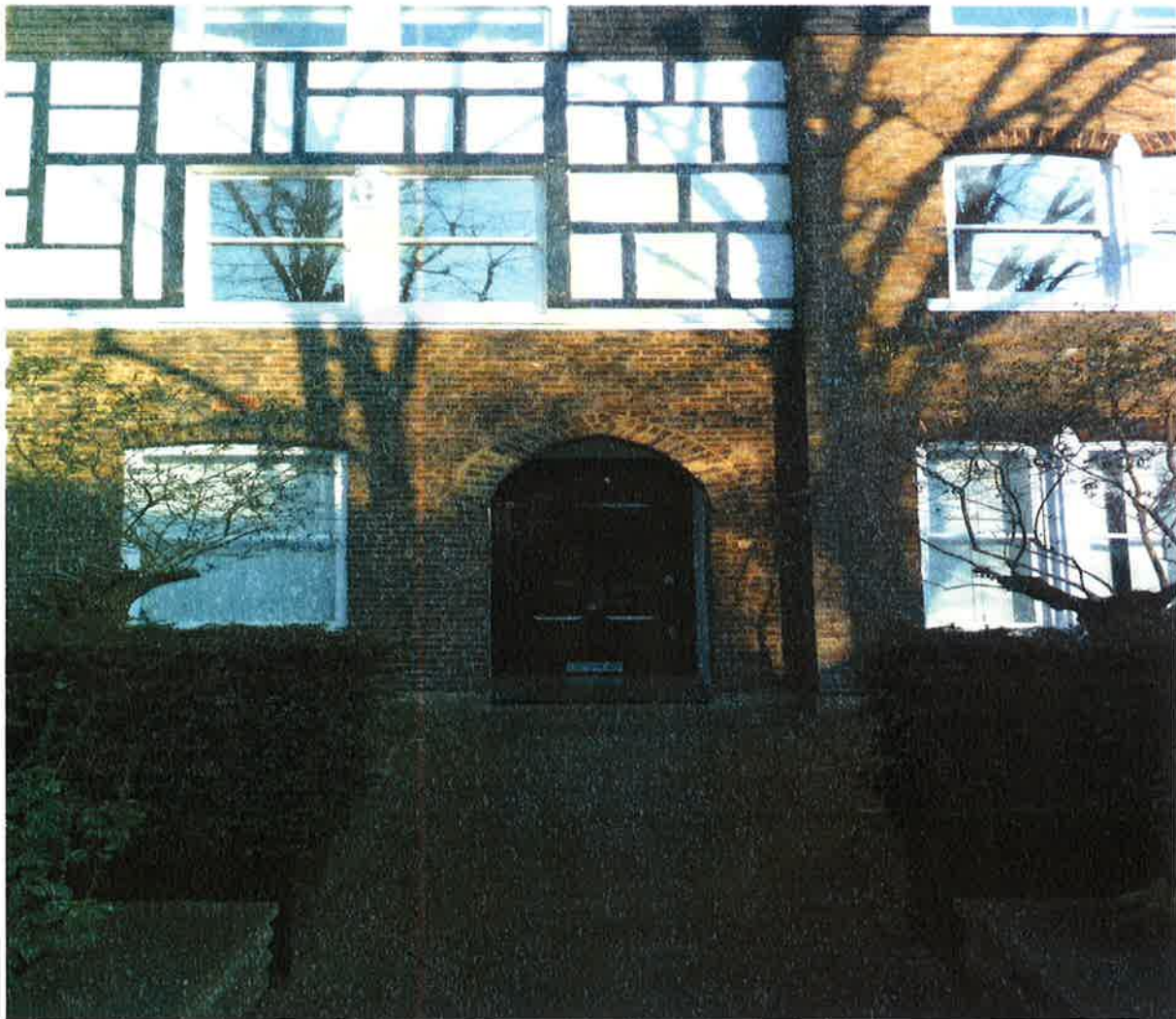


Express Drainage Solutions

CCTV Survey Report

Foul & Surface Water



Ref: NH28842

Report Contents

- Covering Letter
- Summary
- Site Plan
- Inspection Chamber Condition Report
- CCTV Survey Report & Overview
- Code Reference
- Terms and conditions

**Premier Basements,
Unit 21 Tims Boatyard
Stains upon Thames
TW18 3JY**

7th March 2016

Ref: NH28842

Dear Sirs,

**Re: CCTV Survey Foul & Surface Water Systems
Site: Premier Basements, 12 Elsworthy Road, London, NW3 3DJ**

Thank you for using the services of Express Drainage Solutions.

As agreed we carried out an investigative CCTV survey to establish the condition of a Combined Water Drainage system.

The survey has revealed defects that are detailed at the foot of the appropriate report sheet with still images supplied accordingly.

A summary information index is supplied with an overview of the full drainage system and a site plan showing the location of Inspection Chambers and drain runs. Please note the site plan is for interpretation purposes only and is not to scale.

The total cost for all recommendations/remedial repairs is £4,575.00+ vat.
This quotation cost is broken down in the summary information Index.

