

HD	Heat detector
SD	Smoke detector
FD-30	Half hour protection door

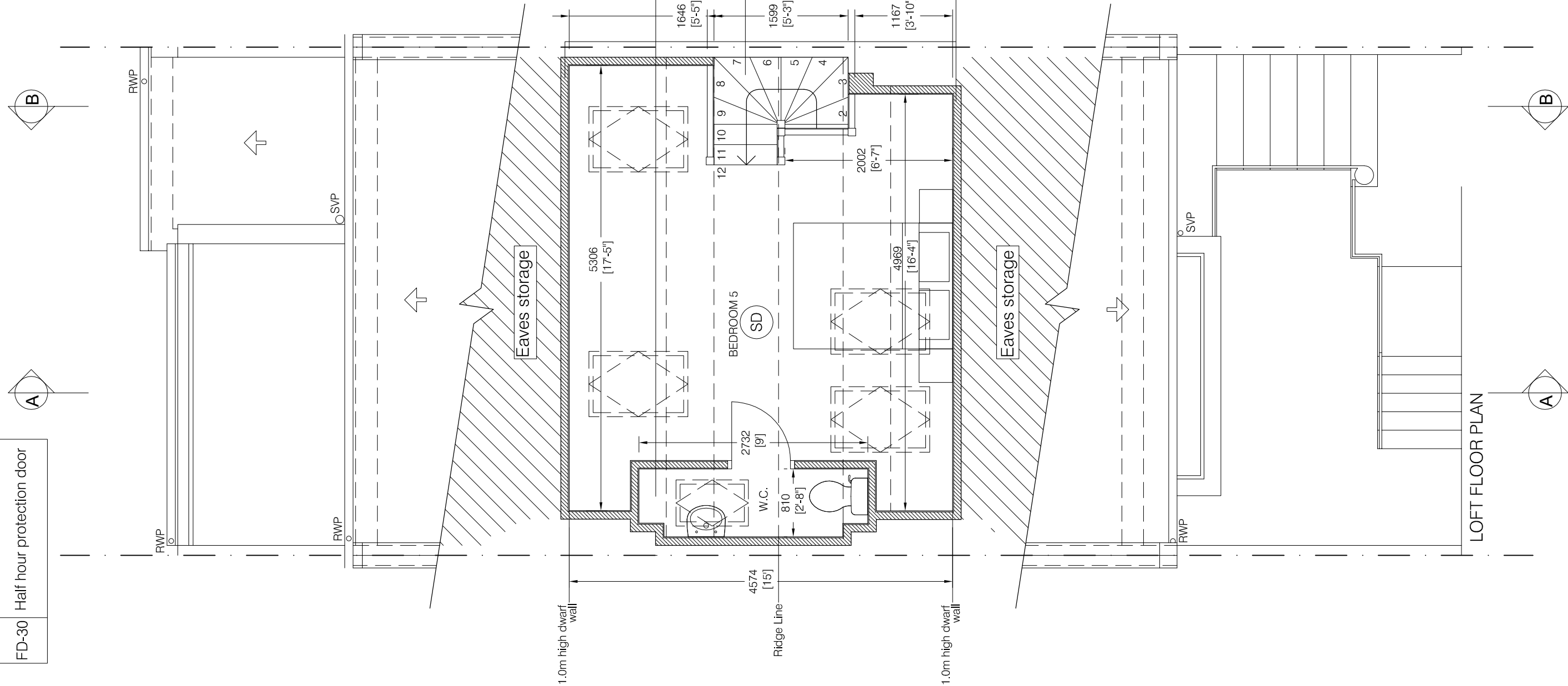
Saniflo may be required. TBC on site. This is not included in the contract.

Additional fire protection may be needed (i.e. Misting system) to be checked by BCO before work commences, this is not included at this time.

Possible extra works:
 - Rebuild brick work to front balcony in red brick to match, insert 1 steel, strip and re-lay Ashfelt or similar to new deck and replace iron railings.
 - £3800.00 (this is in addition to the loft contract value)

Provide LD1 Fire Alarm System to all habitable/circulation areas. Provide Smoke Detectors to all rooms and landings as indicated and Heat Detector in Kitchen. System to be on a separate circuit and have battery back up.

Note: To comply with BCO it may be required:
 - to upgrade an escape window at 1st floor;
 - to update all doors to remaining habitable rooms. If existing doors & frames are in a good condition it may be possible to coat them with fire paint or similar product. If required, additional costs may then apply



Sanitary-ware positions to be confirmed on site by client and subject to site constraints

New softwood staircase with Cut Stair String, Match existing handrail, spindles and newel post.

2x flush doors to eaves storage position to be confirmed on site by the client.

LOFT FLOOR PLAN

This drawing is not to be scaled for construction purposes. Any dimensions provided on these drawings, and the general layout, can only be considered approximate until such time as the structural floor and ridge steel have been placed in position by the building contractors. The architect is unable to foresee various site factors until the roof structure is exposed and the suspended floor has been installed. The customer should not order any custom-made items, or incur and similar costs, until such time as dimensions can be checked and verified on site.

Date	Note	Rev	Notes	Project	Scale	Drawn	PF	Checked	RG	Authorised	SM
			The internal clear loft height shown is indicative of the final height to be achieved, but cannot be seen as final until such time as the existing roof void is opened up and the final position of the structural floor fully set. This can result in the overall internal clear height being either higher or lower than that shown here but the maximum height of the roof cannot be any higher than that of the existing ridge. All new side windows will be of obscured fixed glass below 1.7m from the FFL. All materials used in any exterior work shall be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse. The rear face of the main dormer and the side face of the rear addition dormer (where applicable) are to be set back a minimum of 200mm from the face of the respective wall below.	6 Croftdown Road London NW5 1EH	1:50 @ A3 1:25 @ A1	22.12.2015		22.12.2015		22.12.2015	
				Client Dennis Johnston - Webber 6 Croftdown Road London NW5 1EH	Drawing No. 2015-12-1236-07 Opt. 2					Rev. -	
				Drawing Title Proposed Loft floor plan							

