

Proposed Front West Elevation



Proposed Section B-B







Proposed Rear East Elevation



Proposed Section B-B

Site Plan @ 1:2000

Price of Wales Road

Demolition & Proposed Key:

Existing structure/Removal of existing structure in elevation

Hatch denotes proposed removal of existing structure in elevation

Existing Rubber floor Finish

Existing Tile floor finish

Line denotes removal of existing structure

Hatch denotes proposed removal of existing structure in section

Existing Carpet floor Finish

Proposed Key:

Proposed structure

Proposed paving slabs

Proposed brick

Proposed pavement lights

Proposed solum

Proposed attenuated louvers

Demolition Notes:

Existing building to be demolished

Proposed basement excavation

Proposed Notes:

01 Portland stone cladding. Please refer to P\_14 & 15 Proposed Front Material Elevations

02 Brickwork. Please refer to P\_14 & 15 Proposed Front Material Elevations

03 Double-glazed, anodised aluminium framed doors to glass curtain walling

04 Double-glazed, anodised aluminium, restricted tilt, framed windows to elevation

05 Louvered and vented screen in powder coated aluminium. Acoustically attenuated as required

06 Related brickwork

07 Double-glazed, anodised aluminium framed doors, Juliet balcony and associated metal balustrade as shown in elevation

08 Basement structure. Please refer to structural design and BIA (PymmarBrook)

09 Residential core not accessible at this level

10 Dashed lines denote indicative office layouts

11 Lift overrun

12 Fixed through planter

13 Metal balustrade P\_14 & 15 Proposed Front Material Elevations

14 Access gate

15 Section roof

16 Proposed Bat Boxes

17 Double-glazed, anodised aluminium framed doors to elevation

18 Double-glazed, anodised aluminium, restricted tilt, framed window

19 Flat Roof

20 Timber privacy screen

21 Double-glazed, anodised aluminium sliding doors

22 Proposed retractable canvas awnings

23 Acoustically attenuated plant enclosure

# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:50@ A1/1:100 @ A3

Project 152-156 Kentish Town Road

Drawing Title: Proposed Rear East Elevation - Material Bay

Drawing No. P\_16 Rev.