Please note; supplied quotation is based on our findings and valid for 90 days. Beyond 90 days it may be necessary to re-survey to establish if there are site variants. Should you proceed with the quotation within 30 days we can offer an early acceptance discount of 12.5%.

Please contact the office should you require any further information or wish to schedule the recommended works.

Yours sincerely

Greg Ballantine

**Greg Ballantine
CCTV Analyst**

Premier Basements 12 Elsworthy Road London NW3 3DJ

**The survey was undertaken through 3 Inspection Chambers (IC) located
to the rear of property.**

See site plan for approx locations.



CCTV Summary Index

Site:

Premier Basements, 12 Elsworthy Road, London, NW3 3DJ

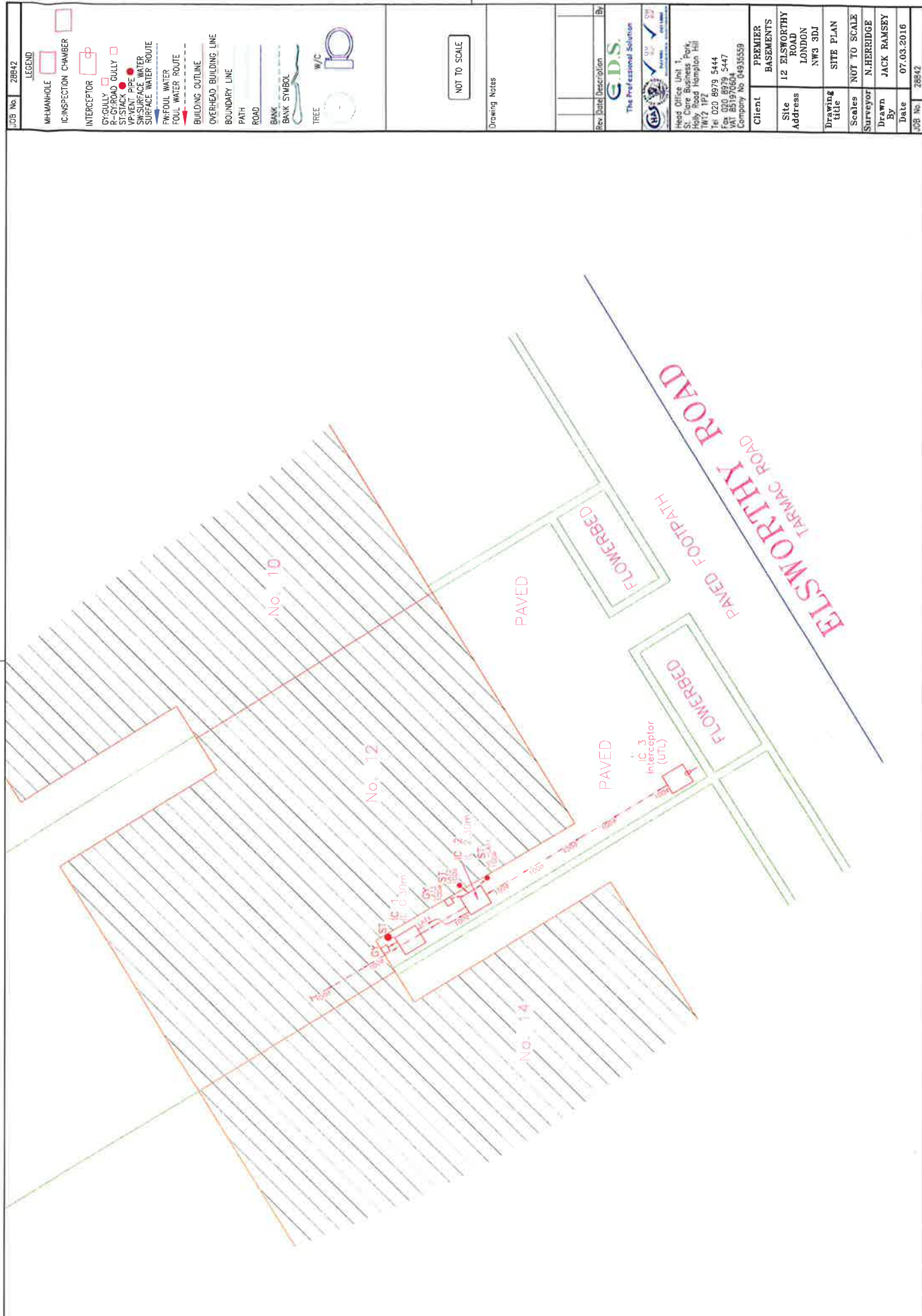
Sheet No:	Drainage Section (Surface or Foul Water)	Abbreviated Recommendations	Scale 1-4	Net Cost	Further Works
IC Condition Report Page	IC 3	1) Remove all Roots from Cover & Frame 2) Expose IC & Re-CCTV	3	£250.00	Yes
1:	IC 1 – IC 2	Excavate & Replace Approx 3m of drainage run & connection into IC 2	3	£1,650.00	Yes
2:	IC 2 – Lateral 2 (Stack)	High Pressure Water Jet & Re-Line Approx 1m (Super Sleeve – 100mm)	3	£750.00	Yes
3:	IC 2 – Lateral 3 (Gully)	No Recommendations	4	-	No
4:	IC 2 – IC 3	1) High Pressure Water Jet 2) Excavate & Remove Interceptor 3) Re-Line Approx 1m (Super Sleeve – 100mm) 4) install a 4 inch stainless steel rat blocker	3	£1,700.00	Yes
5:	IC 2 – High Level Lateral 1 (Stack)	No Recommendations	4	-	No
6:	IC 2 – Upstream	High Pressure Water Jet with Chain Flail & Re-CCTV	2	£225.00	Yes
			Net Cost:	£4,575.00	

