



29/02/2016

AI

DESIGN & ACCESS STATEMENT

7 STEELES MEWS
NORTH LONDON
NW3 4RJ

21st

ARCHITECTURE LTD

ARCHITECT

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LONDON, EC1V 7AF



SURVEYOR

ABM SURVEYS
BASEPOINT BUSINESS CENTRE
377-379 LONDON ROAD
CAMBERLEY
SURREY, GU15 3HL



DOCUMENT LIST

- A1** Design and Access Statement
- A2** Appendixes - Architectural Drawings

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01 INTRODUCTION

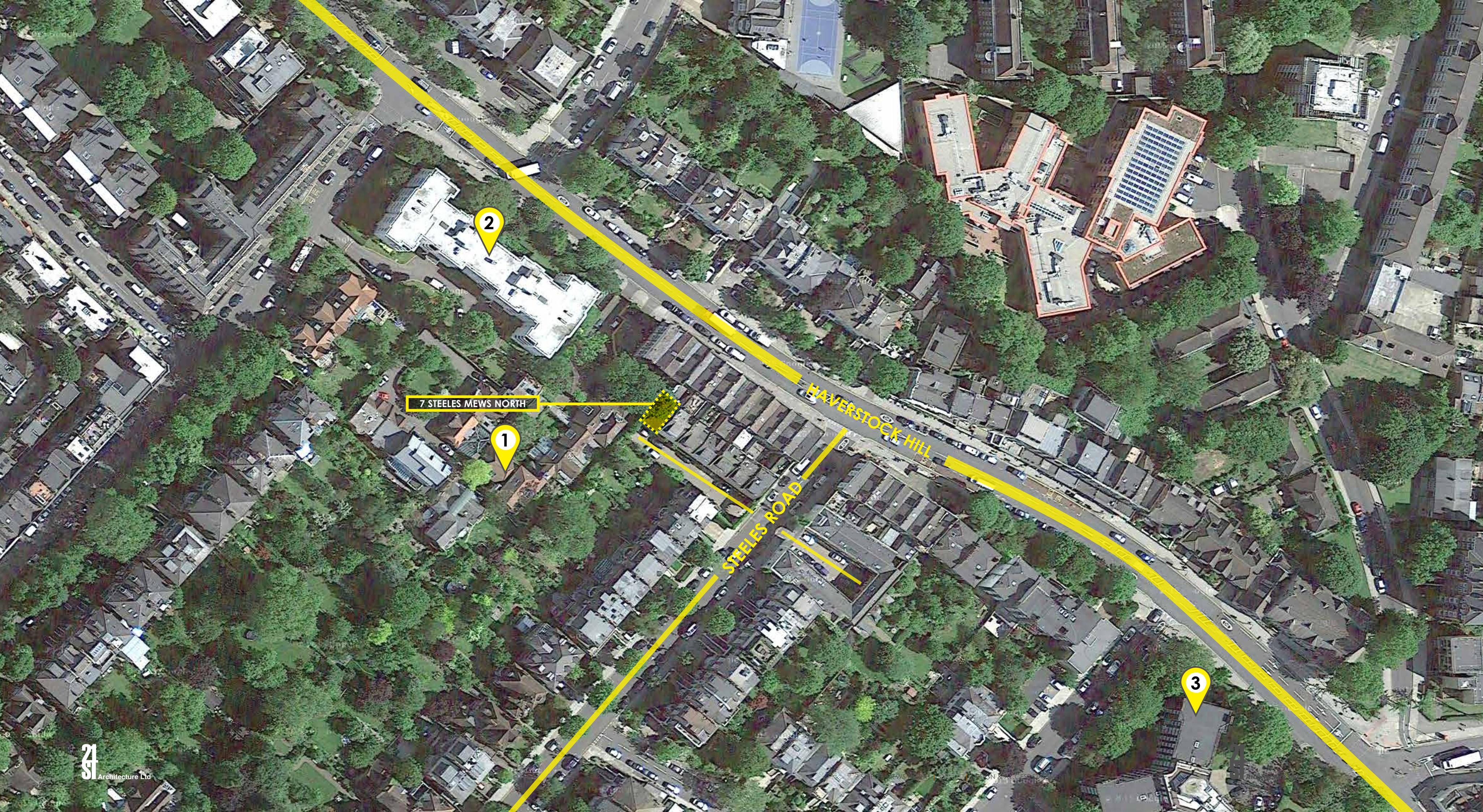
1.1 EXECUTIVE SUMMARY

This D&A Statement is to accompany the Planning Application for the refurbishment and conversion of the house at 7 Steeles Mews North, London NW3 4RJ.

The house is part of an existing Mews built around 1875 and lies within the Eton Conservation Area of Camden. The house or the Mews are not listed, but they do make a "positive contribution" to the Conservation Area, as a consistent, terraced ensemble.

21st Architecture Ltd have been appointed by Alex Springer ("the applicant") to develop a proposal for the site.

In line with the other houses in the Mews, the proposal consists of a new full width rear dormer and a new front dormer (not full width) to realise a new second floor. In addition, the internal ground and first floor layouts will be reconfigured to meet current market standards.



02 SITE & CONTEXT

2.1 SITE OVERVIEW

Steeles Mews North is located in the London Borough of Camden, in the Belsize Park area. The Mews is accessed via Steeles Road, a side street from Haverstock Hill (A502).

The Mews are built back-to-back with shops with residential upper floors that face Haverstock Hill. No. 7 is the end of terrace, which borders the garden of the Wychcombe Artist Studios.

