

# LEV. 01. GROUND FLOOR. HEATAGE

DO NOT SCALE FROM DIMENSIONS  
 ROBERTS FOR PLANNING PURPOSES

Check and verify all dimensions on site before starting work or issuing drawings. All dimensions are to be taken from the centre of walls unless otherwise stated.

Figure of appointment, entry or enclosure is shown in the drawings. It is the responsibility of the client to ensure that all necessary permissions are obtained from the appropriate authorities.

Please visit the following in connection with this project: ARCHITECT: CHARTERS & CO ARCHITECTS LTD. PROJECT: 110/021/0001

Structure, components and workmanship are to suit the proposed alterations and to be in accordance with the relevant British and European standards.

Accessories or fittings to be shown on site. All details are to be checked by the contractor and approved by the architect.

Level drawings may need supporting walls and will require Level Building Consent.

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Break up existing new wall, door, windows etc. Make good all structure, etc. etc.

New brick x cavity wall construction each side of glazed doors, contrasted from boundaries lines.

New french doors and side windows. Structural Engineer to detail level if required.

Break out existing roof, doors, windows etc. Make good all structure, etc. etc.

Block up existing roof, doors, windows etc. Make good all structure, etc. etc.

Line of balcony to new glass roof.

Block up fireplace, provide fine ventilation grille.

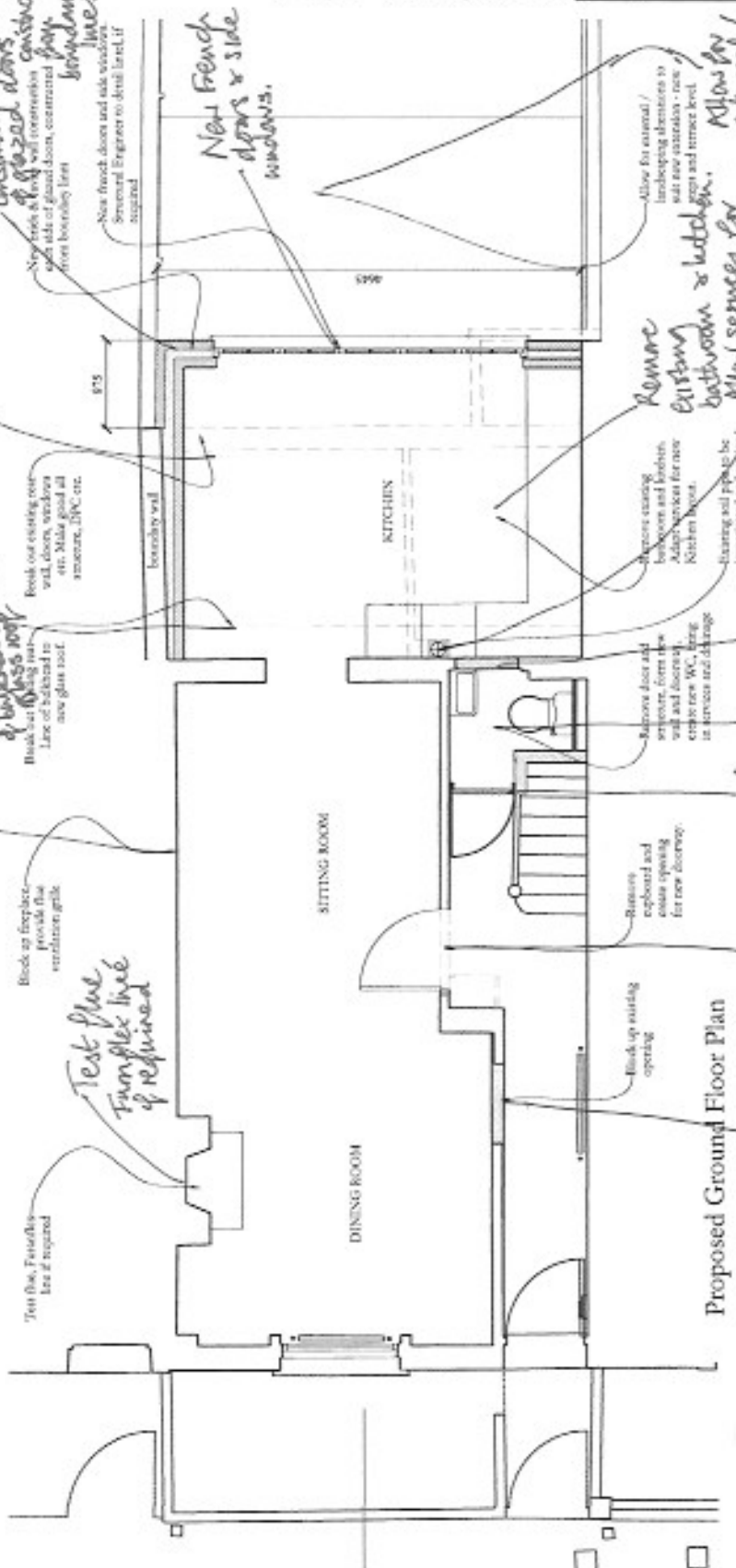
Test fine fireplace if required.