Scale 1-5

1: Immediate 2: Within 3 Months 3: within 6 to 12 Months 4: Re-CCTV within 12 to 24 Months

Further Cost/Works Probable

If the recommendation is not determinable with a repair there may be further repair work and costs necessary after HPWJ, Re-CCTV surveying or general investigations.




Inspection Chamber Condition Report


Site:
Premier Basements
12 Elsworthy Road
London
NW3 3DJ




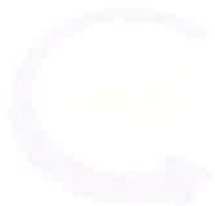
Inspection Chamber Condition Report

Inspection Chamber Information		Photo
Inspection Chamber No: IC 1	Invert Level: 300mm	
Cover Size: 450 x 600mm	Chamber Size: 450 x 600mm	
Composition: Brick		
Condition: No Significant structural defects within inspection chamber 1		
Inspection Chamber Lateral Connections: Inspection Chamber 1 contains an open access hole within the chamber. Which allows access for upstream & downstream drainage runs?		
See CCTV Survey Report for Recommendations		

Inspection Chamber Condition Report

Inspection Chamber Information		Photo
Inspection Chamber No: IC 2	Invert Level: 2300 mm	
Cover Size: 450 x 650mm	Chamber Size: 500 x 650mm	
Composition: Brick		
Condition: No Significant structural defects within inspection chamber 2		
Inspection Chamber Lateral Connections: IC 2 contains 3 laterals, 1 high level lateral, upstream & downstream drainage runs.		
See CCTV Survey Report for Recommendations		

Inspection Chamber Condition Report

Inspection Chamber Information		Photo
Inspection Chamber No: IC 3	Invert Level: Unable to Confirm	
Cover Size: Unable to Confirm	Chamber Size: Unable to Confirm	
Composition: Unable to Confirm		
Condition: Unable to gain access to inspection chamber, due to roots growing over inspection chamber cover.		
		
Inspection Chamber Lateral Connections: Unable to confirm		
See quote attached for recommendations		

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY	Site: Premier Basements 12 Elsworthy Road London NW3 3DJ	Job No:	28842
		Eng No:	NH559
		Date:	04/03/2016
		Sheet:	Inspection Chamber Report Page
Location:		Inspection Chamber 3	
Recommendations	<p>Our recommendation are:</p> <p>1) Remove all roots from Cover & Frame</p> <p>2) Expose Inspection Chamber, Then Re-CCTV any additional lateral connections. (Any further work will be quoted for accordingly)</p> <p>This will reinstate structural Integrity and create a Free Flowing drainage run</p> <p>All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard</p>		
Works Guarantee	All lining works undertaken is guaranteed for 10 years & excavations 5 years		
Are there any Health & Safety issues	No		
Risk & Method Statement supplied	Will be supplied upon undertaking of works		
Any Special Site Requirements or Conditions	Will be supplied upon undertaking of works		
Specialist Plant Requirement	Will be supplied upon undertaking of works		
Repair Quotation Cost£	£250.00+ VAT		



The Professional Solution

Tel : 0208 979 5444

Email: info@expressdrainagesolutions.co.uk

Web: www.expressdrainagesolutions.co.uk

CCTV Survey Overview & Quote Report

Site:
Premier Basements
12 Elsworthy Road
London
NW3 3DJ



Head Office
Unit 1, St. Clare Business Park, Holly Road
Hampton Hill, TW12 1PZ
Tel 020 8979 5444 Fax 020 8979 5447
VAT 178610783 Company No 8845834



