The roof is hipped with a tall central brick chimney stack. No. 88 has a tiled roof whilst No. 86 is slate. Both houses have large dormer windows although they are different in style, with the dormer of No. 88 looking to be a later replacement. At lower ground, upper ground and first floor the window openings are arched with red brick dressings. The windows themselves are timber vertical sliding sash windows painted white with plain glazing in the lower half and timber glazing bars above, typical of the era. The central window of the upper ground floor forms an exception and is arched, picking up on the flanking arched entrance ways. The windows at the second floor are proportionately smaller and more simple in design than those below, topped by white timber lintels. The principal upper ground floor is the most architecturally decorative; a white painted brick and moulded string course separates the upper ground and first floors with white decorative mouldings centred above the arched entrances and beneath the first floor windows. An additional red brick string course and mouldings frame the entrance porches which lead to recessed timber doors.

Side elevations

The building's side elevations are red brick and there are few window openings. The white painted brick string course from the main façade above the upper ground floor extends round the sides of each house but does not fully extend to the rear. A small projecting flat roofed extension rendered and painted in white, is included at upper ground floor level near the rear on the sides of both houses, overhanging the side passages which lead to the rear gardens. Whilst these side extensions are shown as part of the plan form of the building within the historic mapping (Figures 10-15, page 12), they are clearly later replacements and of no architectural merit. Similarly, at second floor level a protruding white timber window box is also located near on both of the building's side elevations near the rear. Two additional red brick chimney stacks are also included on the side elevation of No. 86.

Rear elevation

The rear elevation of the two houses draws upon the architectural treatment of the main façade. As with the front of the building, the lower and upper ground floors are constructed of red brick with the first and second floor built out in brown brick. The architectural treatment of the first and second floors of the rear elevation are identical on both No. 86 and No. 88 and are described as follows. Two large dormer

windows punctuate the roof and are of a similar style to those on the front of the building. The second floor windows are of a simple rectangular design with horizontal timber lintels, whereas those on the first floor are arched with red brick dressings and window frames that match those on the front of the building.

Whilst broadly similar, the upper and lower ground floor rear elevations of Nos. 86 and 88 have some architectural differences and these are largely related to window treatment and materials. At upper ground floor level the central two bays on both houses project from the main host building and the lower ground floor falls in line with this projection, leading to the creation of two small balconies at upper ground floor level near the corners of each of the houses. These are each accessed by a pair of white painted timber doors. The central bays are each occupied by a large arched window of 3 bays with vertical sliding sash windows in the lower portion. The only difference between the rear elevational treatment of the upper ground floor on both buildings is that the wall of the main building where the balcony door is located on No. 88 is rendered and painted white.



Figure 21: View of the rear elevation of the Site.



Figure 22: The rear elevation of No. 86.



Figure 23: Detail showing the white painted brick section on the lower ground floor of No. 86 where there was once an extension.



Figure 24: Detail of No. 86 showing the projecting lower ground floor and balcony at upper ground floor level.

3.3 SITE ASSESSMENT

There are further differences between the two houses on the rear elevations of the lower ground floor level. At No. 86 the lower ground floor is of red brick with a 2 bay window situated beneath the upper ground floor balcony and a 3 bay window within the central bay and of shallower proportions to the one above. These windows both have arched red brick lintels and a white painted timber vertical sliding sash windows, in character of the rest of the house. Part of the lower ground floor rear wall of No. 86 which adjoins the boundary wall between No. 88 and includes part of the wall beneath the central window, has been roughly painted white and the remains of a previous structure can be seen still attached to the brickwork (see Figure 23). This indicates the earlier rear extension identified in Figures 14 and 15 (page 12) which projected further into the rear garden.

The lower ground floor of No. 88 differs from that of No. 86. Similarly to the upper ground floor, the lower ground floor is partly rendered and painted white (Figure 28). The key difference, however, is that access to the rear garden is provided via a set of French doors in the central bay (Figure 26). The simplified and bulkier treatment of the timber framing here suggests that this is a later insertion and at some point the opening was increased to provide a doorway.