- LEGEND
- 1 WHYCHCOMBE STUDIOS
 - 2 STANBURY COURT
 - 3 ETON RISE FLAT BLOCK

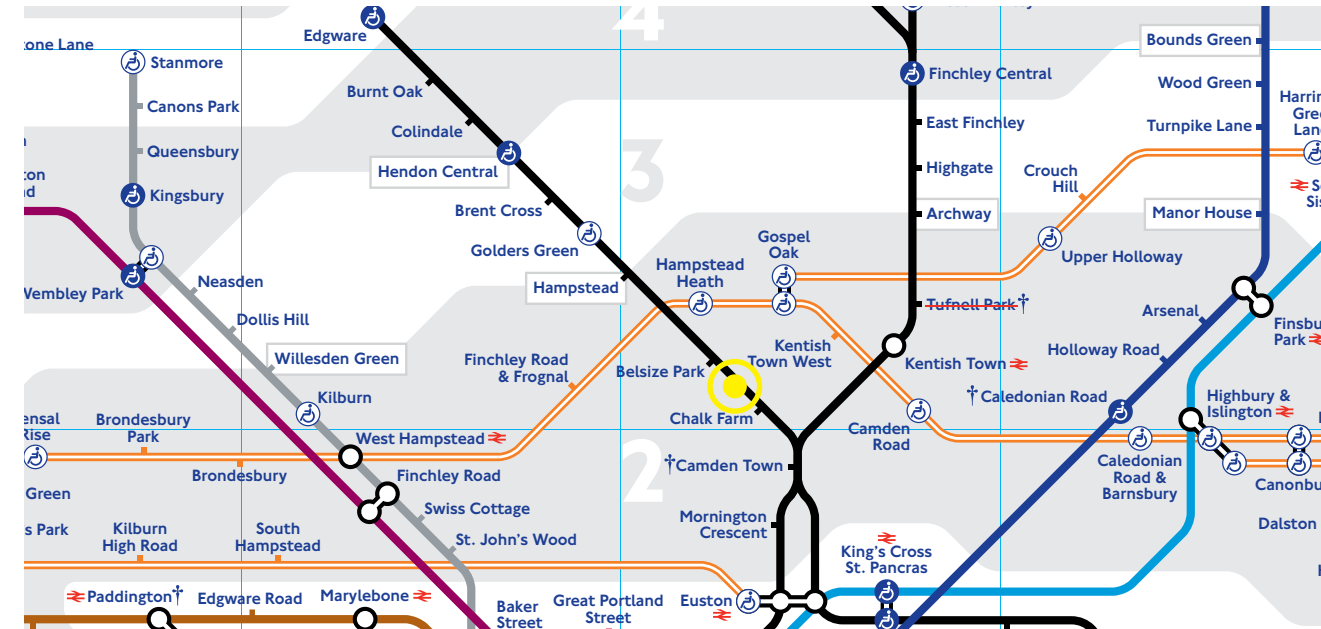
02 SITE & CONTEXT

2.2 TRANSPORTATION LINKS

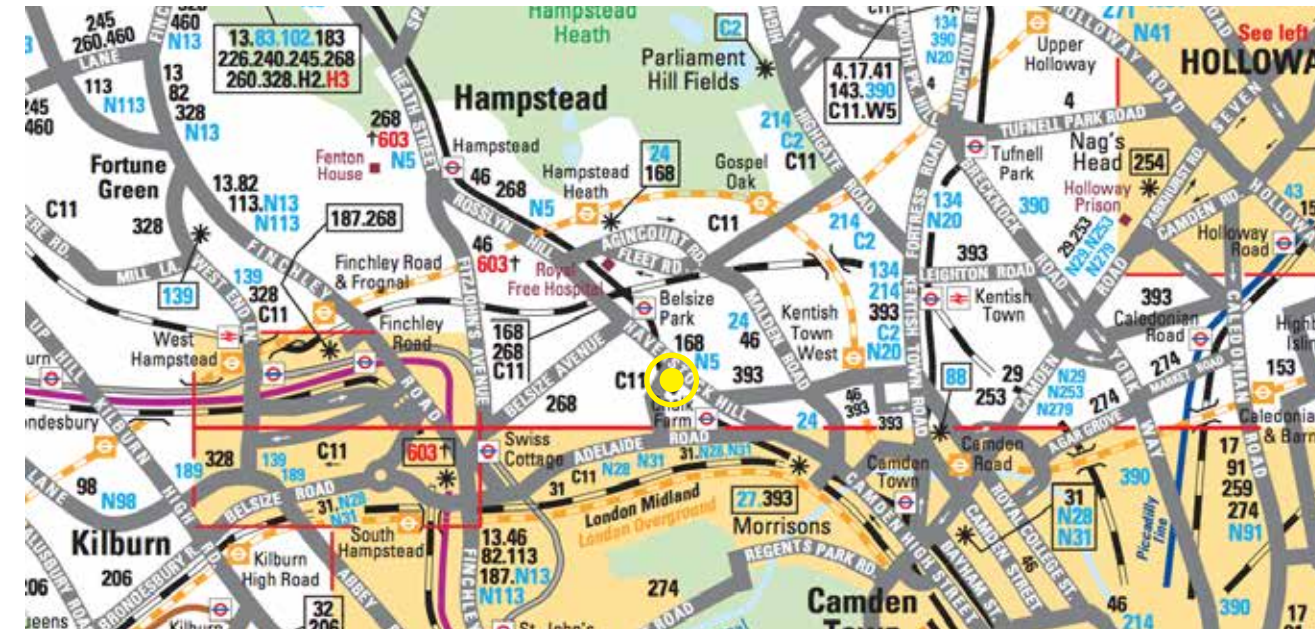
Steeles Mews is centrally located in zone 2 and has moderate/ good access to public transport. It has a PTAL rating of 3, bordering on 4.

It is located in between the Chalk Farm and Belsize Park stops of the Northern Line, both about a 7 minute walk away.

The site is serviced by numerous buses (including night buses) and the Kentish Town West Overground station is a 12 minute walk away.



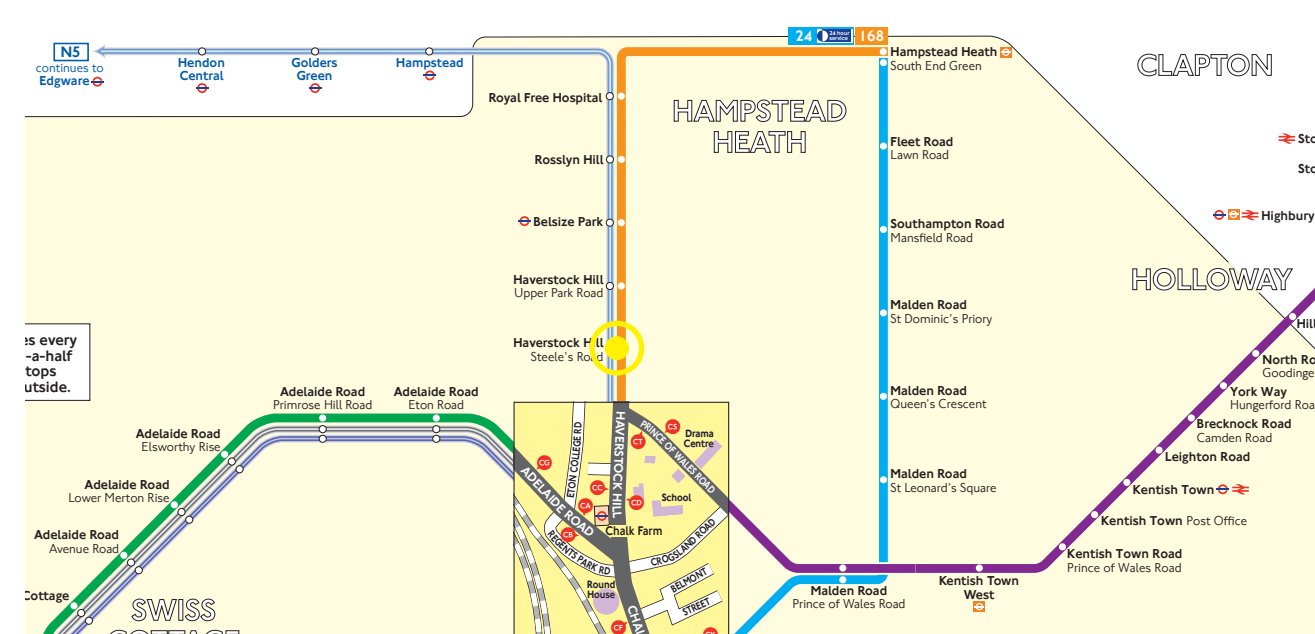
TUBE MAP WITH SITE LOCATION



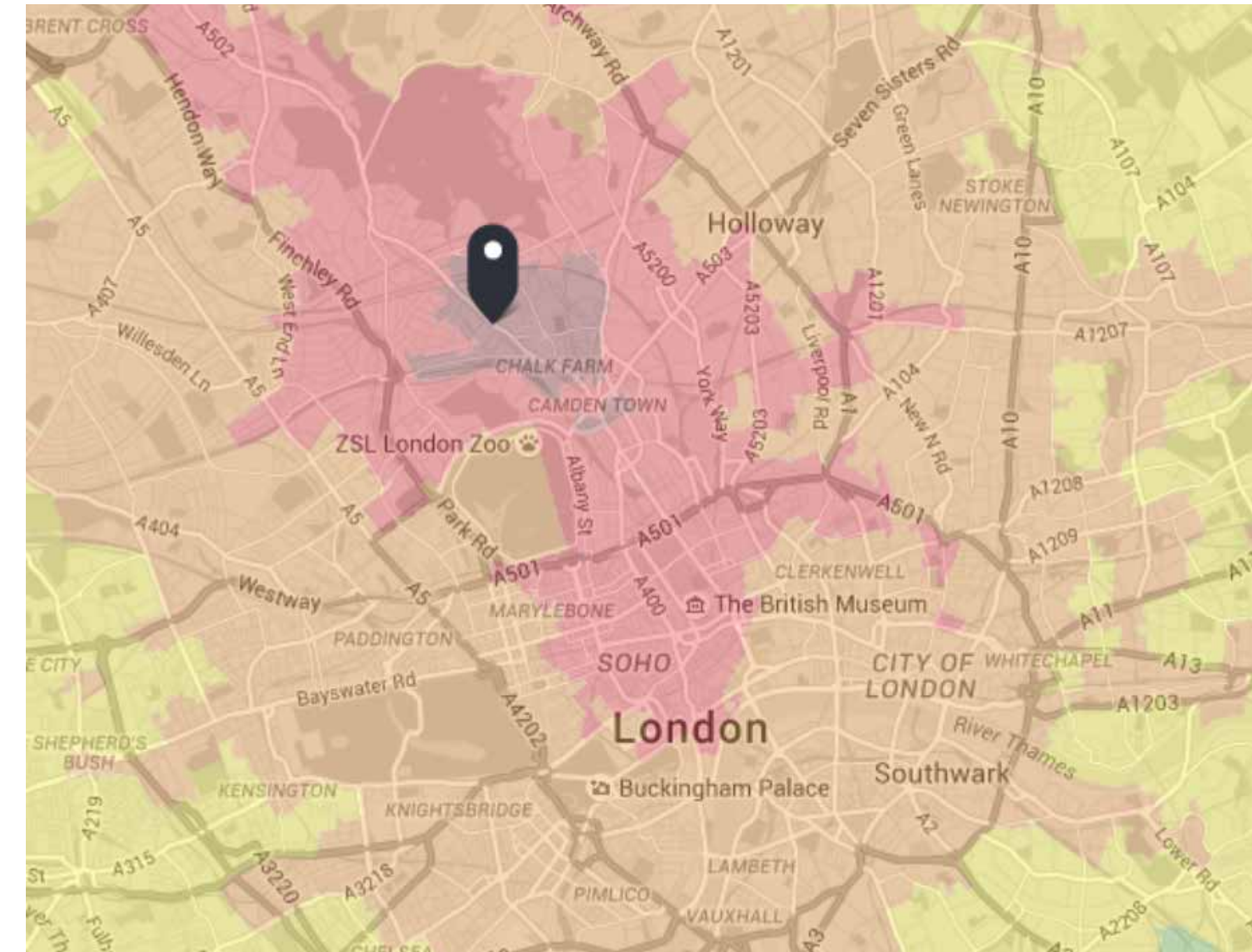
CENTRAL LONDON BUS MAP WITH SITE LOCATION