Block up fireplace provide fine ventilation grille.

Block up existing roof, doors, windows etc. Make good all structure, etc. etc.

Line of balcony to new glass roof.

Break out existing roof, doors, windows etc. Make good all structure, etc. etc.



Block up existing door

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Block up existing door

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

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Block up existing door

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

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Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Remove door and window, form new wall and door, create new WC, bring in services and drainage.

Revisions:

REV F - Conservatory wall position amended

REV E - new french door system shown

REV D - side window amended, Dining Room/Storage Room to full doors amended.

REV C - Ground revisions (DRAFT)

REV B - External doors amended to show one door and one window.

REV A - French doors replaced to 1100mm wide.

PLANNING	
GUY GOODFELLOW	
ARCHITECT AND ARCHITECTURAL DESIGNER	
15 LANGLEY STREET, LONDON, SE 2 6AL	
020 7715 2811	
020 7715 2812	
Level: 01	1:50 (1:100)
Project Name:	110/021/0001
Client:	110/021/0001
Date:	11/02/2014
Scale:	1:50 (1:100)
Sheet No.:	001
Project No.:	110/021/0001

For Scale 1:50

Create new WC under stairs & bring drainage & services.

Block up fireplace provide fine ventilation grille.

Block up existing roof, doors, windows etc. Make good all structure, etc. etc.

Line of balcony to new glass roof.

Break out existing roof, doors, windows etc. Make good all structure, etc. etc.