Both houses are set within large rear gardens which are both heavily planted with bushes, hedges and deciduous trees which largely screen views towards the Grade II listed No. 43 and No. 45 Eton Avenue, located to the north. The rear gardens of No. 86 and No. 88 Fellows Road are separated by a medium height red brick wall which is largely covered in foliage on both sides.

The eastern boundary of the Site is defined by a low red brick wall topped with a low quality timber fence. This boundary adjoins the hard landscaped car parking area to the rear of Godolphin House. The western Site boundary is similarly defined by a low red brick boundary wall, allowing views across the rear gardens of the adjoining properties to the west which are similarly separated by low boundaries.

Planning History

In recent years a number of planning applications have been submitted for the rear extension of the Site. Following an earlier refused scheme, in 2007 planning permission was granted for a part single-storey, part two-storey rear extension at lower and upper ground floor levels (2007/3684/P). This permission was renewed in 2010 (2010/1522/P). Figure 30 and 31 (overleaf) illustrates the rear (north) elevation and east elevation of the 2007 consented scheme, the planning permission for which was renewed in 2010.



Figure 25: View of the rear elevation of the building from the garden of No. 88.



Figure 26: Detail of the rear door at lower ground floor level at No. 88. The treatment of the windows indicates that this opening was once a window that matched No. 86 (see Figure 22) but was extending to create a door.



Figure 27: Detail showing the rendered treatment of part of the lower and upper ground floor of No. 88.



Figure 28: The rear lower and ground floor elevation of No. 88. The key differences to No. 86 are the use of render and the insertion of a door at lower ground level.



Figure 29: View towards the properties on Eton Avenue, including the Grade II listed Nos. 43 and No. 45 (both left of the tree) from the rear garden of No. 86, showing the limited inter-visibility.

3.3 SITE ASSESSMENT

The delegated report for the original permission in 2007 outlined that the depth of the extension was acceptable in relation to the surrounding development and the generous rear garden. Further noting that the form of the extension and material choice was sympathetic to the original building and drew on original characteristics to ensure that the works would preserve the character of the building, and character and appearance of the conservation area. Upon renewal of the consent in 2010, the delegated report considered that the scheme remained acceptable in terms of the principle of development, impact on conservation area and design.

The planning history of the Site thus establishes that whilst the Site is in a sensitive location, development is acceptable so long as it utilises high quality design and respects the local residential amenity.



Figure 30: Consented rear (north) elevation. This scheme was consented in 2007 and the consent was renewed in 2010.

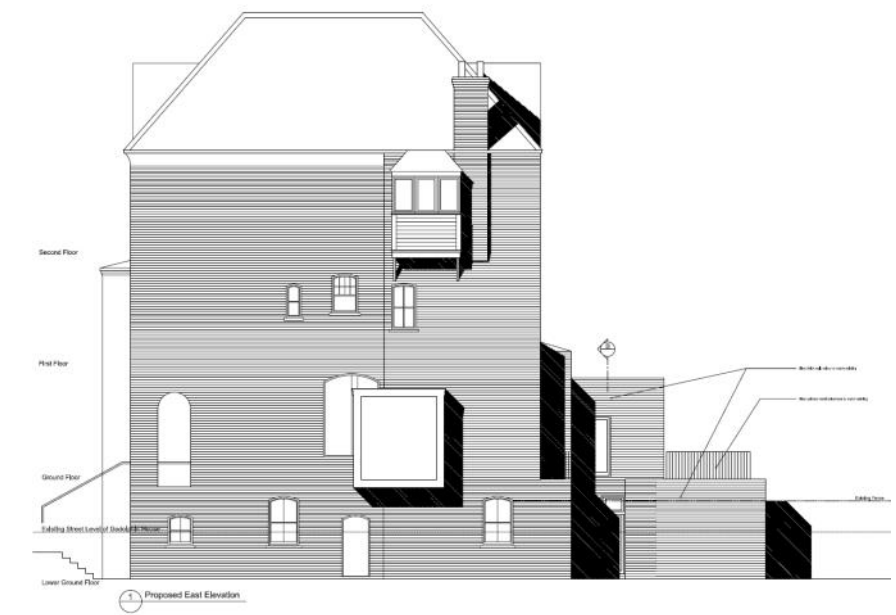


Figure 31: Consented east elevation (side elevation of No. 86) illustrating the projection and arrangement of the rear extension. This scheme was consented in 2007 and the consent was renewed in 2010.

