

MALDEN ROAD, KENTISH TOWN

LAND AT MALDEN ROAD, KENTISH TOWN, CAMDEN

WASTE MANAGEMENT STRATEGY – MARCH 2016

1. Introduction

- 1.1 This document has been prepared to accompany a planning application submission to Camden Council (CC) for a residential development comprising of 9 residential units on land at Malden Road, Kentish Town, London.

2. Site Location

- 2.1 The site is located on the western side of Malden Road (B517). It shares its boundaries with the Fiddler's Elbow public house and residential property to the south, and residential properties to the north and west. The residential property to the north also includes ground floor commercial / retail premises. Immediately west of the site is a children's play area. There is also a pedestrian route along the northern boundary of the site which provides pedestrian access to the rear of the site.
- 2.2 The site has no vehicular access, and has double yellow line road markings along the site frontage on Malden Road which give way to single yellow road markings at the north east corner of the site for a distance of approximately 15m, and is within the West Kentish Town CA-L (Outer) CPZ where loading at the site frontage is restricted to a maximum of 40 minutes between the hours of 0830 – 1830 Monday – Friday.
- 2.3 To the south of the site, Prince of Wales Road forms the northern boundary of the Camden Town NW CPZ which is in operation 0830 – 2300 Monday – Friday and 0930 – 2300 Saturday – Sunday.
- 2.4 A site context plan is attached at **Appendix A**.

3. Development Proposals

- 3.1 The proposed development consists of 8 two-bedroom and 1 three-bedroom residential units.
- 3.2 Refuse collection and servicing will take place on-street from Malden Road at the site frontage, where there are single yellow lines where vehicles can wait while refuse is being collected. A site layout plan is attached at **Appendix B**.

4. Waste Management Strategy

- 4.1 In preparing the strategy, reference has been made to the Camden Planning Guidance CPG1 – Design document; page 91 indicates that for residential uses, an allocation of 100L per unit is required with 50% of the total provision allocated to recycling.

Storage Requirements

- 4.2 The above guidance indicates the development requires a minimum of 900L of refuse storage. The proposed development will provide:

	Refuse	Recyclables	Total
Residential units	1 x 1100 L	1 x 1100 L	2200 L

- 4.3 Each unit will have the capacity for internal storage for residents with facilities to separate out waste into two different containers - one for recyclable and one for non-recyclable waste (residual waste).
- 4.4 The refuse store will be located on the ground floor of the development, and accessed from the northern footpath.