BELSIZ BUSES SPIDER DIAGRAM WITH SITE LOCATION



AERIAL VIEW LOOKING EAST



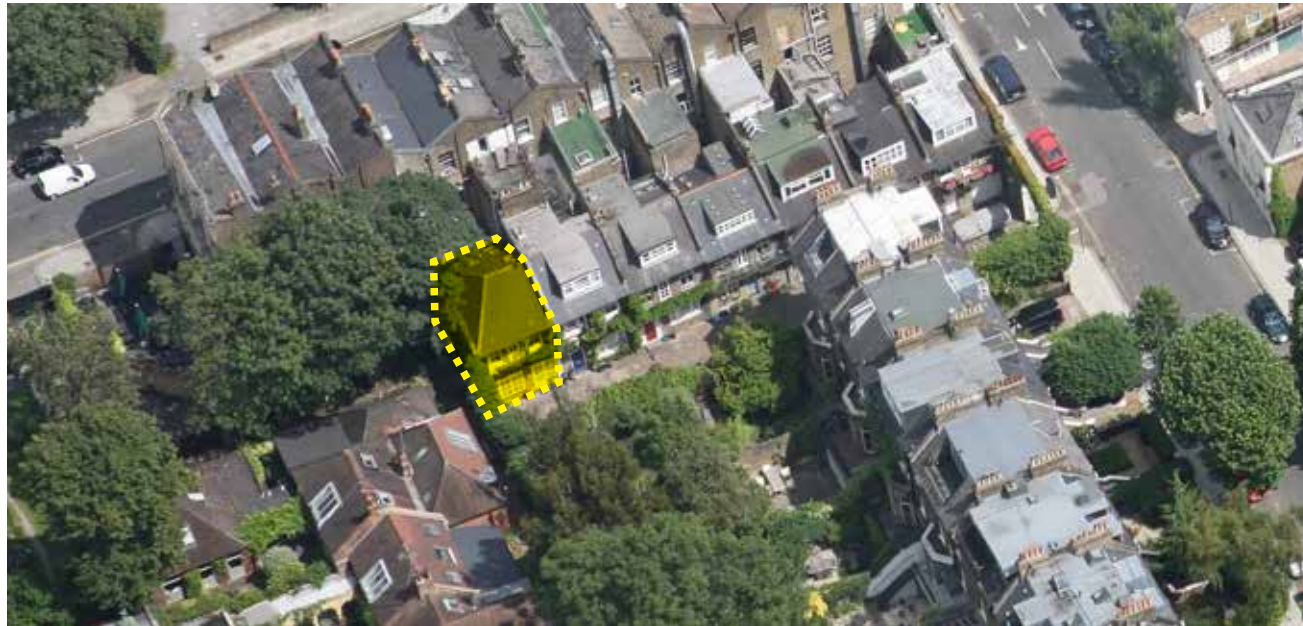
TIM MAP SHOWING TRAVEL TIME WITH PUBLIC TRANSPORT FROM SITE (BLACK MARKER)

- LEGEND
- APPROXIMATE SITE LOCATION
 - <15 MINUTES TRAVEL TIME
 - 15-30 MINUTES TRAVEL TIME
 - 30-45 MINUTES TRAVEL TIME
 - 45-60 MINUTES TRAVEL TIME
 - 60-75 MINUTES TRAVEL TIME
 - >75 MINUTES TRAVEL TIME

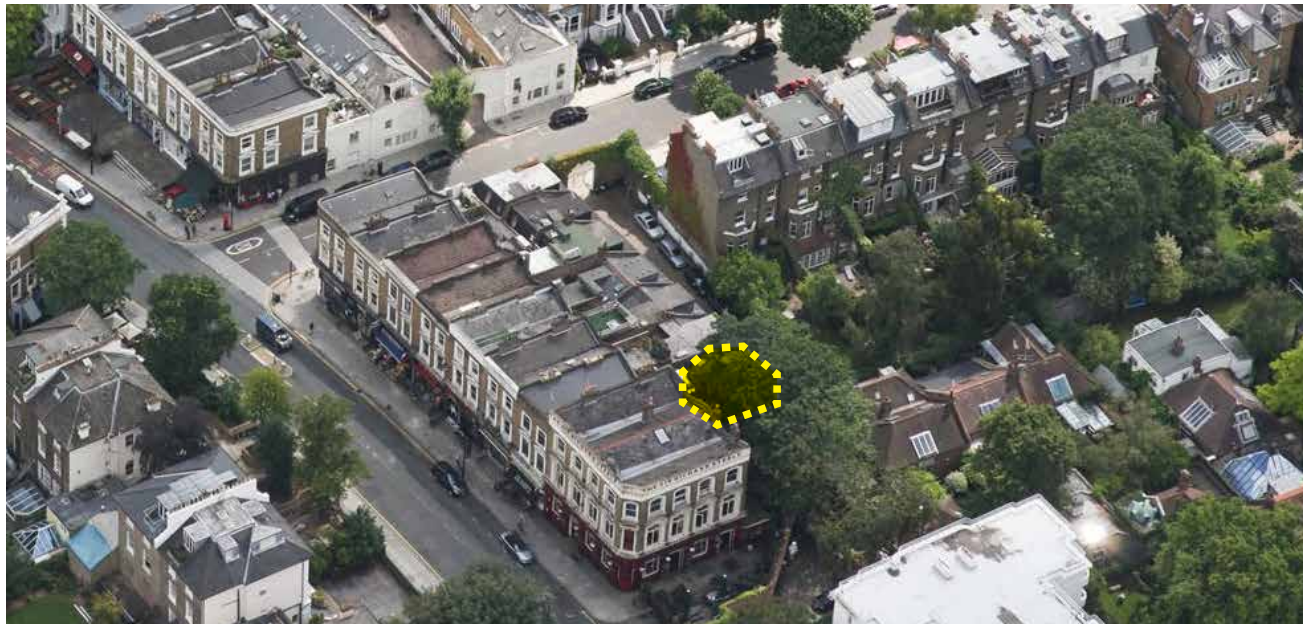
2.3 AERIAL PHOTOGRAPHS



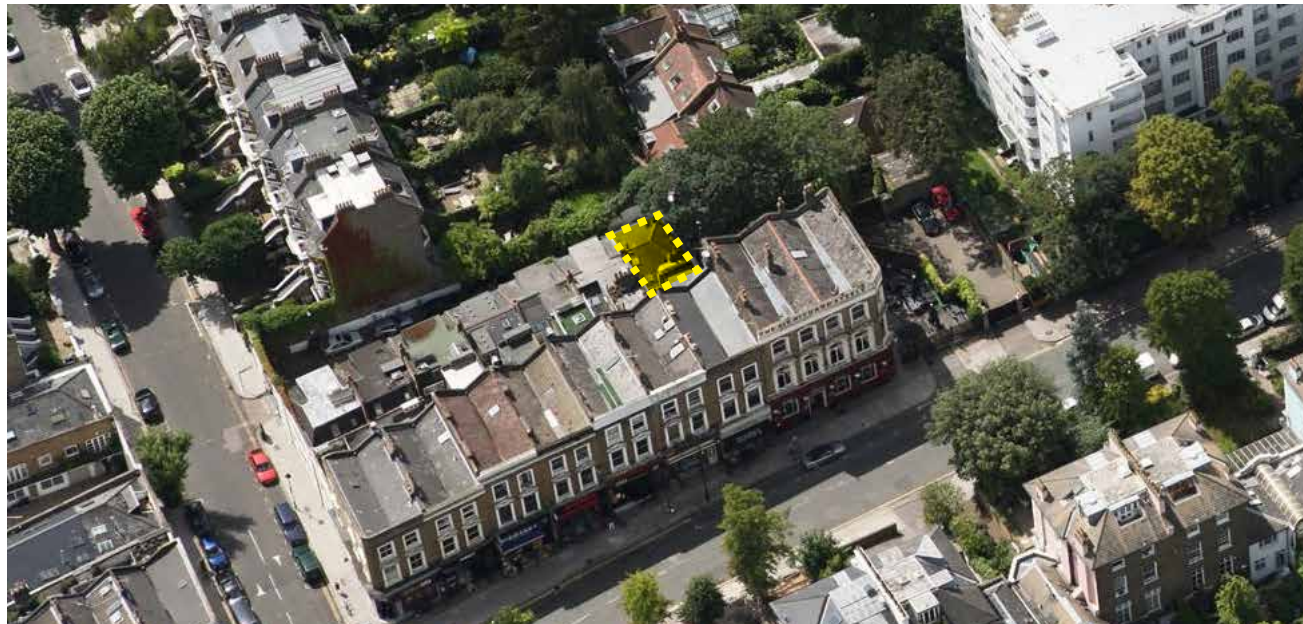
AERIAL VIEW LOOKING NORTH



AERIAL VIEW LOOKING EAST



AERIAL VIEW LOOKING SOUTH



AERIAL VIEW LOOKING WEST

02 SITE & CONTEXT

2.4 EXISTING STREETVIEW AND ELEVATION

The house is the end of terrace in a row of seven, accessed through an entrance arch. The Mews steps up towards the rear. Ground floor facades of all houses are different in terms of windows/ entrances. All houses have a dormer, except No. 7.

Parking for residents takes place in the Mews.