CCTV SURVEY REPORT

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	1
Reason for Survey		CCTV Fully Comprehensive Survey		Survey Recorded	Yes
Pipe Dia	100mm	Run Length	4.13m	Foul / Surface	Combined
Start Position		Inspection Chamber 1		End Position	
Invert Level		300mm		Invert Level	
Direction of Flow		Downstream		Surface Area	
				Concrete	
Meterage	Code	%	Remark / Note		Image Supplied Y/N
0.00m			Start of Survey		Yes
0.23m	DJ	Slight	Displaced Joint, Pipe Soundness?		Yes
0.47m	DJ	Slight	Displaced Joint, Pipe Soundness?		Yes
1.30m	DJ	Large	Displaced Joint, Pipe Soundness?		Yes
1.77m	DJ	Slight	Displaced Joint, Pipe Soundness?		Yes
2.12m			Vertical 90 Degree bend in drainage run		Yes
3.31m			Bend in drainage run		Yes
4.02m			Vertical 90 degree bend in drainage run		Yes
4.13m			Reached Inspection Chamber 2 (Poor connection into Inspection Chamber 2) & End of Survey		Yes
Is the Drain Run in a serviceable condition?		No			
If No / Reason		<p>The survey revealed that the drainage run enters through a poorly installed connection into inspection chamber 2 & displaced joints/pipe soundness? (Large-Slight), within the drainage run.</p> <p>The defects are having a detrimental effect on the full drainage system which could deteriorate further if remedial repairs are not undertaken.</p> <p>If you have any further queries or questions in relation to any of the above noted defects please don't hesitate to contact the office on the number supplied on the covering letter.</p>			

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	1
Start Position	Inspection Chamber 1	End Position	Inspection Chamber 2		
Recommendations		Our recommendation are: 1) Excavate & Replace Approx 4m of Drainage Run & Connection into Inspection Chamber 2. Changing connection to a dropper within inspection chamber 2. Using New UPVC Pipe Work (To correct alignment & fall) This will reinstate structural Integrity and create a Free Flowing drainage run All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard			
Works Guarantee		All lining works undertaken is guaranteed for 10 years & excavations 5 years			
Are there any Health & Safety issues		No			
Risk & Method Statement supplied		Will be supplied upon undertaking of works			
Any Special Site Requirements or Conditions		Will be supplied upon undertaking of works			
Specialist Plant Requirement		Will be supplied upon undertaking of works			
Repair Quotation Cost£		£1,650.00+ VAT			

**Images of CCTV Survey for Drainage Run:
IC 1 – IC 2**



**Images of CCTV Survey for Drainage Run:
IC 1 – IC 2 (Enters IC 2 as Lateral)**



CCTV SURVEY REPORT

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	2
Reason for Survey		CCTV Fully Comprehensive Survey		Survey Recorded	Yes
Pipe Dia	100mm	Run Length	0.82m	Foul / Surface	Combined
Start Position		Inspection Chamber 2	End Position		Lateral 2 (Stack)
Invert Level		2300mm	Invert Level		Not Confirmed
Direction of Flow		Upstream	Surface Area		Concrete
Meterage	Code	%	Remark / Note		Image Supplied Y/N
0.00m			Start of Survey		Yes
0.11m	DJ	Medium	Displaced Joint, Pipe Soundness?		Yes
0.82m			Reached Stack & End of Survey		Yes
Is the Drain Run in a serviceable condition?		No			
If No / Reason		<p>The survey revealed displaced joints/pipe soundness? (Medium) within the drainage run.</p> <p>The defects are having a detrimental effect on the full drainage system which could deteriorate further if remedial repairs are not undertaken.</p> <p>If you have any further queries or questions in relation to any of the above noted defects please don't hesitate to contact the office on the number supplied on the covering letter.</p>			



The Professional Solution

Tel : 0208 979 5444

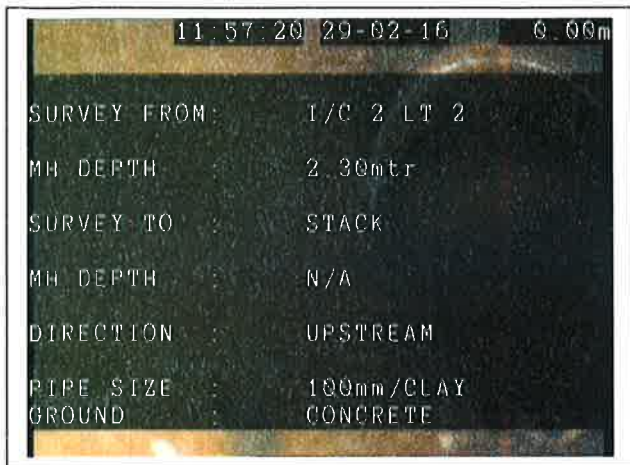
Email: info@expressdrainagesolutions.co.uk

Web: www.expressdrainagesolutions.co.uk

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	2
Start Position	Inspection Chamber 2	End Position	Lateral 2 (Stack)		
Recommendations		Our recommendation are: 1) HPWJ to remove any scale/residual Debris 2) Insertion of a fibre resin linear liner (super sleeve) for approx 1m. This will reinstate structural Integrity and create a Free Flowing drainage run All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard			
Works Guarantee		All lining works undertaken is guaranteed for 10 years & excavations 5 years			
Are there any Health & Safety issues		No			
Risk & Method Statement supplied		Will be supplied upon undertaking of works			
Any Special Site Requirements or Conditions		Will be supplied upon undertaking of works			
Specialist Plant Requirement		Will be supplied upon undertaking of works			
Repair Quotation Cost£		£750.00+ VAT			