3.4 IDENTIFICATION OF HERITAGE ASSETS

The Site lies within the Belsize Park Conservation Area and Fellows Road itself forms the southern boundary to the Conservation Area. An assessment of the character and appearance of the Belsize Park Conservation Area and the contribution that the Site makes to this, is provided in the following section.

The building within the Site is not statutorily listed, however, it is identified within the Belsize Conservation Area Statement as making a positive contribution to the special character and appearance of the area.

As identified within Figure 32, there are a number of statutorily listed buildings located to the north of the Site on Eton Avenue. Those within close proximity are No. 43 Eton Avenue (Grade II, Figure 34) and No. 45 Eton Avenue (Grade II, Figure 35), situated to the rear of the Site and to the west of the Springfield Court, a 1950s apartment block. These large Grade II listed detached houses are of a similar style, designed by Harry Measures and built by William Willett & Son c. 1890. Despite their proximity, inter-visibility between the listed buildings and the Site itself is considerable limited, largely due to the screening provided the existing planting within the rear gardens of the Site, as shown within Figure 33. Furthermore, views towards the Site from the gap between No. 43 Eton Avenue and the 1950s Springfield Court are limited to the first, second and third storeys of the Nos. 86 and 88 Fellows Road (see Figure 36). The lower ground and upper ground floors are not appreciable within this view due to the screening provided by the existing garages to the rear of Springfield Court and planting with the rear garden of the Site. Given the limited inter-visibility between the Site and the listed buildings, particularly with regard to the lower and upper ground floors of the Site, it is considered that the proposed rear extension of the building would be largely unappreciable from the listed buildings and thus not have an adverse impact on their settings. As such, No. 43 and No. 45 Eton Avenue have been scoped out from further assessment.

The following section provides an assessment of the character and appearance of the Belsize Park Conservation Area and the contribution that the Site itself makes to this.



Figure 32: Map of the extent of the Belsize Park Conservation Area.



Figure 33: View towards the Grade II listed No. 43 and No. 45 Eton Avenue from the rear garden of No. 88 Fellows Road. The view is largely obscured by existing trees and planting which provide year round screening.



Figure 34: No. 43 Eton Avenue (Grade II).



Figure 35: No. 45 Eton Avenue (Grade II).



Figure 36: View towards the Site from the gap between No. 43 Eton Avenue and Springfield Court. The lower and upper ground floors of the building and screened from view.

3.5 ASSESSMENT OF HERITAGE ASSETS: BELSIZE PARK CONSERVATION AREA

The Belsize Park Conservation Area was first designated in 1973, centred around Belsize Park, Belsize Park Gardens and Belsize Village. It was subsequently extended on a number of occasions, most recently in 2002. The Conservation Area designation is supported by the Belsize Conservation Area Statement, published by Camden Council in April 2003. Based on this document and a site appraisal, undertaken in January 2016, the following provides a summary of the character and appearance of the Conservation Area.

From the mid nineteenth century, development of the Belsize area established the architectural character of Italianate villas which has largely come to represent the character of the Conservation Area today. The Conservation Area is divided into six different Sub Areas and the Site itself is located within Sub Area 3 which covers the Eton Avenue area and includes Strathray Gardens, the southern end of Lancaster Grove, Lambolle Road, Lambolle Place, Eton and Lancaster Garages and Fellows Road.

Across Sub Area 3 there is a consistent character of late Victorian housing, with some areas of smaller scale, Edwardian housing, built on land mostly owned by Eton College (part of the former Chalcots Estate). The general character of this sub-area is largely formed by streets with consistent building lines and only small gaps between the buildings. Houses are set back within their plots behind front gardens with boundary walls defining the edge of the properties along the street. The properties in this area are notable for their varied styles and elevational treatment, however, there is a general consistency across materials with red brick and tiled roofs being a recurrent theme.

