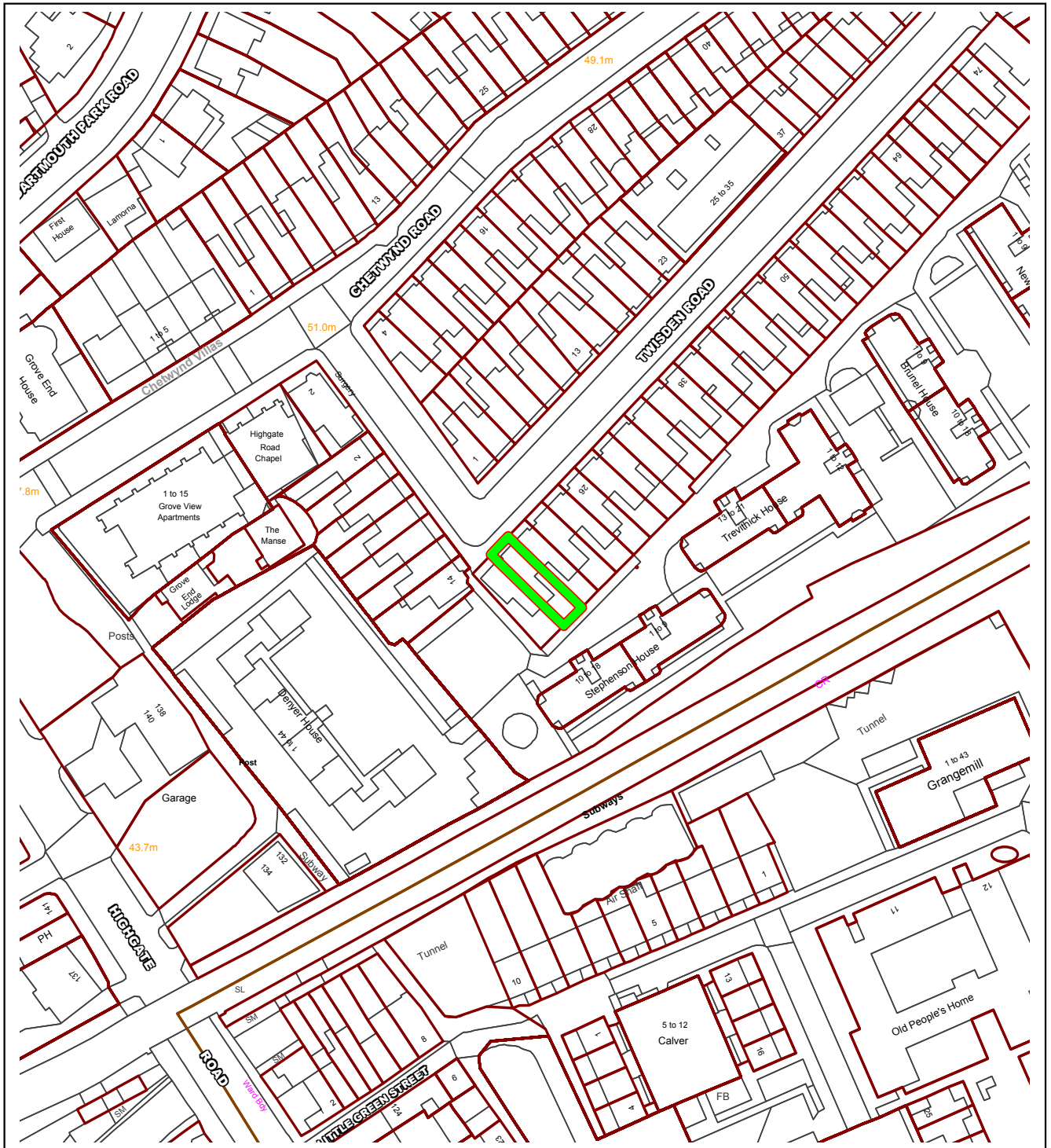


18 Twisden Road - 2016/0643/P



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18 Twisden Road - 2016/0643/P



Existing front elevation, no changes proposed



Existing rear elevation, 18 Twisden Road



Existing rear elevation, 18 Twisden Road



Looking north towards no. 20 Twisden Road



Looking north towards no. 20 Twisden Road

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	31/03/2016
		N/A		Consultation Expiry Date:	01/04/2016
Officer			Application Numbers		
Anna Roe			2016/0643/P		
Application Address			Drawing Numbers		
18 Twisden Road London NW5 1DN			Please see draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal					
Erection of single storey side infill extension to the rear at ground floor level.					
Recommendation:	Grant Conditional Planning Permission				
Application Type:	Full Planning Permission				