**Images of CCTV Survey for Drainage Run:
IC 2 – Lateral 2 (Stack)**



CCTV SURVEY REPORT

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No: 28842		Eng No: NH559	
				Date: 04/03/2016		Sheet: 3	
Reason for Survey		CCTV Fully Comprehensive Survey				Survey Recorded Yes	
Pipe Dia	100mm	Run Length	0.70m	Foul / Surface	Combined	Composition Clay	
Start Position		Inspection Chamber 2		End Position		Lateral 3 (Gully)	
Invert Level		2300mm		Invert Level		Not Confirmed	
Direction of Flow		Upstream		Surface Area		Concrete	
Meterage	Code	%	Remark / Note			Image Supplied Y/N	
0.00m			Start of Survey			Yes	
0.70m			Reached Gully & End of Survey			Yes	
Is the Drain Run in a serviceable condition?			Yes				
If No / Reason			The survey revealed no significant structural defects within the drainage run.				



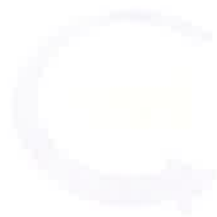
The Professional Solution

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Email: info@expressdrainagesolutions.co.uk
Web: www.expressdrainagesolutions.co.uk

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	3
Start Position	Inspection Chamber 2	End Position	Lateral 3 (Gully)		
Recommendations		Our recommendation are: No Recommendations All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard			
Works Guarantee		All lining works undertaken is guaranteed for 10 years & excavations 5 years			
Are there any Health & Safety issues		No			
Risk & Method Statement supplied		N/A			
Any Special Site Requirements or Conditions		N/A			
Specialist Plant Requirement		N/A			
Repair Quotation Cost£		N/A			

**Images of CCTV Survey for Drainage Run:
IC 2 Lateral 3 - Gully**



Ltd

The Professional Solution

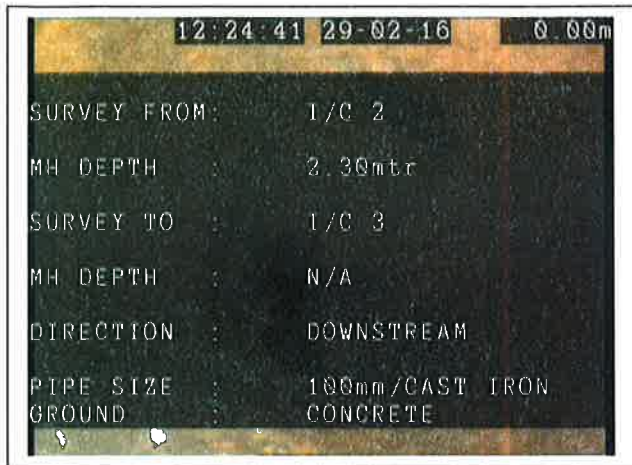
CCTV SURVEY REPORT

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No: 28842	
				Eng No: NH559	
				Date: 04/03/2016	
				Sheet: 4	
Reason for Survey		CCTV Fully Comprehensive Survey		Survey Recorded Yes	
Pipe Dia	100mm	Run Length	9.22m	Foul / Surface	Combined
				Composition Clay	
Start Position		Inspection Chamber 2		End Position Inspection Chamber 3	
Invert Level		2300mm		Invert Level Not Confirmed	
Direction of Flow		Downstream		Surface Area Concrete	
Meterage	Code	%	Remark / Note		Image Supplied Y/N
0.00m			Start of Survey		Yes
0.11m	SRD		Scale/Residual Debris (Showing Signs of Previous Blockages)		Yes
9.22m			Reached Inspection Chamber 3 Defective Interceptor & End of Survey		Yes
Is the Drain Run in a serviceable condition?			No		
If No / Reason			<p>The survey revealed a defective interceptor within inspection chamber 3 & scale/residual debris within the drainage run.</p> <p>The defects are having a detrimental effect on the full drainage system which could deteriorate further if remedial repairs are not undertaken.</p> <p>If you have any further queries or questions in relation to any of the above noted defects please don't hesitate to contact the office on the number supplied on the covering letter.</p>		

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	4
Start Position	Inspection Chamber 2	End Position	Inspection Chamber 3		
Recommendations		Our recommendation are: 1) HPWJ to remove any scale/residual Debris 2) Excavate & Remove Interceptor (By means of Internal excavation) using approx 1m of New UPVC Pipe Work to Correct Alignment & Fall. 3) Insertion of a fibre resin linear liner (super sleeve) for approx 1m. 4) Install 4 Inch Stainless Steel Rat Blocker This will reinstate structural Integrity and create a Free Flowing drainage run All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard			
Works Guarantee		All lining works undertaken is guaranteed for 10 years & excavations 5 years			
Are there any Health & Safety issues		No			
Risk & Method Statement supplied		Will be supplied upon undertaking of works			
Any Special Site Requirements or Conditions		Will be supplied upon undertaking of works			
Specialist Plant Requirement		Will be supplied upon undertaking of works			
Repair Quotation Cost£		£1,700.00+ VAT			