Fellows Road marks the southern edge of the Conservation Area, with the northern side of the road included within the designation and the southern side largely falling outside of the Conservation Area boundary. The northern side of Fellows Road relates to the character of the wider Conservation Area and is defined by groups of large Victorian houses of 3 to 5-storeys. A number of different buildings types and styles are situated on the northern side of Fellows Road, reflecting numerous building periods of development, however, the repeated use of yellow brick with red brick detailing, red brick with red clay tiled roofs and a pale London stock brick with stucco/painted stone detailing, helps to create a coherent and visually interesting streetscape. The buildings are set back from the road behind low boundary walls and front gardens. Fellows Road itself is lined by tall trees which contribute towards the character of the street through forming a consistent frontage.



Figure 37: Map of the extent of the Belsize Park Conservation Area.



Figure 38: View along Eton Avenue.

Godolphin House (Nos. 76-84), adjacent to the Site (Nos. 86-88), forms an exception to the Victorian character of Fellows Road. The building is a 5-storey 1960s block set back from the roadside in line with the adjacent properties and largely screened by the mature trees that line the road. Despite the building's distinctly different architectural style, the council's Conservation Area Statement notes that it: *"relates successfully to the existing buildings in terms of set back building line, height and bulk."*

Whilst the Victorian houses on the northern side of the road have a character which relates to the wider Conservation Area, the character of the street as a whole is altered by the substantial 1960s Chalcots Estate to the south, and which is not included within the designated boundary. The Chalcots Estate includes solid frontages of low quality 3-storey residential blocks set back from the road behind hard landscaping and off-street car parking, interspersed with four 23-storey tower blocks, thus grounding the Conservation Area, and in particular Fellows Road, within a wider more modern townscape character.

The Site, Nos. 86-88 Fellows Road, is identified within the Conservation Area Statement as making a positive contribution to the Conservation Area, forming an attractive group of Victorian buildings with Nos. 90-100. The Conservation Area Statement states that: *"Nos. 86-100 are a group of Victorian dwellings of an eclectic style showing slight Arts and Crafts style mixed with Italianate influence consistent in their frontage walling and the use of red brick. These are seen together with the corner detached house No. 102 which faces Kings College Road."* Attractive views of this group of buildings are afforded along Fellows Road in both directions. There are also glimpsed views between the buildings gaps, in particular the larger gap between No. 86 and Godolphin House, towards the rears of the large detached properties on Eton Avenue, including the Grade II listed No. 43 and No. 45. These glimpses serve to visually connect Fellows Road with the wider Conservation Area.

The main contribution of the Site to the character and appearance of the Conservation Area is thus principally derived from the building's main façade and its contribution to the street scene. The Site further holds group value with the adjacent Victorian buildings.

The Victorian buildings on the north side of Fellows Road are set within sizeable plots and each have long rear gardens. These are largely unappreciable from Fellows Road and views towards the rear gardens are limited to glimpses between the buildings. This has resulted in rear gardens that are generally private spaces and largely unappreciable from the

3.5 ASSESSMENT OF HERITAGE ASSETS: BELSIZE PARK CONSERVATION AREA

surrounding streets. Alterations and extensions to the buildings have largely been avoided on the main facades, ensuring that the Victorian character and appearance of the street frontage has remained largely unaltered. A number of the properties have been extended to the rear however, at both lower ground and upper ground floor, both historically and more recently. The Belsize Park Conservation Area Statement provides guidance on the treatment of rear extensions within the Conservation Area. The document states the following:

“Rear extensions should be as unobtrusive as possible and should not adversely affect the character of the building or the Conservation Area. In most cases such extensions should be no more than one storey in height but its effect on neighbouring properties and Conservation Area will be the basis of its suitability.”

Extensions should be in harmony with the original form and character of the house and the historic pattern of extensions within the terrace or group of buildings. The acceptability of larger extensions depends on the particular site and circumstances.”

Rear extensions to the buildings on Fellows Road include those at No. 26, No. 100 and No. 90 Fellows Road which is adjacent to the Site to the west. Each of these extensions are generally different in terms of architectural style and design but they largely respond to the architectural character of the host building to ensure that they do not adversely impact upon the character and appearance of the Conservation Area.



Figure 39: Part of the late twentieth century Chalcots Estate situated on the south side of Fellows Road, outside of the Conservation Area. These buildings have an impact upon the setting of the Conservation Area, grounding it within a modern built context.