Drawn	CK	Approved	MW	Signed	-
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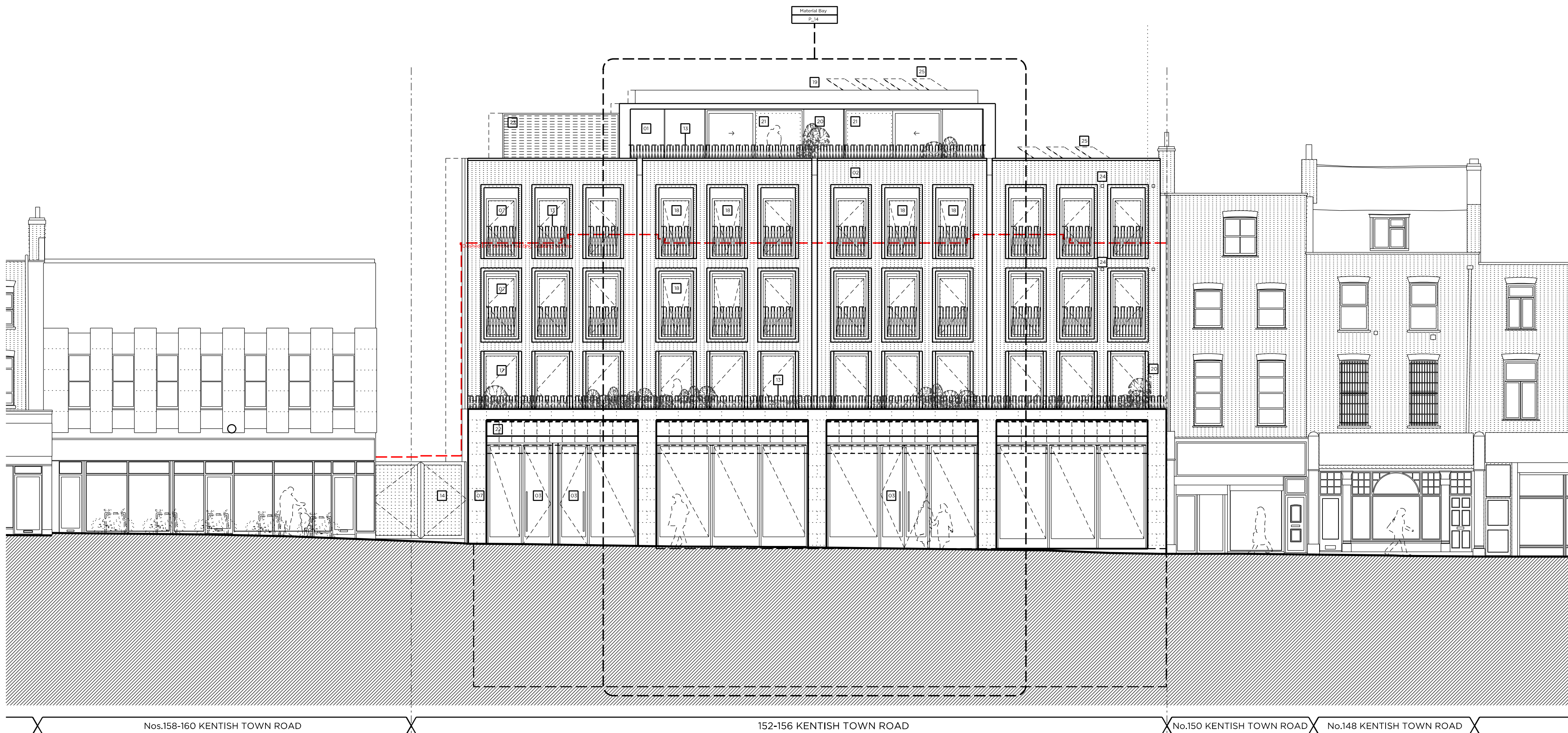
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0 0.25m 1m 2m 3m 4m 5m





DEMOLITION FRONT (WEST) ELEVATION



PROPOSED FRONT (WEST) ELEVATION

Site Plan @ 1:2000

Demolition & Proposed Key:

- Existing structure/ground
- Match demolition proposed removal of existing structure to elevation
- Existing Rubber floor
- Existing Tile floor finish
- Like denotes removal of existing structure
- Like denotes removal of existing structure
- Match demolition proposed removal of existing structure to elevation
- Existing Carpet floor

Proposed Key:

- Proposed structure
- Proposed paving slabs
- Proposed brick
- Proposed pavement lights
- Proposed section
- Proposed attenuated basins

Demolition Notes:

- Existing building to be demolished
- Proposed basement excavation

Proposed Notes:

- Portland stone cladding. Please refer to P\_14 & P\_15 Proposed Front Material Elevations
- Brickwork. Please refer to P\_14 & P\_15 Proposed Front Material Elevations
- Double-glazed, anodized aluminium framed doors to glass curtain walling
- Double-glazed, anodized aluminium, restricted 80, framed windows to elevation
- Louvered and vented screen in powdered coated aluminium, acoustically attenuated as required
- Relevant brickwork
- Double-glazed, anodized aluminium framed doors, upper balcony and associated metal balustrade as shown on elevation
- Basement structure. Please refer to structural design and BIA (Plumstead)
- Residential core not accessible at this level
- Grated floor, please indicate offset layout
- Uth covers
- Fixed through planter
- Material balustrade, P\_14 & P\_15 Proposed Front Material Elevations
- Access gate
- Section roof
- Proposed Bat Boxes
- Double-glazed, anodized aluminium framed doors to elevation
- Double-glazed, anodized aluminium, restricted 80, framed window
- Flat roof
- Timber privacy screen
- Double-glazed, anodized aluminium sliding doors
- Proposed retractable canvas awnings
- Acoustically attenuated plant enclosure
- Vent
- Refer to Sustainability Statement by Council for site & quantity of PVP