STEELES MEWS NORTH PANORAMA

LEGEND
PROJECT SITE



PHOTO MONTAGE OF STEELES MEWS 1-7 (RIGHT TO LEFT)

02 SITE & CONTEXT

2.5 SITE HISTORY

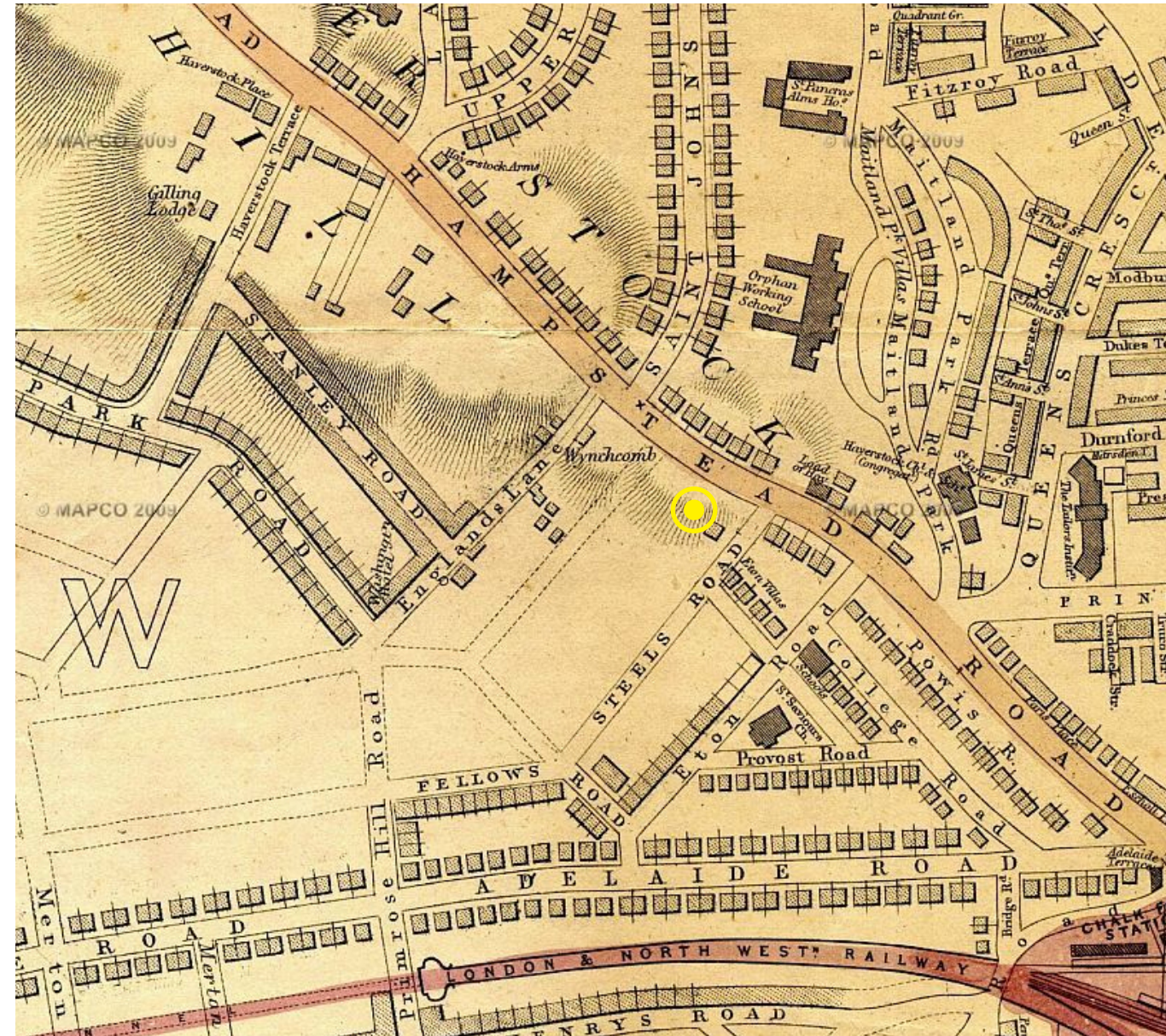
The site was originally an area of farmland, owned by Eton College. Other than the collection of buildings around the Chalcot Farm and some on the Haverstock Hill frontage, the area was predominantly agricultural. One of the buildings on Haverstock Hill is understood to be Steele's Cottage, occupied by Sir Richard Steele and painted by John Constable in 1832.

Development of the land started slow with some villas along Haverstock Hill in the 1830's. Larger scale development started in the 1840's.

Steeles Mews South was developed between 1871 and 1875. Shortly after, the frontage of Haverstock Hill was developed further, followed by the North Mews (the keystone of the entrance gate reads 1875).

The original use of the Mews was stables that likely serviced the Haverstock Hill properties. Usually, Mews consisted of carriage houses below with living quarters above, built around a paved court.

source: Eton Conservation Area Statement



1868 MAP OF AREA (EDWARD WELLER F.R.G.S.): SITE UNDEVELOPED




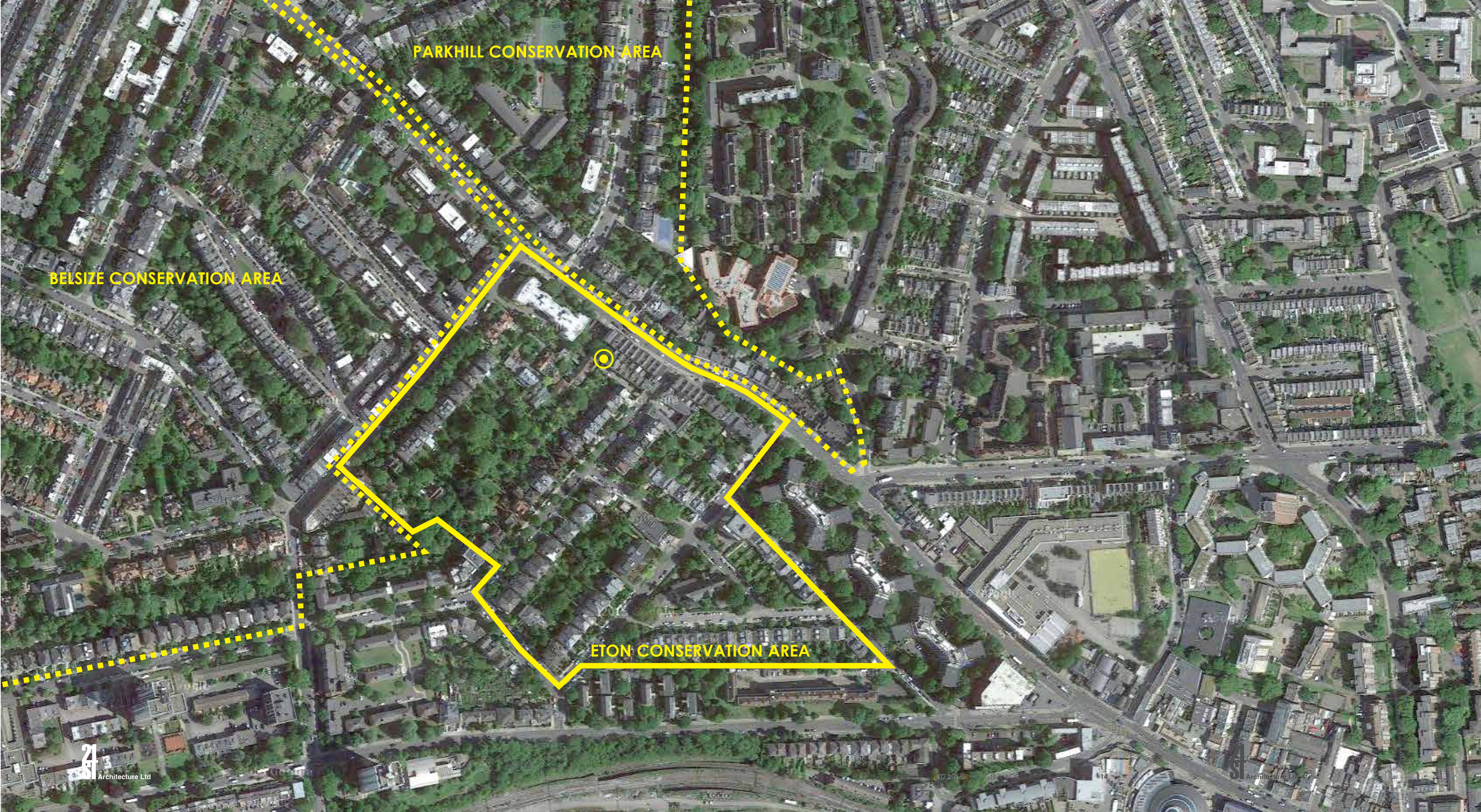
1894 OS MAP OF AREA: SITE DEVELOPED



JOHN CONSTABLE: SIR RICHARD STEELE'S COTTAGE (1832)

LEGEND

 APPROXIMATE SITE LOCATION



02 SITE & CONTEXT

2.6 ETON CONSERVATION AREA

7 Steele's Mews lies within the Eton Conservation Area in the borough of Camden, London. The Steele's Mews (South and North) were added to the conservation area in 1984. The Mews are in the Archaeological Priority Area of the Conservation Area, as identified by the English Heritage Greater London Archaeological Advisory Service.