Figure 40: Fellows Road, showing the Victorian buildings (including the Site) and the 1960s Godolphin House within the Conservation Area. The tall mature trees, wide road and set-back building line of the properties contribute towards the character of the Conservation Area.



Figure 41: View from the rear garden of the Site looking west across the back gardens of the Fellows Road properties, located within the Conservation Area.



Figure 42: Eton Court, a substantial 6-storey residential block built in the late 1920s/early 1930s.

4.0 PROPOSALS AND ASSESSMENT OF IMPACT

4.1 PROPOSALS

A description of the proposed scheme is provided below. The following section then provides an assessment of the proposals in terms of their impact upon the character and appearance of the Belsize Park Conservation Area.

Proposed Scheme Description

The proposed development comprises the erection of a part-single storey, part-two storey rear extension at lower and upper ground floor levels, to extend the existing residential units to provide one x 2 bed and three x 3 bed flats, plus the creation of 2 roof terraces and a green roof. The proposals further include the internal reconfiguration of the walls of the lower and upper ground floors to provide improved accommodation. The existing front elevation of the building will remain unaltered with the proposed works principally confined to the rear of the building. A minor alteration is proposed to the side (east) elevation of No. 86 to provide a new small window within the porch to enable additional light to the upper ground floor flat.

At lower ground floor level the proposal would extend from the east and west sides of the building into the rear garden and forming a continuous building line. The upper ground floor level would not project as far as the lower ground floor, allowing for the creation of two balconies which lead from the central bays and green roofs above the outside bays. The central part of the upper ground floor would be both taller and project further from the host building than the two flanking elements. Flat roofs are proposed on all parts of the proposed extension.

The appearance of the proposed extension has been designed to complement the host building. It would be constructed in red brick to match the existing treatment and with simplified details to draw upon the architectural detailing of the host building whilst remaining subservient. This includes the use of horizontal brick lintels above the windows, rather than creating arched openings. The proposal further includes a brick string course at parapet level on both the lower and upper ground floors. This would match the existing brick string course that follows the existing upper ground floor parapet.

New windows and doors to the rear extension are proposed to be aluminium with a white coating to match the appearance of the existing timber framed windows. Proposed windows that are larger than a single bay would be divided to draw upon the traditional mullion and transom detailing of the original windows.

The proposed scheme would further seek to remove the existing small late twentieth century western extension at upper ground floor level which overhangs the passageway between No. 88 and No. 90.



Figure 43: Proposed rear (south) elevation of Nos. 86 and 88 Fellows Road.

4.0 PROPOSALS AND ASSESSMENT OF IMPACT

4.1 PROPOSALS



Figure 44: Proposed west elevation.