Proposed Ground Floor Plan

# LEV. 01.1. GROUND FLOOR. HERITAGE

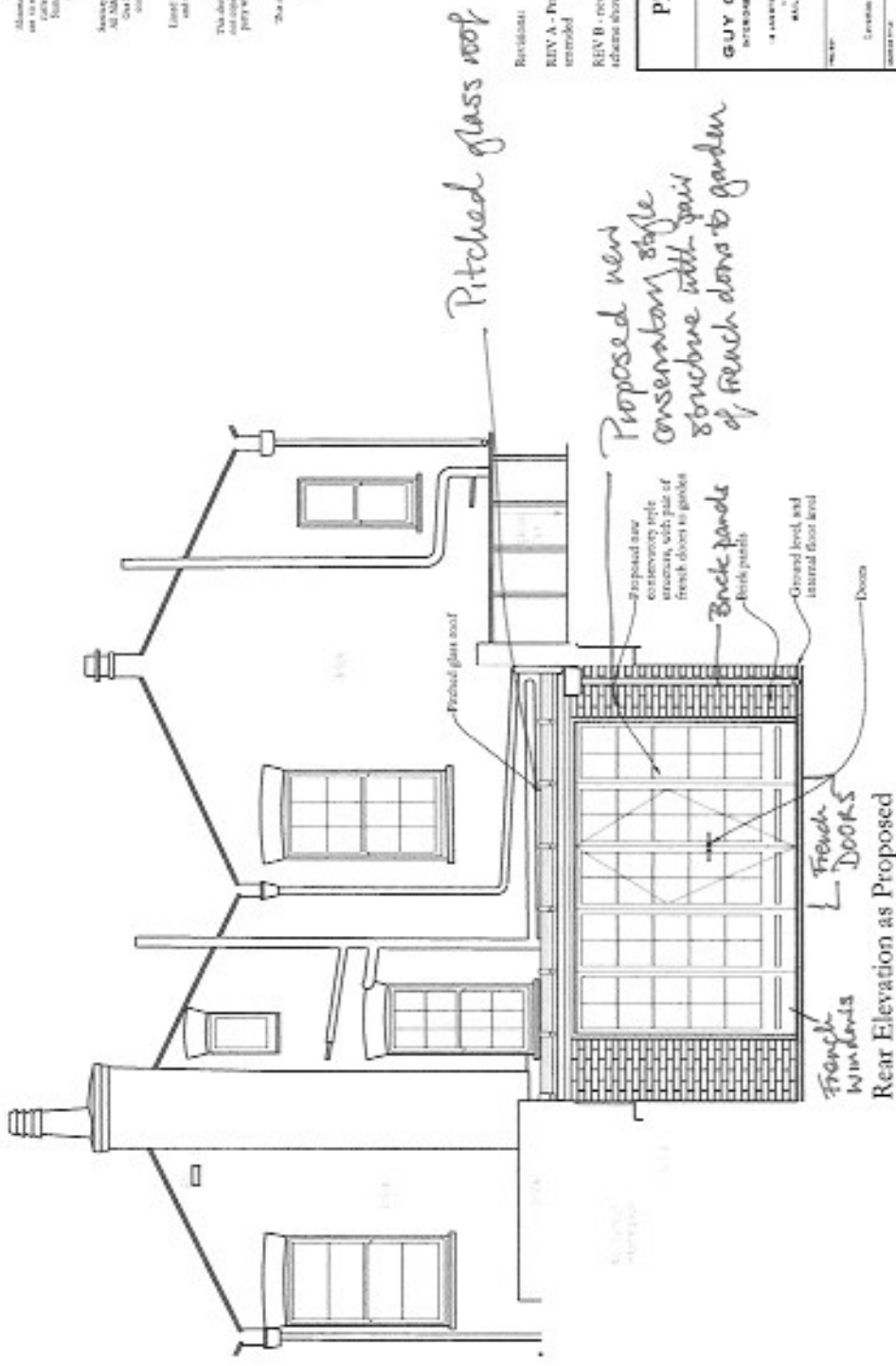
**DO NOT SCALE DIMENSIONS**  
**EXCEPT FOR PROPOSED FEATURES**

Check and verify all dimensions on site before starting work or building drawings. All dimensions shall be in metric unless otherwise stated.

Figure 2. Description, extent or construction of proposed features, or construction of other elements in the development. It shall include the following information:

- Name of the architect, contractor and other relevant parties.
- Location, extent and construction of the proposed features.
- Materials, components and construction to be used in the proposed features.
- Details of the proposed features, including any special requirements for the proposed features.
- Any other information relevant to the proposed features.

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Revisions:  
 REV A - Proposed with window layout amended  
 REV B - new French door & glass roof scheme shown

PLANNING	
<b>GUY GOODFELLOW</b> ARCHITECTS AND ARCHITECTURAL DESIGNERS	
1 SANDHURST STREET, SANDHURST, RG40 3EJ TEL: 01235 831111 FAX: 01235 831100 WWW.GUYGOODFELLOW.CO.UK	
Client:	Carveron Homes
Address:	Santhorpe Proposed Plot 2
Date:	1/20/2023
Scale:	1:100
Drawn by:	EG
Checked by:	GG
Project No.:	0251/23/001
Sheet No.:	8
ALL DIMENSIONS TO BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED ALL DIMENSIONS TO BE TAKEN FROM THE FACE UNLESS OTHERWISE SPECIFIED	