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	02	No. of responses	01	No. of objections	01
			No. Electronic	00		
Summary of consultation responses:	<p>Advertisement in Ham & High 10/03/16, expired 31/03/16.</p> <p>Site notice displayed 04/03/16, expired 25/03/16.</p> <p>Consultation period 01/03/16 – 22/03/16.</p> <p>The owner/occupier of no. 16 Twisden Road objected to the application. The neighbouring occupiers comments are summarised below:</p> <ol style="list-style-type: none">1. The basement works are a major concern and could cause movements of the party walls, leading my property to become unstable.2. I am worried about the noise, disruption and dust such works will cause on my quality of life. <p>Officers response:</p> <ol style="list-style-type: none">1. <i>The proposed basement extension no longer forms part of this application.</i>2. <i>Problems arising from the construction period of any works, e.g. noise, dust, hours of working (covered by Control of Pollution Acts)</i>					
CAAC comments:	<p>The Dartmouth Park Conservation Area Advisory Committee (CAAC) objected to the application on the following grounds:</p> <ol style="list-style-type: none">1. The infill is contrary to policy i.e. that the infill should be distinctive from the original building. Instead, it had a common glazed front to the garden, so that it is impossible to distinguish the infill from the rest of the façade. It will also contribute to light spillage.2. The proposed glazed roof of the infill is wholly unacceptable: it would produce serious light spillage over extended periods, as this forms part of a major living room.3. The situation about the basement, cellar, family room or lower ground floor as variously described is quite obscure. Whether this would be of height adequate for a habitable room is unclear, as no dimensions are given. Since the loft appears previously to have been converted (again the height is unclear), the volume of extensions will probably be more than the volume of the original house, and whether that can be 'permitted development' is doubtful.4. The DPCA Appraisal and Management Statement notes the special quality and uniformity of the houses in Twisden Road. This uniformity is particularly conspicuous in the front street facades. This ambiguous application would seem to harm that uniformity, and					

thereby harm the CA.

Officers response:

- 1. The proposed rear extension has been re-designed to help differentiate between the historic building and new addition. Please see section 4 of this delegated report.*
- 2. A condition has been attached requiring the roof to be obscurely glazed in order to protect residential privacy and amenity.*
- 3. The proposed basement extension no longer forms part of this application.*
- 4. The proposed front lightwell no longer forms part of this application as it was considered detrimental to the character and appearance of the houses in Twisden Road and wider Dartmouth Park Conservation Area.*

Site Description

The application site located on the eastern side of Twisden Road and comprises a two storey terraced house (with cellar) currently in use as a single dwelling house.

The property is located in the Dartmouth Park conservation area and is identified as making a positive contribution to the character and appearance of the conservation area.

The area is characterized as residential and consists of terraced Victorian houses with traditional brick facades notable for their regularity of detail.

The front gardens are characterised by low walls and hedged boundaries which help to maintain the open character.

There are a number of side return infill extensions in the immediate vicinity of a comparable scale, bulk and massing.

Relevant History

18 Twisden Road – No relevant planning history

Neighbouring Properties - Twisden Road

24 Twisden Road

2014/0962/P - Single storey side infill and rear extension following demolition of existing extension at rear. Granted 25/03/2014.

2 Twisden Road

2007/2825/P - Erection of a single-storey rear extension to lower ground floor flat (Class C3). Granted 10/09/2007.

60 Twisden Road

2007/1936/P - Erection of a single storey rear extension to single family dwelling house (C3). Granted 23/07/2007.

Relevant policies

National Planning Policy Framework, 2012

The London Plan 2015

LDF Core Strategy, 2010

CS5 Managing the impact of growth and development

CS14 Promoting high quality places and conserving our heritage

Camden Development Policies, 2010

DP24 Securing high quality design

DP25 Conserving Camden's heritage

DP26 Managing the impact of development on occupiers and neighbours

Camden Supplementary Planning Guidance

Camden Planning Guidance

Dartmouth Park Conservation Area Statement, 2008

Assessment

1. Proposal

1.1 Planning permission is sought for the erection of a single storey, infill extension.

1.2 The proposed extension would have a depth of 5.7 metres; a width of 2.3 metres and a sloping roof which pitches down to 2.5 metres at the boundary with no.20 (to the north).

2. Amendments

2.1 The following revisions were made to the drawings in response to feedback from Officers:

- The proposed front lightwell and basement extension no longer forms part of this application.
- The proposed rear extension has been re-designed to help to differentiate between the historic building and new addition. A shadow gap and sloping roof have been introduced and the fenestrations revised to help distinguish between the original and proposed fabric.