Collection

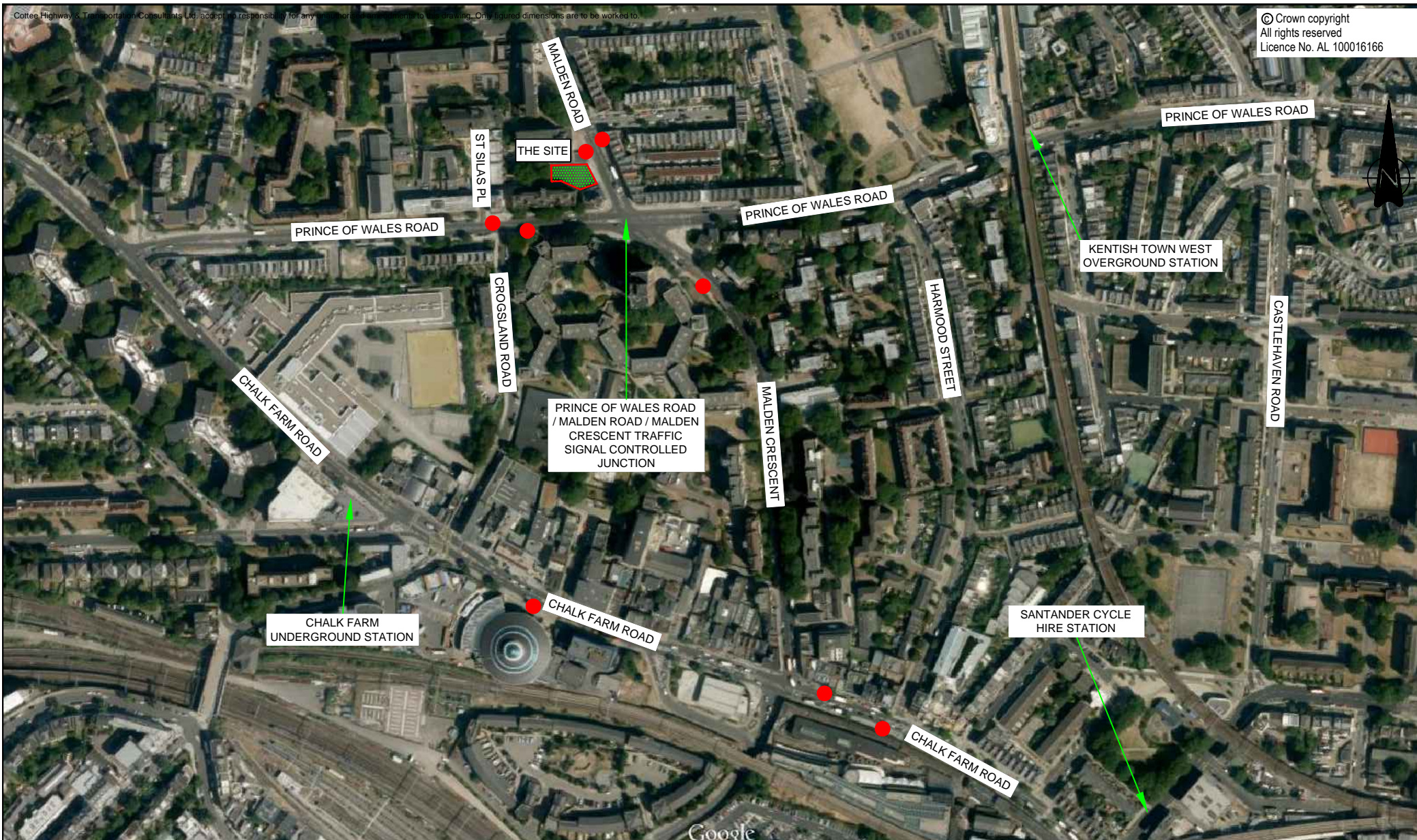
- 4.5 The bin storage area will not be accessible to the public with the refuse store located at the northern boundary of the development and accessed by a secure rolling shutter arrangement from the footpath.
- 4.6 Bins will be wheeled to the front of the site on the appropriate days when refuse vehicles will collect on-street from Malden Road opposite the site frontage.

5. Conclusion

- 5.1 This document explains how this development is capable of providing sufficient refuse and recycling facilities to ensure it complies with guidance provided by Camden Council Design and Planning documents.

APPENDIX A

SITE CONTEXT PLAN



Drawn A FIRMIN		Checked GJK		Project GOLDCREST LAND PLC		 Transport Planning		KEY: INDICATIVE SITE BOUNDARY 	
Scale NTS		Date AUGUST 2015		MALDEN ROAD KENTISH TOWN, CAMDEN		Fir Lodge Threshfords Business Park Feering Essex CO5 9SE		BUS STOP 	
Drawing No. 14113/2				SITE CONTEXT PLAN		Tel : 01376 573400 Fax : 01376 573480 email : info@cottee-tp.co.uk www.cotteetransportplanning.co.uk			