**Images of CCTV Survey for Drainage Run:
IC 2 – IC 3**





The Professional Solution

Tel : 0208 979 5444

Email: info@expressdrainagesolutions.co.uk

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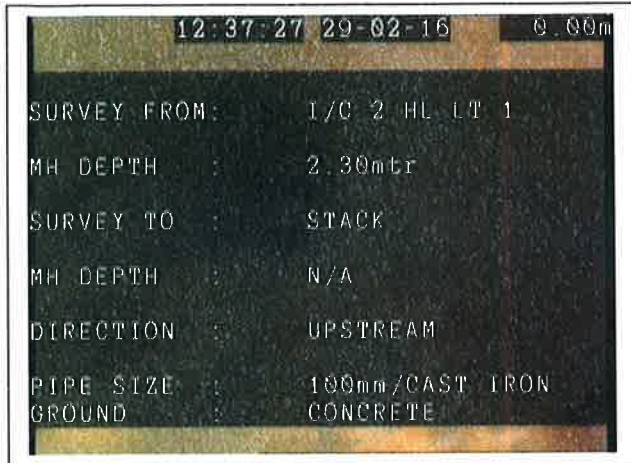
CCTV SURVEY REPORT

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842		
				Eng No:	NH559		
				Date:	04/03/2016		
				Sheet:	5		
Reason for Survey		CCTV Fully Comprehensive Survey			Survey Recorded	Yes	
Pipe Dia	100mm	Run Length	1.18m	Foul / Surface	Combined	Composition	Cast Iron
Start Position		Inspection Chamber 2		End Position		High Level Lateral 1 (Stack)	
Invert Level		2300mm		Invert Level		Not Confirmed	
Direction of Flow		Upstream		Surface Area		Concrete	
Meterage	Code	%	Remark / Note			Image Supplied Y/N	
0.00m			Start of Survey			Yes	
1.18m			Reached Stack & End of Survey			Yes	
Is the Drain Run in a serviceable condition?			Yes				
If No / Reason			The survey revealed no significant structural defects within the drainage run.				

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	5
Start Position	Inspection Chamber 2	End Position	High Level Lateral 1 (Stack)		
Recommendations		Our recommendation are: No Recommendations All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard			
Works Guarantee		All lining works undertaken is guaranteed for 10 years & excavations 5 years			
Are there any Health & Safety issues		No			
Risk & Method Statement supplied		N/A			
Any Special Site Requirements or Conditions		N/A			
Specialist Plant Requirement		N/A			
Repair Quotation Cost£		N/A			

**Images of CCTV Survey for Drainage Run:
IC 2 – High Level Lateral 1 (Stack)**



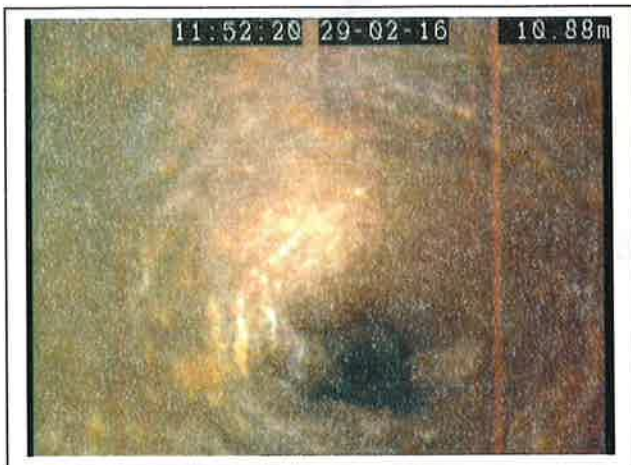
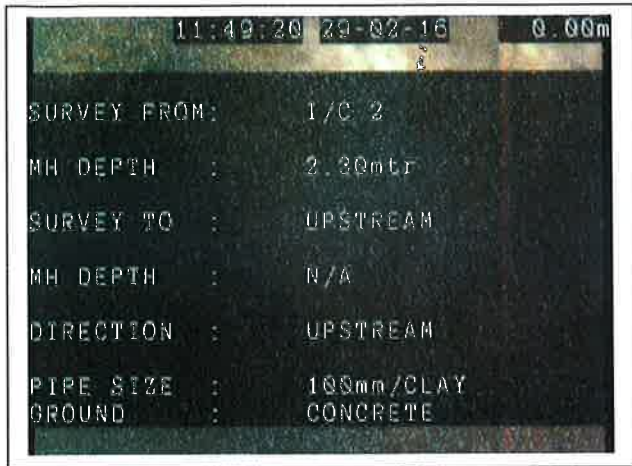
CCTV SURVEY REPORT