LEV. 02. FIRST FLOOR. HERITAGE

Form new opening and walls to create new shower room. Bring in new services and waste pipes

create new door

Form new opening and walls to create new shower room. Bring in new services and waste pipes.

replace tile-pr-like ceiling in bedroom

more door to 2nd bedroom (dressing room)



Proposed First Floor Plan  
July 1/10

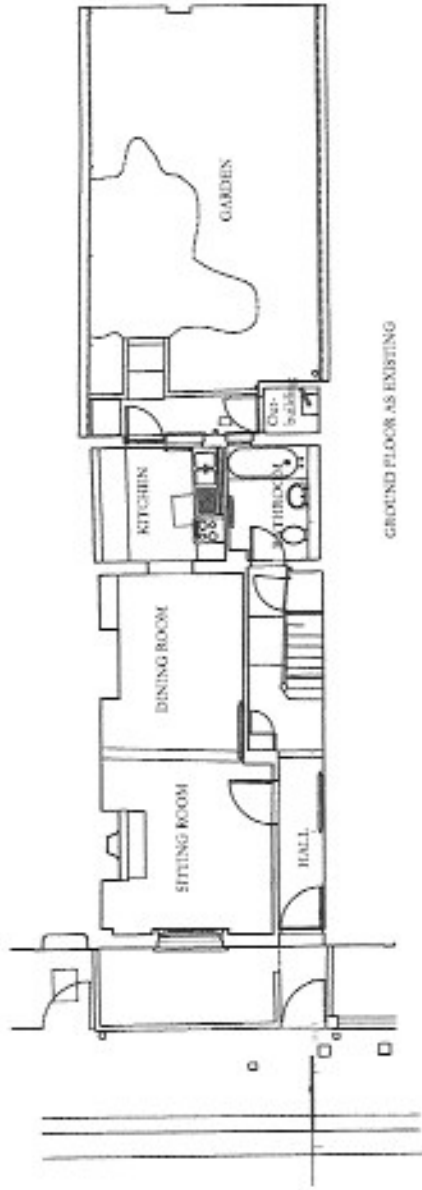
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Check and verify all dimensions on site before starting work to establish accuracy. All measurements are to finished surfaces unless otherwise noted.  
Report all discrepancies, omissions or omissions to the architect immediately and all other drawings to Guy Goodfellow Ltd.  
Please read the drawing in conjunction with all other documents, specifications and all other documents to Guy Goodfellow Ltd.  
Architect's responsibility  
Architect, contractor and subcontractor shall be responsible for the accuracy of all dimensions, building regulations, British Standards codes of practice, and the appropriate manufacturer's recommendations.  
Responsibility on drawing is subject only. All work alterations to be done by the contractor. See also the notes on the drawings.  
The drawing is based on conditions that are not stated, reported or assumed to exist. The contractor shall be responsible for all work.  
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New wall  
Demolition

- Revisions:
- REV. C - General revisions (DRAFT)
  - REV. B - Shower Room layout amended. 23rd December 2014
  - REV. A - Shower Room layout amended. All the bathroom added.

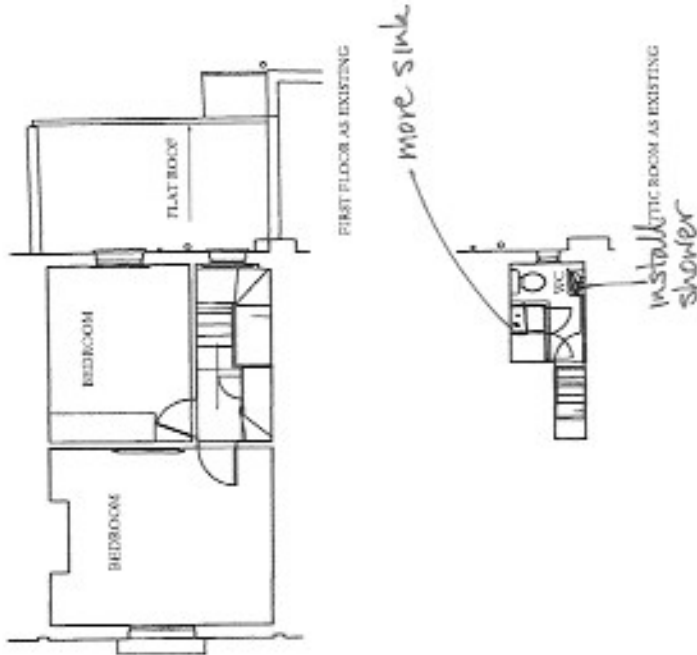
**GUY GOODFELLOW**  
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LEV. 01. ATTIC FLOOR