Rev A 04.03.16 Issued for Planning

# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Demolition and Proposed Front West Elevations

Drawing No. P\_08 Rev. A

Drawn MWh Approved MW Signed -

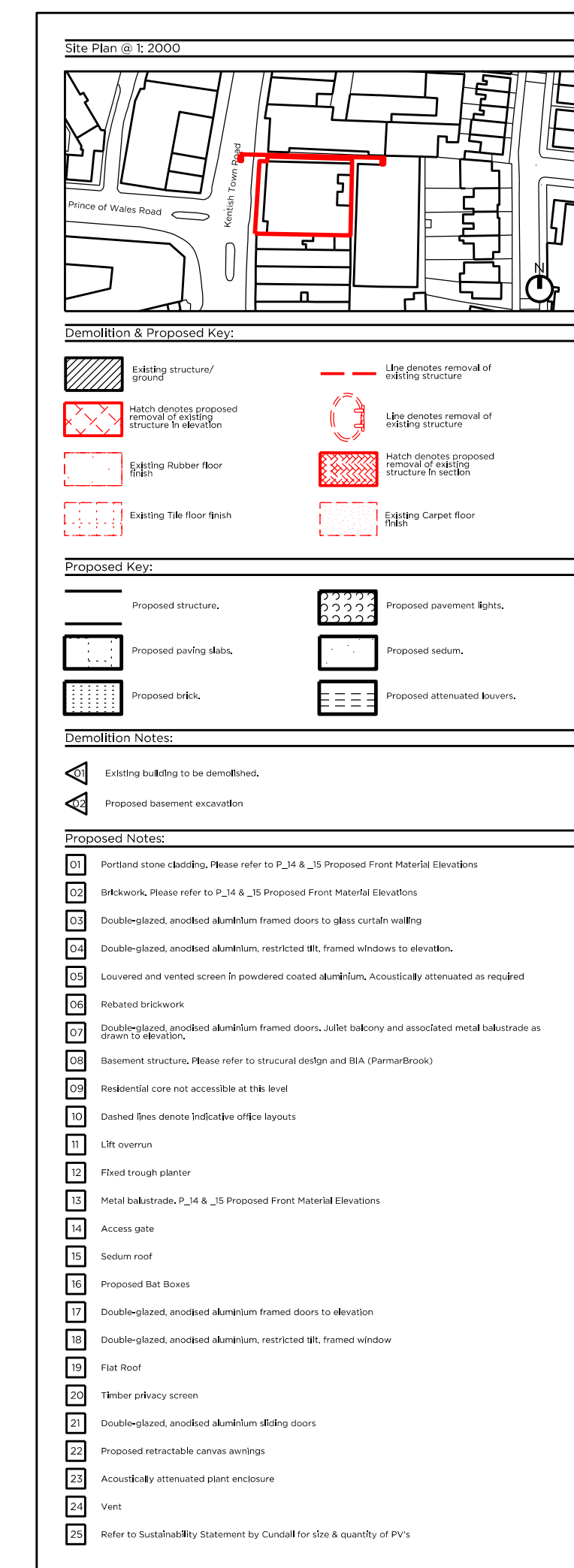
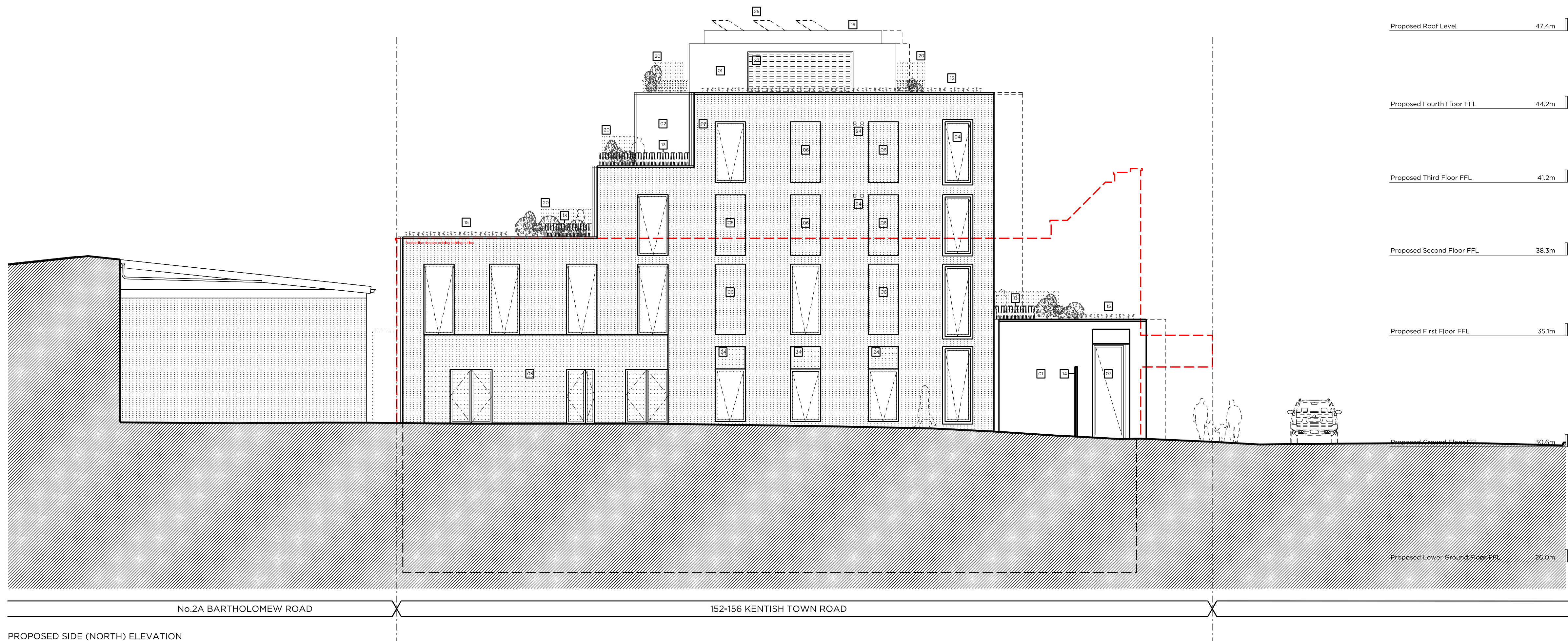