3. Assessment

3.1 The principle issues considered to determine this application are summarised as below:

- Visual impact upon the character and appearance of the host building and Dartmouth Park Conservation Area.
- Impact on the residential amenities of any neighbouring occupiers

4. Design and Conservation

4.1 Chapter 4 of Camden Planning Guidance 1 (Design) states that 'rear extensions should be secondary to the host building in terms of form, scale, proportions and detailing and respect the existing pattern of rear extensions in an area' and that side extensions should be 'set back from the main building'. This is further supported by the Dartmouth Park Conservation Area Statement, which states that 'the original historic pattern of rear elevations within a street or group of buildings is an integral part of the character of the area and as such rear extensions will not be acceptable where they would diverge significantly from the historic pattern'.

4.2 The proposed extension is considered subordinate to the original building in terms of its height and width and is considered to respect the existing pattern of rear extensions within Twisden Road. A shadow gap/small setback has been introduced to help differentiate between the historic and proposed new fabric, in accordance with Chapter 4 of Camden Planning Guidance 1 (Design).

4.3 The key characteristic of the rear elevation of the host property is the existing rear outrigger

which makes a positive contribution to the appearance of the property and the terrace overall. The sloped roof of the proposed side return infill extension references the pitch of the existing rear outrigger, respecting the properties existing architectural features.

- 4.4 The proposed extension would be constructed from a mix of traditional and modern materials including, rendered brick and aluminium framed sliding doors. The brickwork would reflect the finish elsewhere on the property. The glazing/sliding doors would give the extension a modern, lightweight appearance and by virtue of their location at ground floor level would not detract from the properties positive contribution to the Conservation Area. Furthermore, the fenestration pattern has been revised to enable the proposed extension to be read as a new addition.
- 4.5 The proposed glass roof to the ground floor extension would not be visible from the wider public realm by virtue of its positioning and would create a separation between the existing outrigger and new addition, enabling it to be read as a modern addition. It should also be noted that the roof has been designed to preserve the properties existing architectural features and would not to interfere with the windowsill on the rear elevation.
- 4.6 The extension would allow for the retention of a reasonable proportion of the rear garden/amenity space (approximately 27 square metres).
- 4.7 A Conservation Officer was consulted and no objection was made. Therefore, it is considered that the proposed alterations would not harm the character and appearance of the host building or the wider conservation area.
- 4.8 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

5. Residential Amenity

- 5.1 Policy CS5 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Furthermore, Policy DP26 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents.
- 5.2 The proposed side return infill extension would not impact on the amenity of the neighbouring occupier to the south (no.16) by virtue of its scale and position, set back from the existing rear outrigger.
- 5.3 The proposal is considered to impact upon the amenity of the neighbouring occupier to the north (no. 20) in terms of loss of natural light to the kitchen, however the impact is not considered detrimental enough to warrant refusal. It should be noted that efforts have been made to mitigate the impact, by introducing a roof which pitches down from 3.2 to 3 metre at the boundary with no.20.
- 5.4 Concerns have been expressed regarding light spill from the proposed glazed roof; a condition has been attached requiring the roof to be obscurely glazed in order to protect residential privacy and amenity.

Recommendation

Grant planning permission.

DISCLAIMER

Decision route to be decided by nominated members on Monday 11th April. For further information please go to www.camden.gov.uk and search for 'members briefing'

Ms Leena Barhoush
Form London Ltd
235 Netherwood Street
London
NW6 2JX

Application Ref: **2016/0643/P**

Please ask for: **Anna Roe**

Telephone: 020 7974 1226

6 April 2016

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
**18 Twisden Road
London
NW5 1DN**

DECISION

Proposal: Erection of single storey side infill extension to the rear at ground floor level.

Drawing Nos: Site location plan; design and access statement; 284 009-A; 284 010-B (dated 13/03/2016); 284 050-A; 284 051-A; 284 060 (dated 14/03/2016); 284 061 (dated 14/03/2016); 284 062 (dated 14/03/2016); 284 009-B (dated 18/03/2016); 284 0100-F (dated 18/03/2016); 284 0150-E (dated 18/03/2016); 284 0151 A; 284 0161 (dated 18/03/2016); 284 0162 (dated 18/03/2016).

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Director of Culture & Environment



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: Site location plan; design and access statement; 284 009-A; 284 010-B (dated 13/03/2016); 284 050-A; 284 051-A; 284 060 (dated 14/03/2016); 284 061 (dated 14/03/2016); 284 062 (dated 14/03/2016); 284 009-B (dated 18/03/2016); 284 0100-F (dated 18/03/2016); 284 0150-E (dated 18/03/2016); 284 0151 A; 284 0161 (dated 18/03/2016); 284 0162 (dated 18/03/2016).

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Before the development hereby permitted is first occupied the roof shall be glazed with obscure glass only and shall be permanently maintained with obscure glazing at all times thereafter.

REASON: In the interests of residential amenity and privacy.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Director of Culture & Environment

DRAFT

DECISION