The Eton Conservation Area statement identifies the North Mews as converted to residential occupation. The original garage frontages have generally been lost and the steel balcony at first floor level is identified as a relatively recent addition.

The access arch, covered in Virginia Creeper as well as the setted crossover and the granite setts (cobble stones) are original. The entrance misses the grand pediment that is still retained in the South Mews.

The Mews itself are not listed, but are designated as buildings making a positive contribution to the Conservation Area. The primary reason for the positive contribution is listed as:

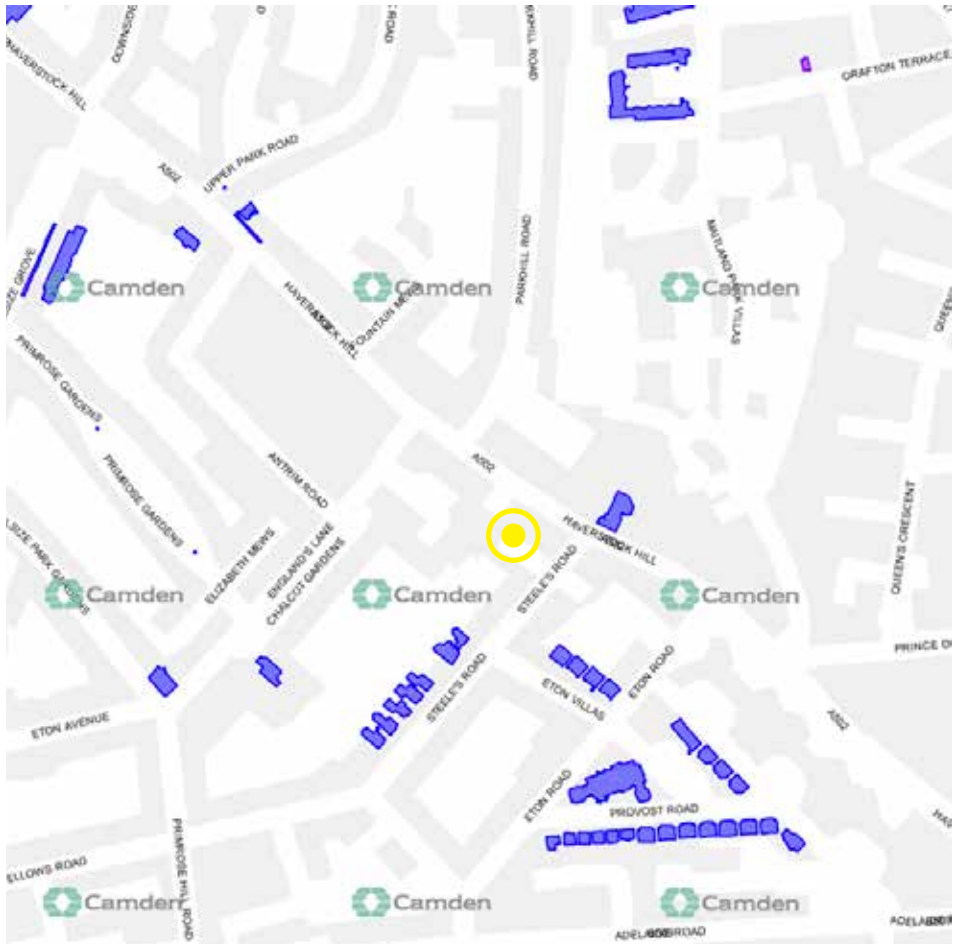
"Consistent terrace of mews houses in Steele's Mews North".

Furthermore, streetscape items that are identified as positively contributing are:

"Substantial frontage wall with archway through to both mews areas (...)"

and (North only):

"Original square, pink granite setts with central three-row drainage channel".



LISTED BUILDINGS IN THE AREA

- LEGEND
- GRADE I LISTED
 - GRADE II LISTED
 - GRADE II* LISTED
 - SITE LOCATION
 - ETON CONSERVATION AREA BOUNDARY
 - NEIGHBOURING CONSERVATION AREAS BOUNDARIES

02 SITE & CONTEXT

2.7 PLANNING HISTORY

Steeles Mews North No. 7 has undergone a remodelling in 1983, changing the ground floor frontage and internal configuration.

All other houses in the Mews had full width rear dormers and partial width front dormers added to create a fully usable 2nd floor. All houses have had their facades altered in one way or another.

Though the front dormers are all different, they share some characteristics:

- front dormers are not full width
- dormers are same height as roof

London Borough of Camden

Planning and Communications Department

CTP 21A

Camden Town Hall
Argyle Street Entrance
London WC1H 8EG
Tel: 226 4366
Gedfrey Moor (SteelesMews) DipTP FRPH
Director of Planning and Communications

Form No. 1

Date: 31/03/2016

By: Mr. B. P.
23 Woodhouse Hill,
London,
W11 2JF

Your reference: 8134/1A

Our reference: CTP/15/C/3364(R)

Telephone inquiries to: Mr. T. Taylor

Per: 10/5

Dear Sir/Ms/Mr/Ms/Ms/Ms:

TOWN AND COUNTRY PLANNING ACTS
Permission for development (conditional)

The Council, in pursuance of its powers under the above-mentioned Acts and Orders made thereunder, hereby permits the development referred to in the undermentioned Schedule subject to the conditions set out therein and in accordance with the plans submitted, save insofar as may otherwise be required by the said conditions. Your attention is drawn to the Statement of Applicant's Rights and to the General Information set out overleaf.

SCHEDULE

Date of application: 2nd February revised 17th March 1982

Plans submitted: See No. 3364(R)

Your Ref: 8134/1A

Address: 7 Steeles Mews North, W3

Development: Change of use and works of conversion to create a single family dwelling with integral car port.

Standard condition:
The development hereby permitted must be begun not later than the expiration of five years from the date on which this permission is granted.

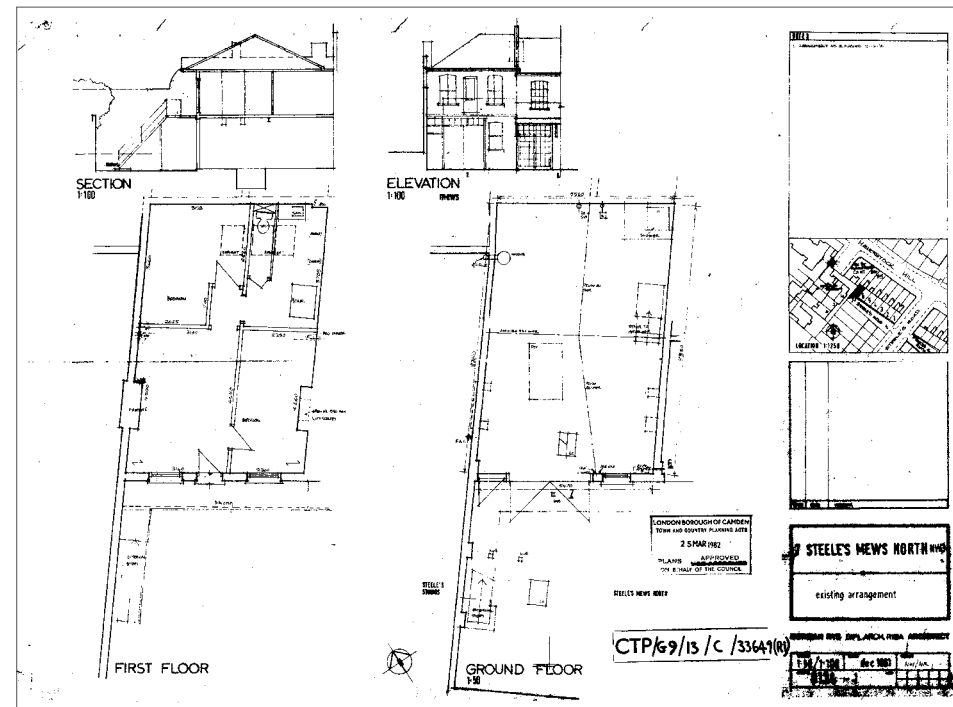
Standard reason:
In order to comply with the provisions of section 41 of the Town and Country Planning Act 1971.