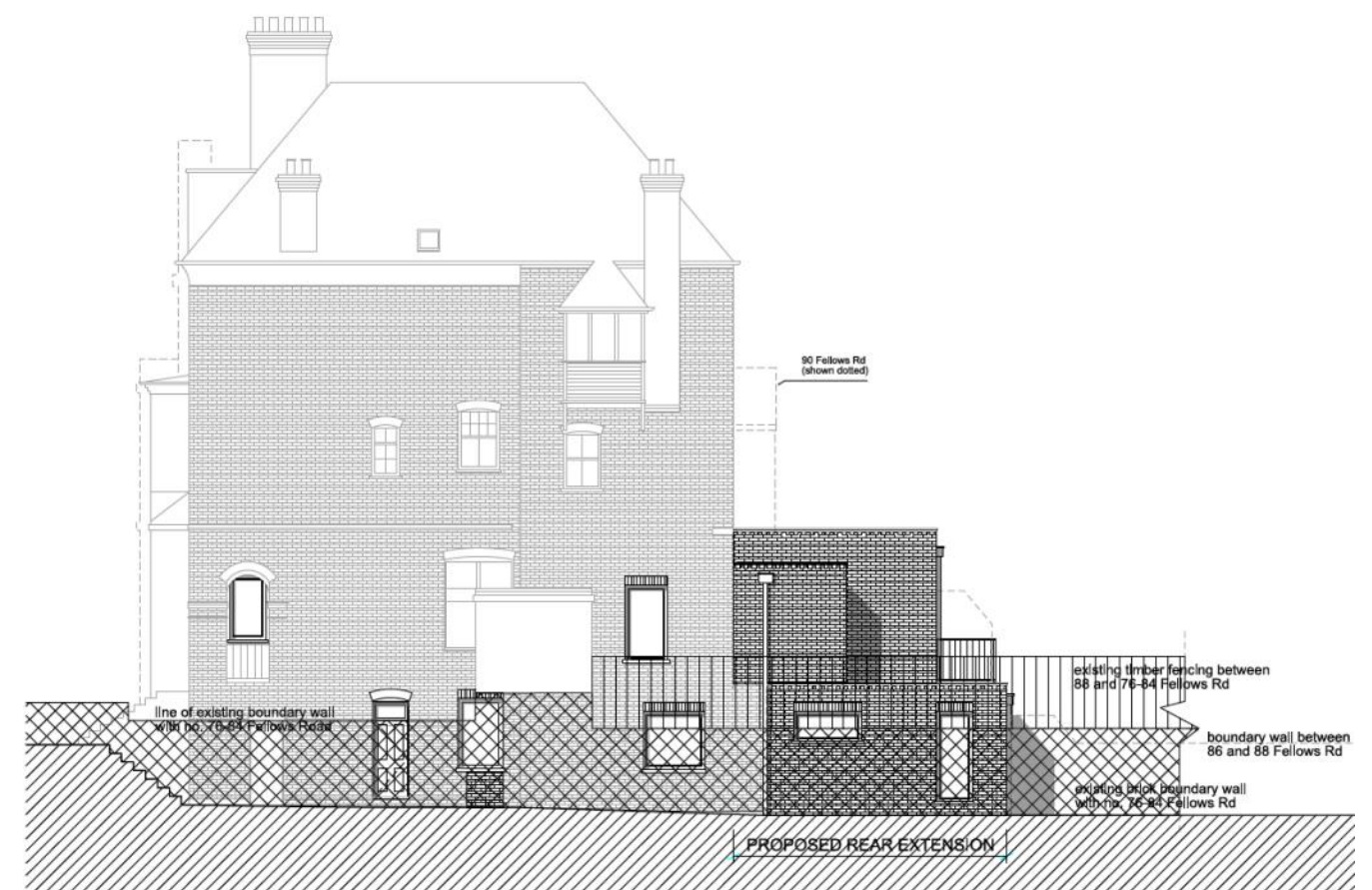


Figure 45: Proposed east elevation.

4.2 ASSESSMENT OF IMPACT

As discussed above, the proposed scheme comprises a new rear extension at lower and upper ground floor level to Nos. 86 and 88 Fellows Road. The building lies within the Belsize Park Conservation Area and has been identified within the council's adopted Conservation Area Statement as a positive contributor to the special character and appearance of the area.

The council's adopted Belsize Park Conservation Area Statement states that: "New development should be seen as an opportunity to enhance the Conservation Area. All development should respect existing features such as building lines, roof lines, elevational design, and, where appropriate, architectural characteristics, detailing, profile and materials of adjoining buildings"; further outlining that "Extensions should be in harmony with the original form and character of the house."

It is considered that the proposed rear extension has been sensitively designed to ensure that it would not adversely impact upon the character of Nos. 86 and 88 Fellows Road or the character and appearance of the Conservation Area. The approach to the design of the proposed extension has been informed by and builds upon the consented 2007/renewed 2010 scheme.

The approach to the massing, scale and arrangement of the proposed extension draws upon the existing treatment of the building, through extending the lower ground floor to a uniform depth and setting the proposed extension of the upper ground floor back from this. The proposed massing of the upper ground floor has been further broken down to ensure that the east and west elements are proportionately smaller to the central bays, both in terms of depth and height, thus again drawing upon the existing treatment of the rear elevation to respect existing building lines. This approach would ensure that the proposed extension remains subservient to the host building and would not appear overly dominant. Furthermore, the scale of the proposed extension ensures that it would not extend too far or appear overly dominant within the rear garden, thus ensuring that it would not adversely impact upon views across the rear gardens from the neighbouring buildings, or upon the character and appearance of the Conservation Area.