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No: 28842		Eng No: NH559	
				Date: 04/03/2016		Sheet: 6	
Reason for Survey		CCTV Fully Comprehensive Survey				Survey Recorded Yes	
Pipe Dia	100mm	Run Length	12.41m	Foul / Surface	Combined	Composition Clay/Cast Iron	
Start Position		Inspection Chamber 2		End Position		Upstream	
Invert Level		2300mm		Invert Level		Not Confirmed	
Direction of Flow		Upstream		Surface Area		Concrete	
Meterage	Code	%	Remark / Note			Image Supplied Y/N	
0.00m			Start of Survey			Yes	
1.89m	MC		Pipe Composition Changes to Cast Iron			Yes	
10.88m	EC		Encrustation & Corrosion			Yes	
12.41m	SA/EC	Severe	Survey Abandoned due to Encrustation & Corrosion			Yes	
Is the Drain Run in a serviceable condition?							
If No / Reason			<p>The survey was abandoned due to severe encrustation/corrosion @ 12.41m within the drainage run.</p> <p>The defects are having a detrimental effect on the full drainage system which could deteriorate further if remedial repairs are not undertaken.</p> <p>If you have any further queries or questions in relation to any of the above noted defects please don't hesitate to contact the office on the number supplied on the covering letter.</p>				

CCTV OVERVIEW/QUOTE

Invoice Address: Premier Basements, Unit 21, Tims Boartyard Timsway, Stains upon Thames TW18 3JY		Site: Premier Basements 12 Elsworthy Road London NW3 3DJ		Job No:	28842
				Eng No:	NH559
				Date:	04/03/2016
				Sheet:	6
Start Position	Inspection Chamber 2	End Position	Upstream		
Recommendations		Our recommendation are: 1) HPWJ with industrial chain flail to remove any encrustation/corrosion, then Re-CCTV to identify true remaining condition of the drainage run. (Any further work will be quoted accordingly) All works undertaken by EDS, is carried out by fully qualified operatives to the highest standard			
Works Guarantee		All lining works undertaken is guaranteed for 10 years & excavations 5 years			
Are there any Health & Safety issues		No			
Risk & Method Statement supplied		Will be supplied upon undertaking of works			
Any Special Site Requirements or Conditions		Will be supplied upon undertaking of works			
Specialist Plant Requirement		Will be supplied upon undertaking of works			
Repair Quotation Cost£		£225.00+ VAT			

**Images of CCTV Survey for Drainage Run:
IC 2 - Upstream**



Code Reference

SRD – Scale/Residual Debris
CL – Cracks. Longitudinal
CC – Cracks. Circumferential
CM – Cracks. Multiple
FL – Fractures. Longitudinal
FC – Fractures. Circumferential
FM – Fractures. Multiple
B – Broken Pipe Work
H – Hole in Drainage Run
D – Deformed Drain
XP – Collapsed Drain
DJ – Displaced Joint
OJ – Open Joint
S – Surface Damage
R – Roots
I – Infiltration
OB – Other Obstacles
WL – Water Level
CN – Lateral Connection
LX – Lining Defect
IC – Inspection Chamber
MH – Manhole
RE – Rodding eye
OF – Outfall
SA – Survey Abandoned
SC – Dimension Change in Drain
MC – Material Change in Drain
IL – Invert Level
LC – Lining of Drain
VR – Rat
CUW – Loss of Vision, Cover Underwater

Terms & Conditions

1. Definitions and Interpretation

The following definitions apply in these terms and conditions:

"Conditions" these terms and conditions. "Confirmation" our Confirmation of your order attached to these Conditions.
 "Contract" the Confirmation together with Conditions. "Customer" the person, firm or company who purchases work from the supplier.
 "Supplier" Express Drainage Solutions. "Work" the work and services to be provided by the Supplier under the Contract as set out in the Suppliers Confirmation or, (Where a Confirmation has not been Provided) the Quotation.

2. Limitations of the Report

- 2.1 It should be noted that the exact layout of the system cannot be confirmed without the exposure of inaccessible branches, connections and all other inaccessible sections.
- 2.2 A CCTV Survey alone should not be a guarantee of water tightness.
- 2.3 The Report is not a structural survey and must not be construed as such.
- 2.4 The Views expressed in this report are based entirely upon a visual examination of the drainage, supported by information from a drainage CCTV inspection and/or a water pressure test.
- 2.5 The drawing contained within or accompanying the report is not a scaled drawing and is for reference purposes only.

3. Rights of Originator

- 3.1 The report is for the sole use of the customer
 - 3.1.1 It must not be reproduced or transferred to any other third party without the express written consent of supplier.
- 3.2 This is a condition report of the drain/sewer at the time and date of the survey being carried out only.
- 3.3 We reserve the right to amend our opinions in the event of additional information being made available at some future date

4. Customer's Obligations

- 4.1 It is the Customer's responsibility to provide the Supplier, in sufficient time, with any information and instructions relating to the Work that is, or are, necessary to enable the supplier to provide the work in accordance with the contract.
- 4.2 The Customer shall inform the Supplier in writing in good time of any dangerous materials or hazards that may be present on the premises and which could constitute a danger to any person.
- 4.3 If the Customer fails to provide the information required in clause 4.2 above, or provide the Supplier with incomplete, incorrect or inaccurate information or instructions, the Supplier may:
 - 4.3.1 Make an additional charge of a reasonable sum to cover any extra work that is required; or
 - 4.3.2 Cancel the Contract by giving written notice to the Customer