Additional condition(s):

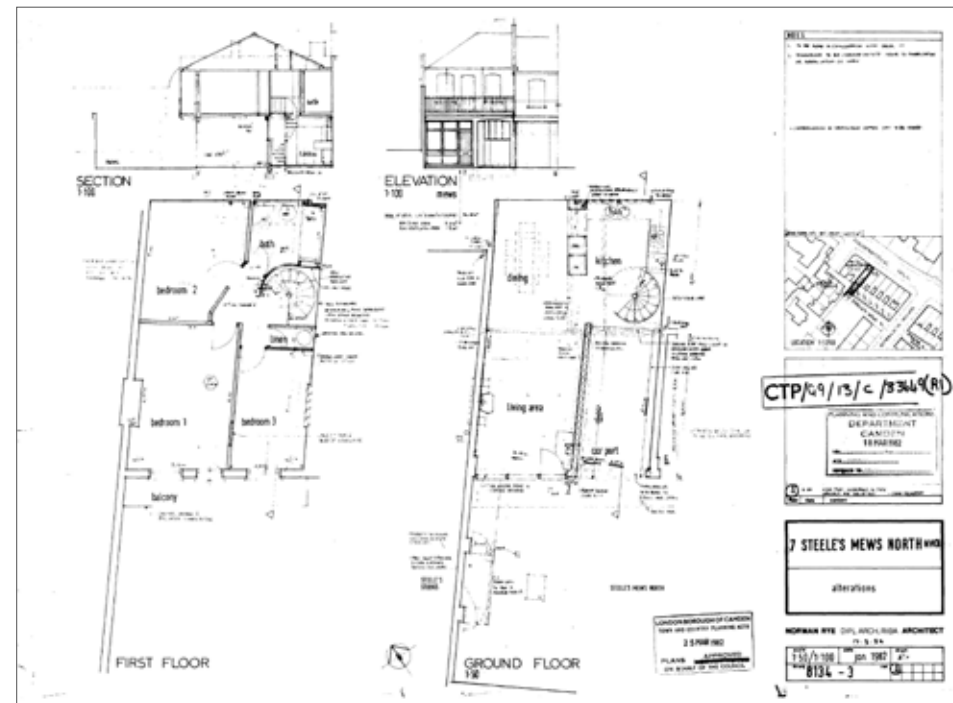
1. All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building.
2. Notwithstanding the provisions of Article 3 of the Town and Country Planning General Development Order 1977 as amended, no development within Clause 1 and 2 of Schedule 1 of that Order shall be carried out, without the grant of planning permission having first been obtained from the Council.
3. The car port shall be retained and used for the accommodation of a private motor vehicle only and no trade or business shall be carried out therefrom.

PLAN DESIGNER

1983 PLANNING APPROVAL



1983 EXISTING SITUATION



1983 ALTERATIONS

03 PROPOSED DESIGN

3.1 DESIGN STRATEGY

This design proposes an extension and refurbishment of the existing house, in a similar fashion as the neighbouring properties.

The design calls for:

- Changing the ground floor entrance
- Changing the internal configuration and layout
- Adding a full 2nd floor within roof space
- Adding a full width rear dormer with skylight
- Adding a front dormer

The design philosophy is contemporary, while being sensitive to the historic character of the house and of the Mews as a whole.

The Conservation Statement favours the consistency of the Mews. Therefore, adding the front dormer will add to the overall appeal of the Mews.

The new front dormer will be similar to the existing dormers of the neighbours.



EXISTING FRONT FACADE

3.2 FLOOR PLANS

Existing situation Ground Floor and First Floor internal fabric to be demolished and replaced with new layout.

New straight staircase to replace winding staircase with partial open treads and a full size skylight above.

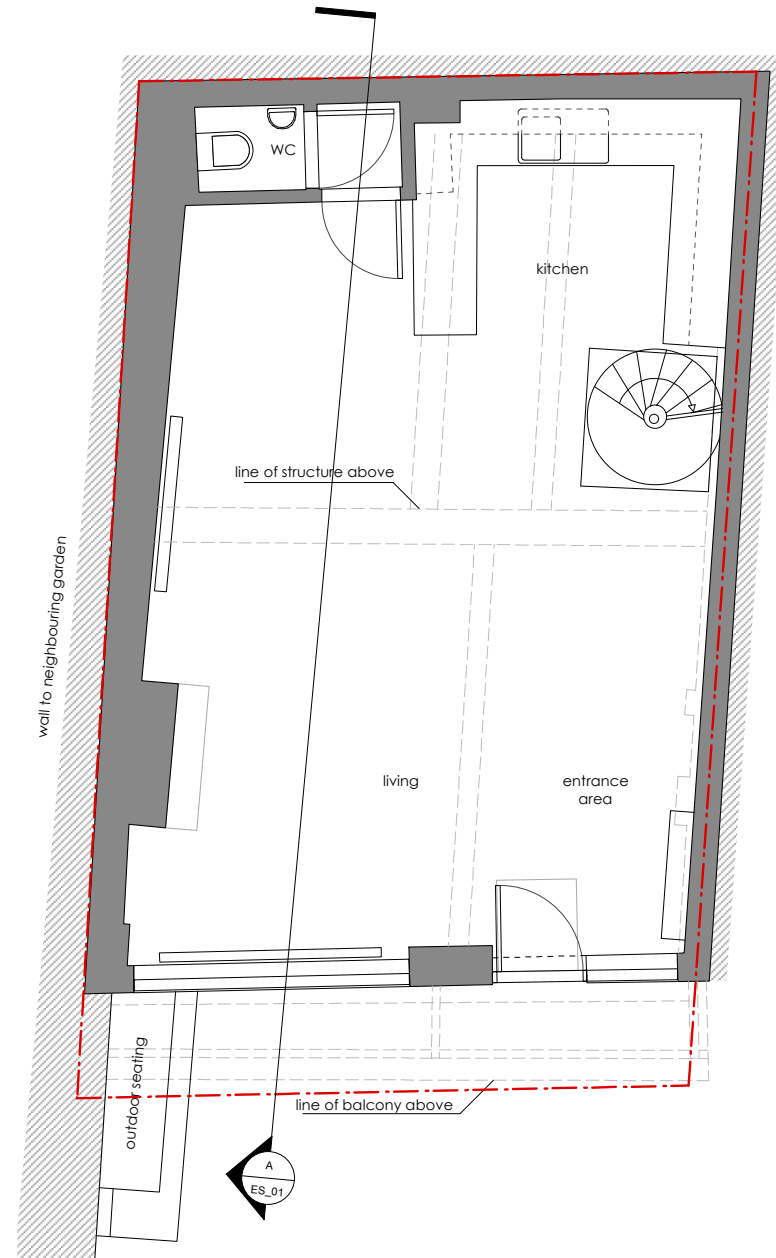
Second Floor will house a master bedroom en-suite to be separated from staircase by glass wall.

Car and cycle parking as existing: with resident permits parking in Mews, in front of the house.

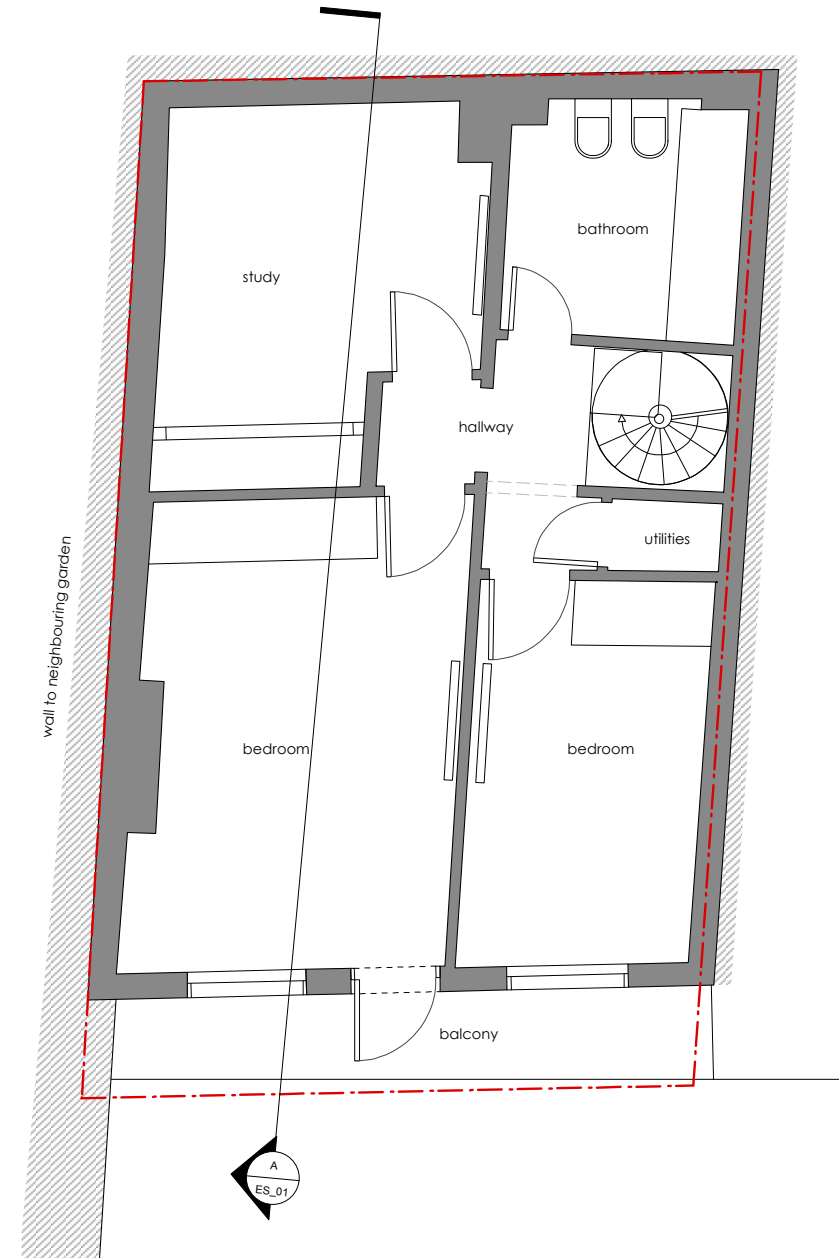
Refuse collection as existing: bins are located within Mews, next to entrance arch.