Architecturally, the extension has been carefully designed to ensure that it respects the character of the host building whilst remaining subservient. This includes the use of red brick to match the treatment of the existing rear lower and upper ground floor, ensuring a clear visual distinction between the proposed extension and the host building. The arrangement and proportions of the proposed new windows further draws upon the treatment of the

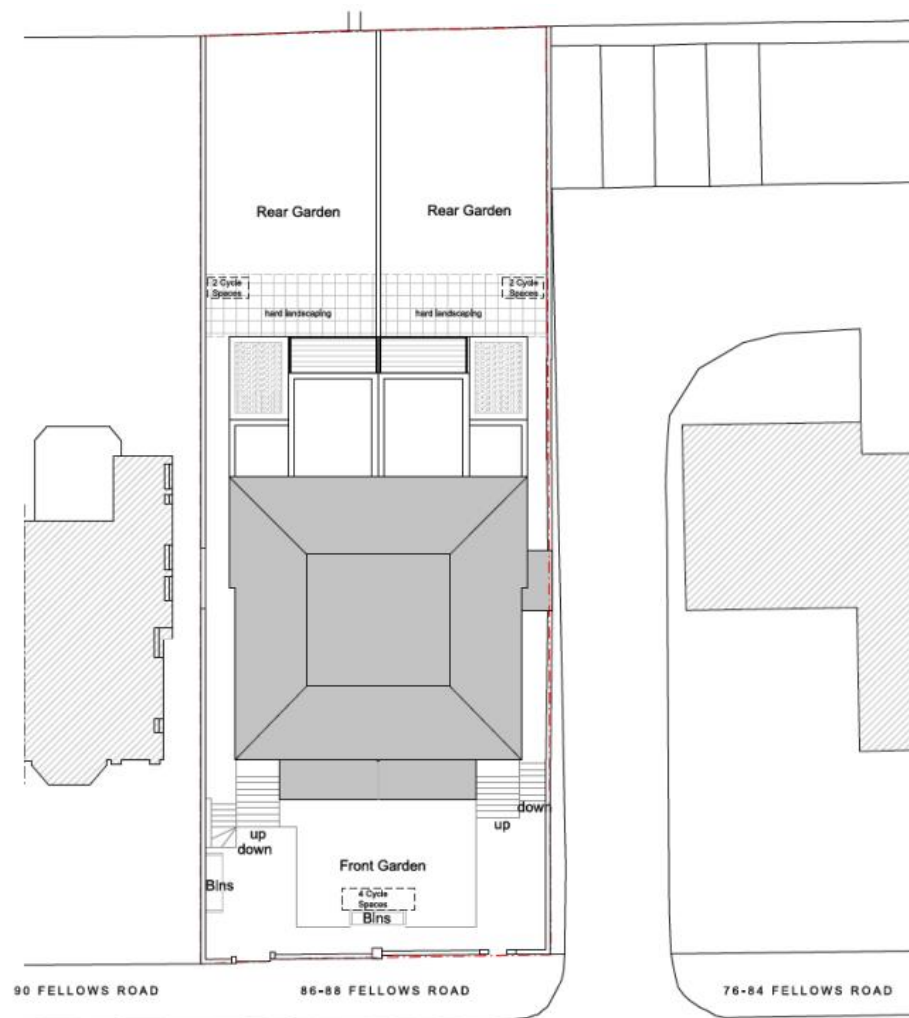


Figure 46: Proposed Site plan showing the extent of the proposed extension.

original windows above, ensuring a well balanced solid to void ratio that has been informed by the host building, thus respecting the elevational design of the original building. This would ensure that, whilst modern and honest, the proposed extension would not visually compete with the traditional character of the host building. In addition, the proposed new windows and doors would be aluminium with a white coating and glazing divisions would be adopted in the larger openings. Such an approach echoes both the division and colour of the original windows above, thus drawing upon the traditional character of the host building whilst remaining modern and subservient through the use of modern materials and simplified divisions.