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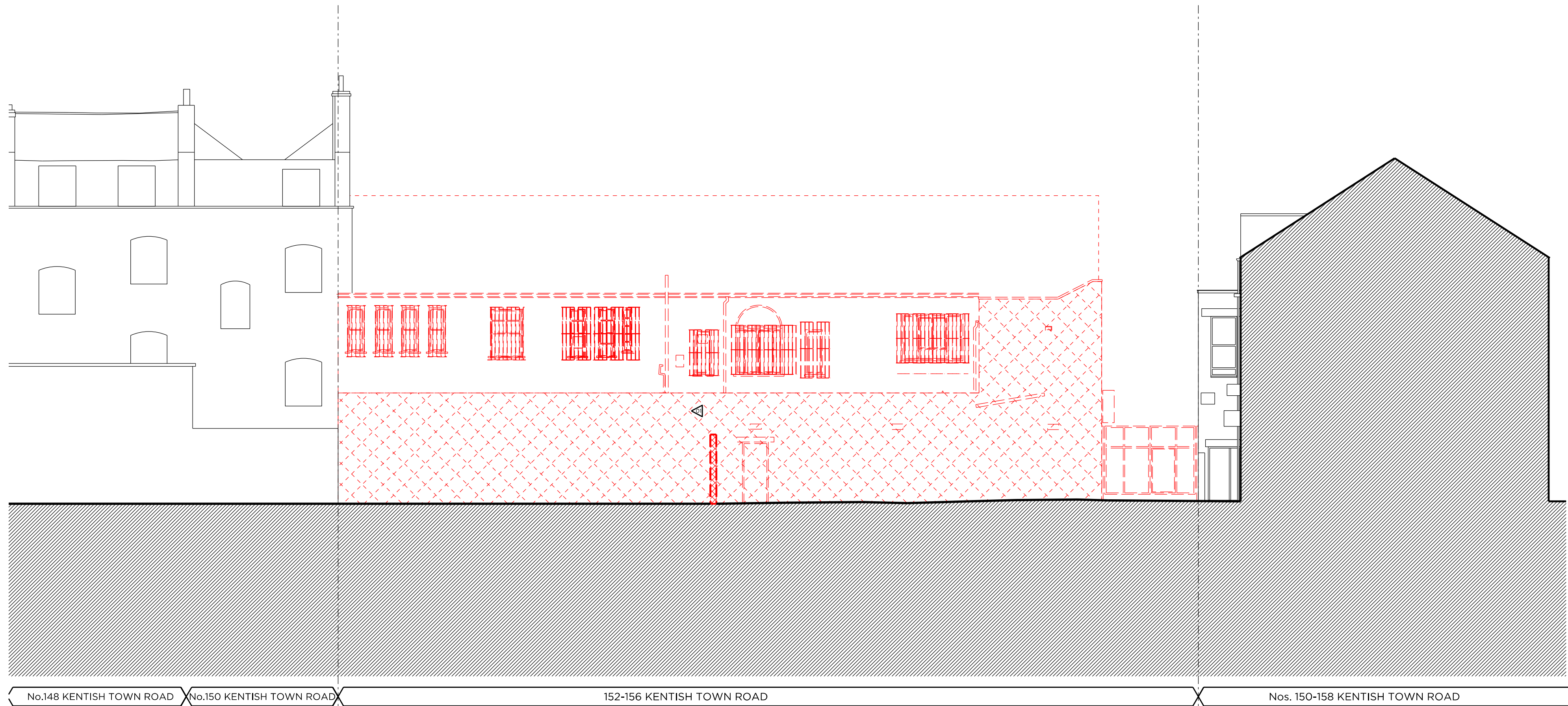
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0 0.5m 2m 4m 6m 8m 10m