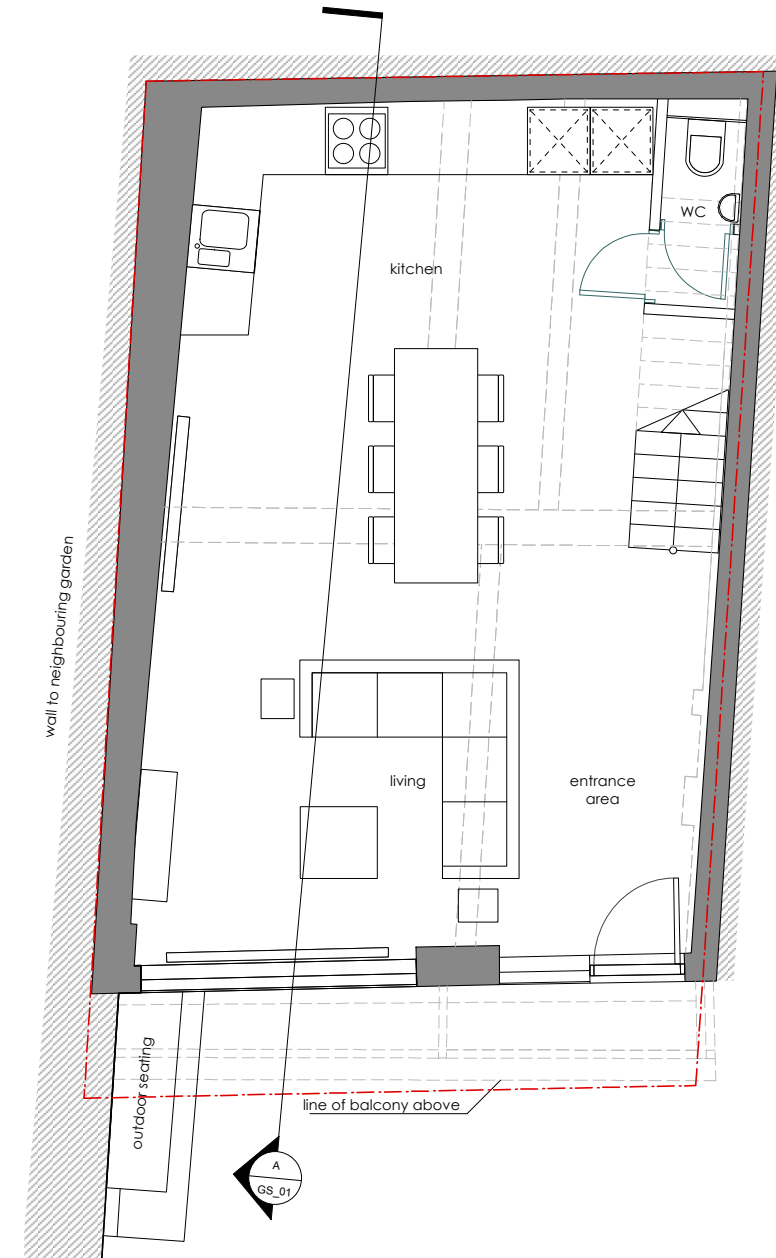
SITE PLAN
SCALE 1:1250



EXISTING GROUND FLOOR +0.000
GIA 43.4 m²

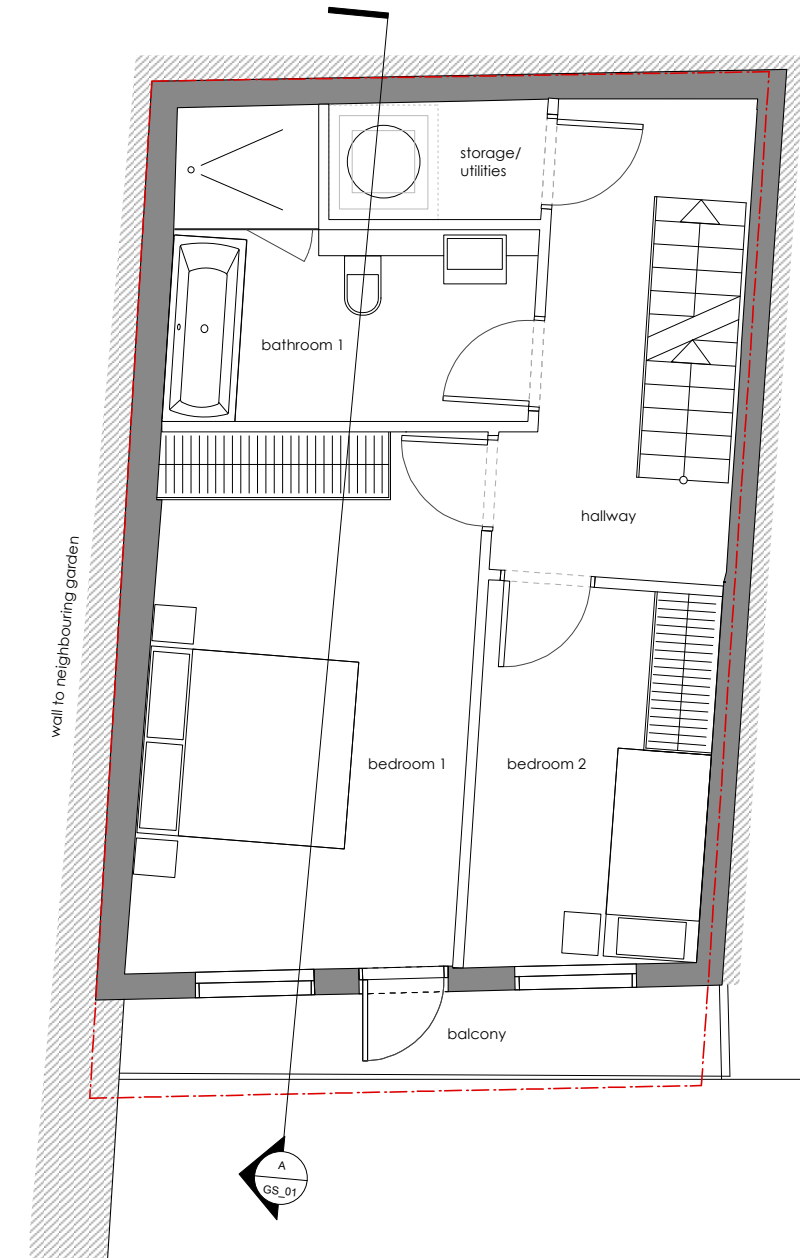


EXISTING FIRST FLOOR +3.190
GIA 45.5 m²

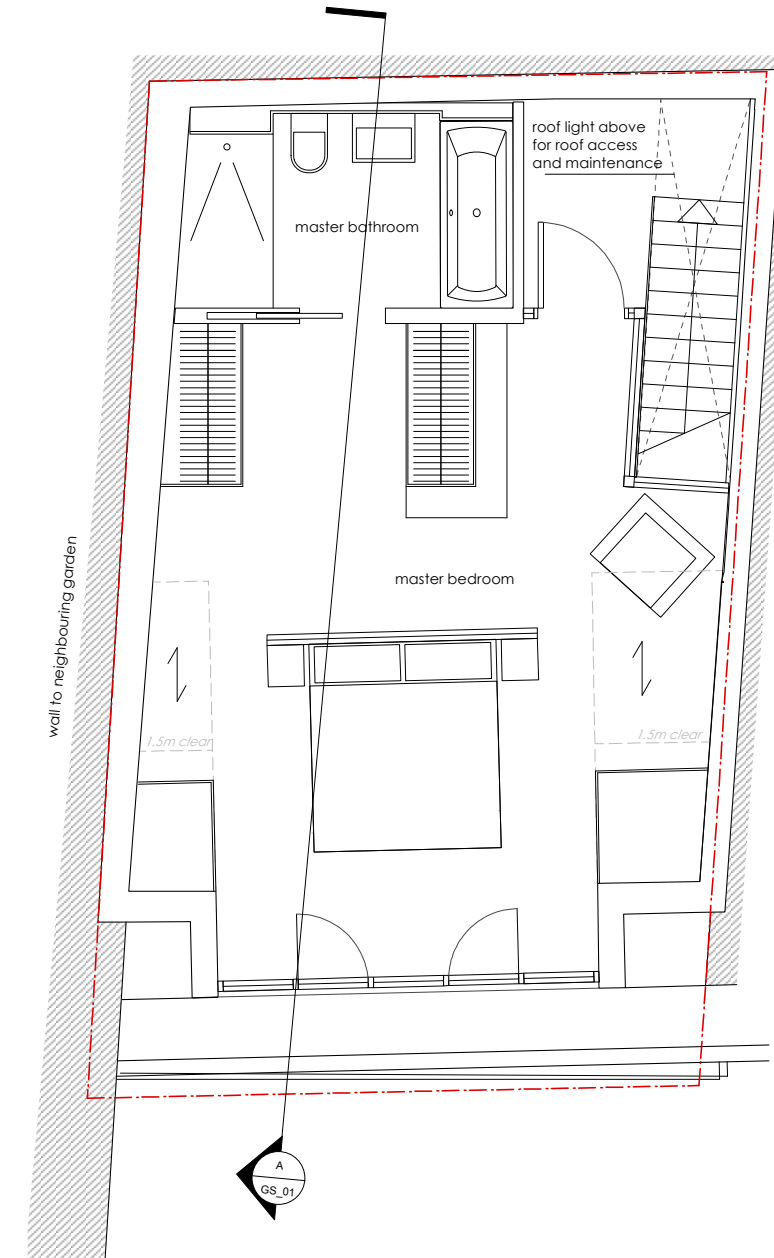


PROPOSED GROUND FLOOR +0.000
GIA 44.0 m²

03 PROPOSED DESIGN



PROPOSED FIRST FLOOR +3.190
GIA 46.0 m²



PROPOSED SECOND FLOOR +5.790
GIA 41.9 m²

3.3 ELEVATION

The existing pitched roof will be replaced by a new roof to same pitch with two new dormers.