5. Access

- 5.1 The Customer shall provide clear access to all drains, sewers, inspection covers and manholes to enable the Supplier to carry out the Work.
- 5.2 Where the Customer's drains are shared with third parties, the Supplier will request written permission from the relevant third party (ies) in the event that permission cannot be obtained, the Supplier will have the right to cancel the Contract and shall have no liability to the Customer in respect of any such cancellation.
- 5.3 The Customer shall obtain permission for the Supplier to proceed over the property belonging to third parties and/or to carry out work on property belonging to third parties where this is necessary for the proper execution of the Work.

6. Water and Power

- 6.1 The Customer shall provide all necessary power and a clean water supply from the mains or fire hydrant.
- 6.2 Where it is necessary for the Supplier to use a metered hydrant and supply controlled by the water authorities, the Supplier will invoice all charges made by that authority to the Customer and the Customer shall pay such charges within 7 days of receipt of the Supplier's invoice.

7. Work Guarantee

- 7.1 Subject to the following provisions of this Condition 7, The Supplier guarantees completed unblock and survey Work for a period of 28 days from the date of completion.
- 7.2 The Customer shall inspect the Work as far as it is reasonably possible immediately on completion of it and shall as far as reasonably practicable notify the supplier of any reason for believing that the work carried out by the Supplier is not in accordance with Contract within seven days of completion.
- 7.3 If the Customer fails to give such notice the Work shall conclusively be presumed free from any defects which would be apparent on reasonable examination of the Work.
- 7.4 The Supplier reserves the right not to carry out Work requested under the guarantee until the Supplier has been paid. The Supplier also reserves the right to delay or withhold performance of the guarantee where the Supplier has advised the Customer that, although clear, the drains need further work or have a possible fault.

8. Limitation of Liability – The Customer's Attention is particularly drawn to the provisions of this condition.

- 8.1 The Supplier warrants to the Customer that the Work will be provided using reasonable care and skill and, unless the Supplier is prevented by circumstances beyond its reasonable control, in accordance with the Confirmation
- 8.2 The Supplier shall have no liability to the Customer for any loss, damage costs, expenses or other claims for compensation arising from:
 - 8.2.1 Any information or instructions supplied by the Customer which is or are incomplete, incorrect or inaccurate; or
 - 8.2.2 Any failure by the Customer to obtain proper access over any property of any third party required in accordance with clause 5: or
- 8.2.3 Any damage or defect caused by any third party.
- 8.3 The Supplier shall have no liability to the Customer for any loss, damage costs, expenses or other claims for compensation arising from any indirect or consequential loss, damage or expenses.
- 8.4 The Supplier's Liability in respect of any other loss or damage shall be limited to the price paid by the Customer.
- 8.5 The Supplier shall not be liable to the Customer by reason of any delay in performing, or any failure to perform, any of its obligations in relation to the Work, if the delay or failure was due to:
 - 8.5.1 Any act of God, war, terrorism, power failure, or any other cause beyond the Supplier's reasonable control; or
 - 8.5.2 Any risk to health and safety or the environment, however, the Supplier will try to minimise any such problems where reasonably practicable.
- 8.6 The Supplier will not be liable for any fractured or frozen pipes and cannot guarantee to clear blockages occurring in a frozen pipe or drain.
- 8.7 Nothing in these Conditions affects any liability for death or personal injury caused by the Supplier's negligence or for fraudulent misrepresentation, or the Customer's statutory rights as consumer.

9. Data Protection

9.1 The Supplier will use personal information provided by the Customer for the purposes of:

- 9.1.1 Providing the Work;
 - 9.1.2 Carrying out marketing and statistical analysis and we may disclose your information to our service providers for these purposes;
 - 9.1.3 Informing the Customer by post or telephone about similar products and services provided by the Supplier and/or its related companies.
- 9.2 The Customer acknowledges and agrees that details of the Customer's name, Address and payment record may be submitted to a credit reference agency.
- 9.3 The Customer can correct any information, or ask for information about the Customer to be deleted, or opt-out receiving any marketing information by post or by telephone by giving written notice to the Supplier at the address, fax number or email address shown on the Confirmation and/or any customer satisfaction questionnaire provided.

10. General

- 10.1 If any provision (or part of a provision) of this contract is found by any court or administrative body of competent jurisdiction to be invalid unenforceable or illegal, the other provisions will remain in force.
- 10.2 If any invalid, unenforceable or illegal provision of this Contract would be valid, enforceable or legal if some part of it were changed, deleted, that provision will apply with whatever changes are necessary to make the relevant provision valid, enforceable and legal.
- 10.3 A delay by either party in acting on a breach of this Contract will not prevent the other party from taking action in respect of that breach or any subsequent breach of this contract.