GROUND FLOOR AS EXISTING



FIRST FLOOR AS EXISTING

DO NOT SCALE THESE DRAWINGS EXCEPT FOR PLANNING PURPOSES

Check and verify all dimensions on the job. All dimensions are to be shown unless otherwise indicated. All measurements are to be taken from the exterior face of walls unless otherwise noted.

Notes of dimensions shall be indicated in metric. Dimensions shall include all other accessories to Guy Goodfellow Ltd. Please note the drawings are consistent with all other drawings and shall be taken from the architect's drawings.

Materials, components and workmanship are to be of the highest quality and shall conform to the standards of the British Standards Institution, BS 5400, BS 5401, BS 5402, BS 5403, BS 5404, BS 5405, BS 5406, BS 5407, BS 5408, BS 5409, BS 5410, BS 5411, BS 5412, BS 5413, BS 5414, BS 5415, BS 5416, BS 5417, BS 5418, BS 5419, BS 5420, BS 5421, BS 5422, BS 5423, BS 5424, BS 5425, BS 5426, BS 5427, BS 5428, BS 5429, BS 5430, BS 5431, BS 5432, BS 5433, BS 5434, BS 5435, BS 5436, BS 5437, BS 5438, BS 5439, BS 5440, BS 5441, BS 5442, BS 5443, BS 5444, BS 5445, BS 5446, BS 5447, BS 5448, BS 5449, BS 5450, BS 5451, BS 5452, BS 5453, BS 5454, BS 5455, BS 5456, BS 5457, BS 5458, BS 5459, BS 5460, BS 5461, BS 5462, BS 5463, BS 5464, BS 5465, BS 5466, BS 5467, BS 5468, BS 5469, BS 5470, BS 5471, BS 5472, BS 5473, BS 5474, BS 5475, BS 5476, BS 5477, BS 5478, BS 5479, BS 5480, BS 5481, BS 5482, BS 5483, BS 5484, BS 5485, BS 5486, BS 5487, BS 5488, BS 5489, BS 5490, BS 5491, BS 5492, BS 5493, BS 5494, BS 5495, BS 5496, BS 5497, BS 5498, BS 5499, BS 5500.

As shown on drawings is subject to change at any time without notice. All dimensions are to be taken from the exterior face of walls unless otherwise noted.

Level of buildings may vary and drawings are to be taken from the exterior face of walls unless otherwise noted.

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Revised: REV X - SURVEYED BY OTHERS

<b>PLANNING</b>	
<b>GUY GOODFELLOW</b> INTERIOR AND ARCHITECTURAL DESIGN	
15 SANDERS STREET, LONDON, W8R 6AA TEL: 020 8947 4951 FAX: 020 8947 4952 WWW.GUYGOODFELLOW.CO.UK	
PROJECT	ELVERTON STREET
DRAWING TITLE	PLANS - AS EXISTING
DATE	1 DEC 05
DATE REVISED	FEB 2015
DRAWN BY	COLLETT 200
CHECKED BY	
BY APPROVAL OF OTHERS GUY GOODFELLOW LTD 15 SANDERS STREET, LONDON, W8R 6AA TEL: 020 8947 4951 FAX: 020 8947 4952 WWW.GUYGOODFELLOW.CO.UK	