The existing entrance will be replaced by a contemporary entrance.



EXISTING FRONT ELEVATION



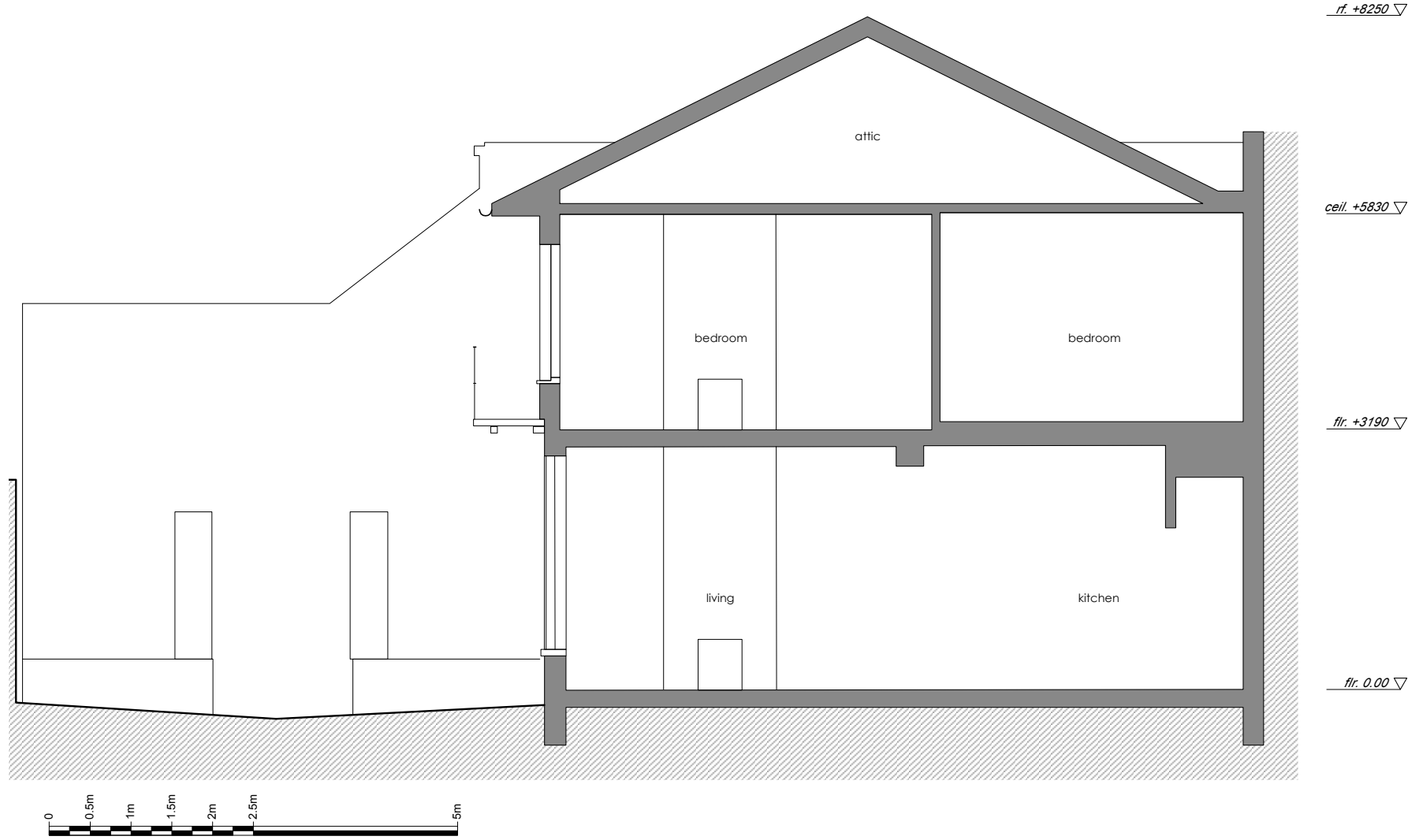
PROPOSED FRONT ELEVATION

3.4 SECTIONS

Section A showing floor levels and the addition of the front and rear dormers.

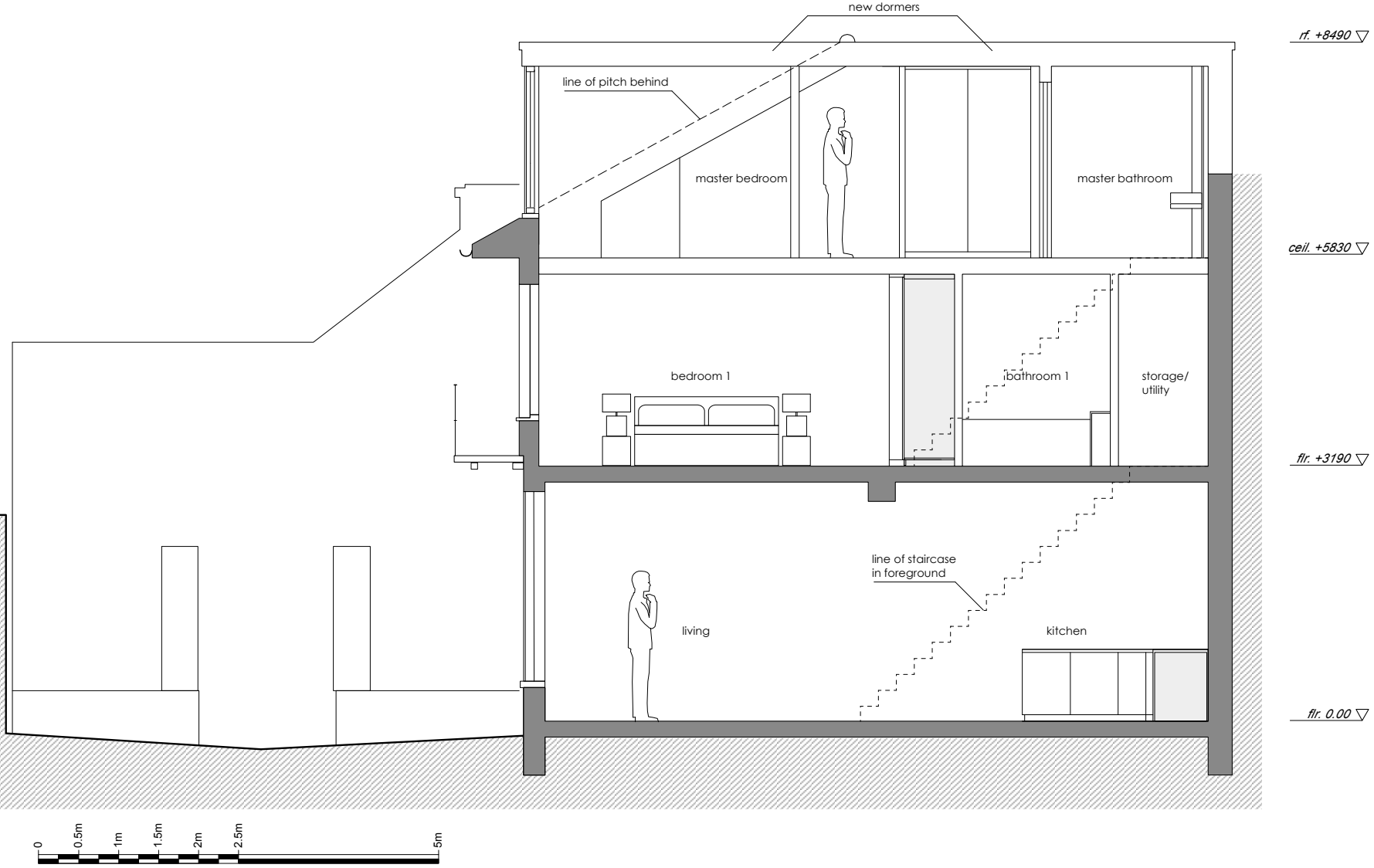
First floor ceiling to be demolished and lowered to accommodate new second floor.

New internal layout.



EXISTING SECTION A

03 PROPOSED DESIGN



PROPOSED SECTION A



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