Further architectural detailing including the use of simple horizontal brick lintels above the proposed new window and door openings further draws upon the character of the host building and in particular the arched brick lintels of the original window openings. The use of horizontal brick lintels recalls this in a simplified and subservient manner to ensure that, visually and architecturally, the proposed extension would not compete with the character of the host building. In a similar sense, the proposed extension also seeks to replicate the existing projecting brick string course found above the upper ground floor level on the main, side and existing rear elevations of the building. This would be replicated on both the lower and upper ground floors of the proposed extension. Such an approach would ensure that the proposal is sympathetic to the traditional character of the host building.

The proposals further seek to remove the existing modern upper ground floor overhanging side extension to No. 86 which is considered to be of no historic or architectural interest. Removal of this side extension would better reveal glimpsed views from Fellows Road through the gap between No. 86 and No. 90, thus enabling a better appreciation of the surrounding character and appearance of the Conservation Area and allowing glimpses towards the Grade II listed buildings on Eton Avenue, to the rear of the Site. This is thus considered to represent an enhancement of the character and appearance of the Conservation Area.

As demonstrated within Section 3.4 of this report, and in particular through Figures 33 and 36, that existing inter-visibility between the Site and the Grade II listed buildings on Eton Avenue, to the rear of the Site, is principally limited to the upper storeys of the building, with the lower and upper ground floors being almost entirely unappreciable, particularly from street level. Existing views towards the lower and upper ground floor of the Site are thus limited to the rear rooms on the upper storeys of the listed buildings, and from here views are largely screened by the existing planting within the rear

4.2 ASSESSMENT OF IMPACT

gardens of both the Site and neighbouring properties. It is thus considered that the proposals would not adversely impact upon the setting of the listed buildings on Eton Avenue.

As assessed in the previous sections of this report, the principal interest of the building and its main contribution to the character and appearance of the Conservation Area lies in its main façade. The proposals are principally confined to the rear of the building and as such would be largely unappreciable in views of the building from Fellows Road. The exception to this is the proposed introduction of a new small window within the porch of No. 86 to enable additional light within the upper ground floor flat. It is considered that this would be largely unappreciable from the street and obscured by the grand front porch and it is thus considered that this minor alteration would ensure that the character and appearance of the Conservation Area is preserved.

A small part of the side of the proposed extension would be appreciable in glimpsed views from between Godolphin House and the Site. It has been demonstrated, however, that the approach to the scale, massing and design of the proposal is such that it would be seen and understood in harmony with the original form and character of the building, and as such would not have an adverse impact on the character and appearance of the Conservation Area.

5.0 CONCLUSIONS

This Heritage Statement has been prepared by CgMs Consulting on behalf of SE Land & Estates Group of Companies in support of a planning application for the proposed lower and upper ground floor rear extension of Nos. 86 and 88 Fellows Road. It presented a summary of the relevant national, strategic and local planning policies and guidance with regard to developments and works which affect designated heritage assets, in particular conservation areas.

This report has provided an assessment of the historic development of the Site, its existing condition, the character and appearance of the Belsize Park Conservation Area in which the Site lies, and provided an assessment of the potential impact of the proposals on the relevant heritage assets. This assessment has demonstrated that the proposals have been designed to ensure that they would not have any adverse impact upon the special character and appearance of the Belsize Park Conservation Area, nor upon No. 86 and 88 Fellows Road itself which is considered to be a non-designated heritage asset. It is considered that the proposed approach to the massing, scale and architectural design of the extension would ensure that it is both sympathetic and subservient to the historic host building, and would thus not impact upon the character and appearance of the conservation area.

In particular, it has been demonstrated that the proposals are in accordance with the guidance set out within the council's adopted Belsize Park Conservation Statement which states that: *"All development should respect existing features such as building lines, roof lines, elevational design, and, where appropriate, architectural characteristics, detailing, profile and materials of adjoining buildings"*; further outlining that *"Extensions should be in harmony with the original form and character of the house."*

It is thus considered that the proposals are in accordance with national, strategic and local planning policy and guidance. In particular, the proposals are considered to respect the integrity of the original building and to preserve the special character and appearance of the Conservation Area and is therefore considered to be in accordance with Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990. We therefore welcome the council to consider the proposals put forward by SE Land & Estates Group of Companies.

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