APPENDIX B

SITE LAYOUT

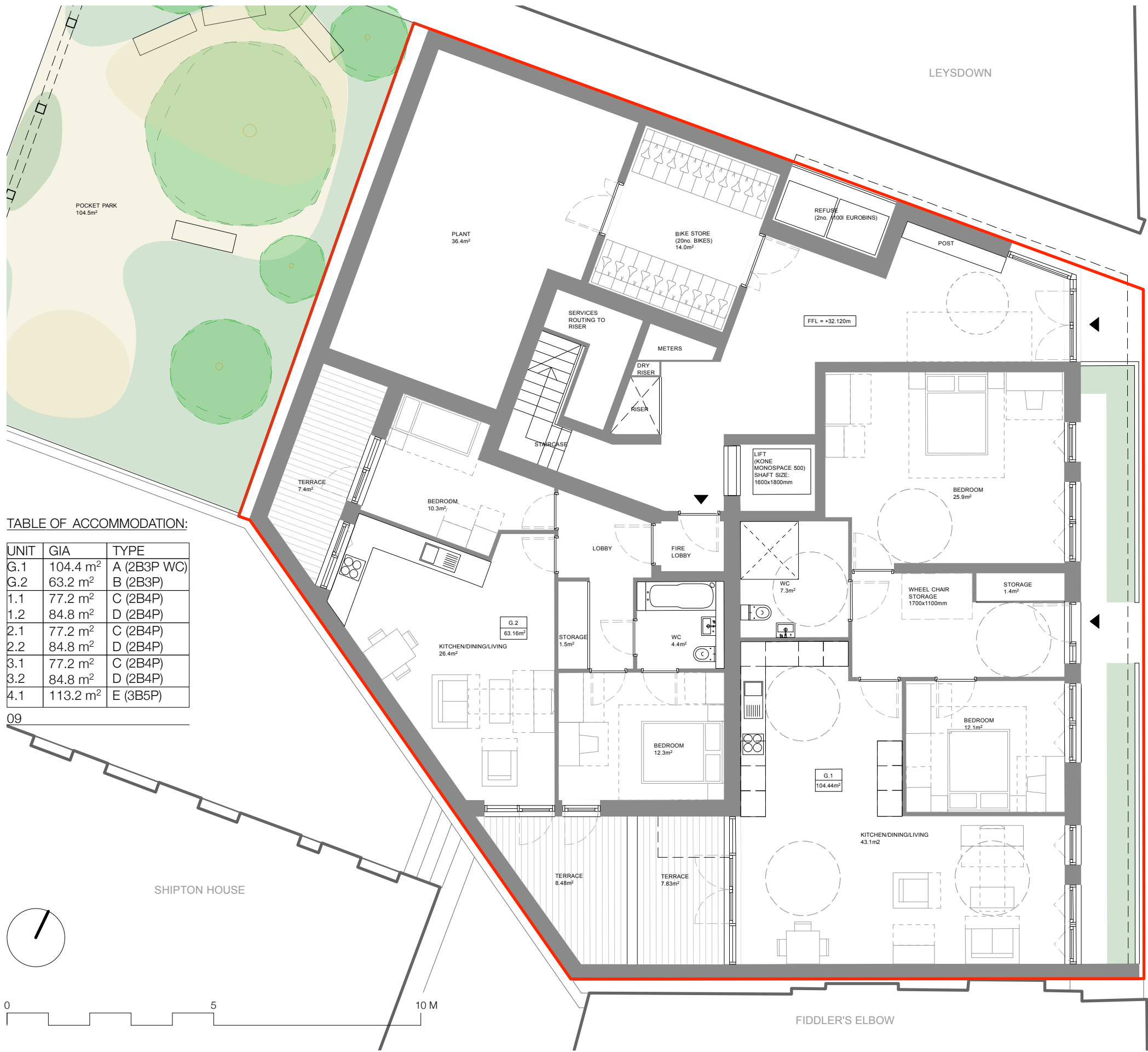
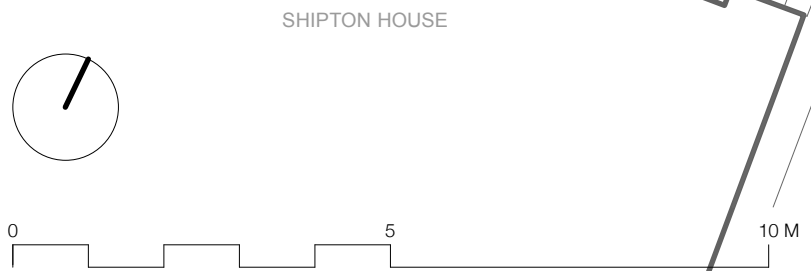


TABLE OF ACCOMMODATION:

UNIT	GIA	TYPE
G.1	104.4 m ²	A (2B3P WC)
G.2	63.2 m ²	B (2B3P)
1.1	77.2 m ²	C (2B4P)
1.2	84.8 m ²	D (2B4P)
2.1	77.2 m ²	C (2B4P)
2.2	84.8 m ²	D (2B4P)
3.1	77.2 m ²	C (2B4P)
3.2	84.8 m ²	D (2B4P)
4.1	113.2 m ²	E (3B5P)

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MALDEN ROAD

STATUS: PLANNING
SCALE: 1:100 @ A3
DATE: MARCH 2015

DRAWING NO: 1601_P_200
TITLE: PROPOSED GROUND FLOOR PLAN
PROJECT: **MALDEN ROAD, LONDON**



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