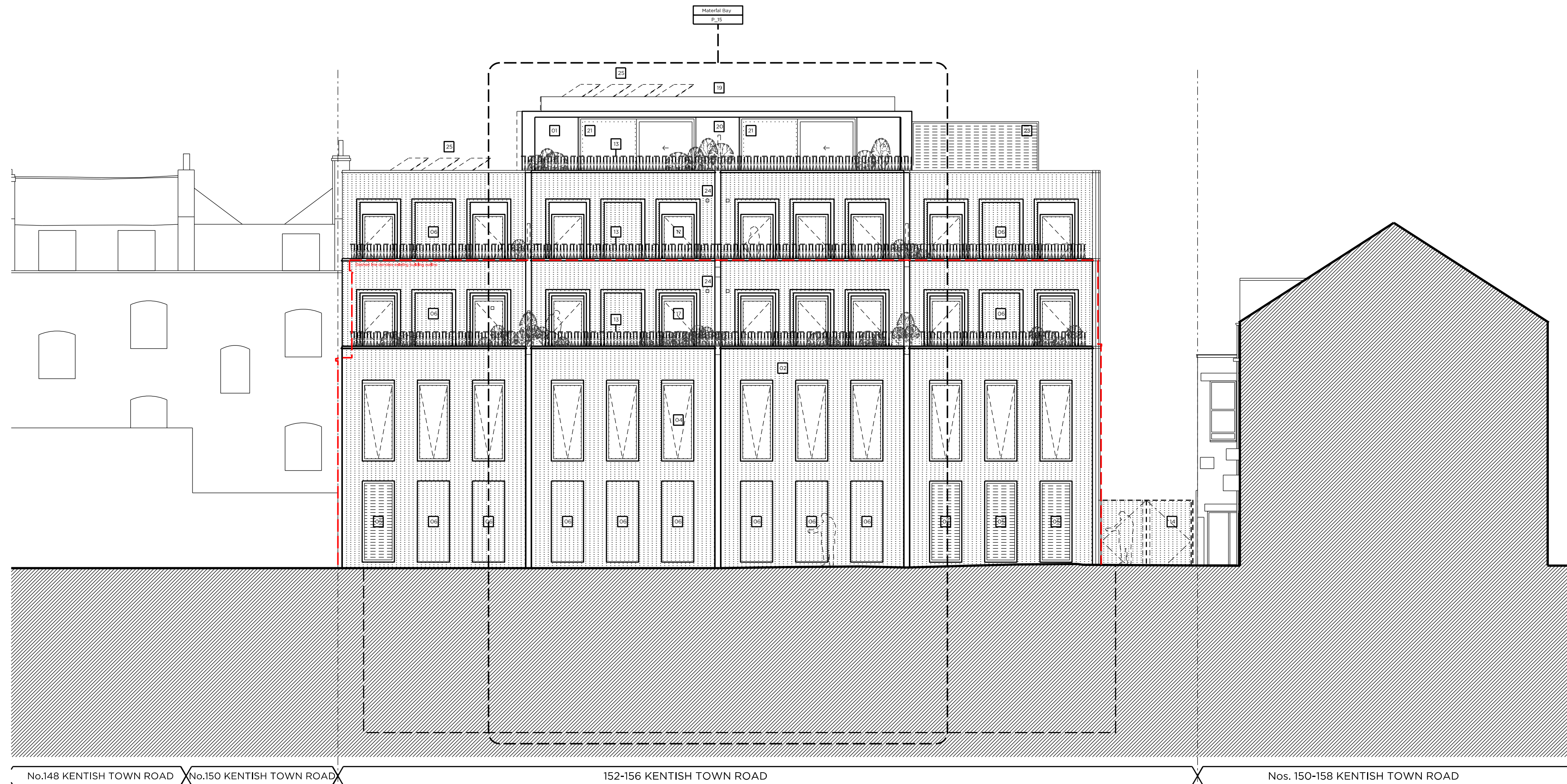








DEMOLITION REAR (EAST) ELEVATION



PROPOSED REAR (EAST) ELEVATION

Existing Front Parapet Height 41.8m

Existing First Floor FFL 35.0m

Existing Ground Floor FFL 30.8m

Proposed Roof Level 47.4m

Proposed Fourth Floor FFL 44.2m

Proposed Third Floor FFL 41.2m

Proposed Second Floor FFL 38.3m

Proposed First Floor FFL 35.1m

Proposed Ground Floor FFL 30.6m

Proposed Lower Ground Floor FFL 26.0m

Site Plan @ 1:2000

Demolition & Proposed Key:

- Existing structure/annex
- Match drawing proposed removal of existing structure to demolition
- Existing Rubber floor
- Existing Tile floor finish
- Proposed removal of existing structure
- Match drawing proposed removal of existing structure to demolition
- Existing Carpet floor

Proposed Key:

- Proposed structure
- Proposed paving slabs
- Proposed lifts
- Proposed pavement lights
- Proposed sections
- Proposed attenuated basins

Demolition Notes:

- Existing building to be demolished.
- Proposed basement excavation

Proposed Notes:

- Portland stone cladding. Please refer to P\_14 & \_15 Proposed Front Material Elevations
- Stainless steel cladding. Please refer to P\_14 & \_15 Proposed Front Material Elevations
- Double-glazed, anodized aluminium framed doors to glass curtain walling
- Double-glazed, anodized aluminium, restricted 88, framed windows to elevations
- Louvered and vented screen in powder-coated aluminium, acoustically attenuated as required
- Relevant brickwork
- Double-glazed, anodized aluminium framed doors, upper balcony and associated metal balustrade as shown on elevation
- Basement structure. Please refer to structural design and BIA (Parametric)
- Residential core not accessible at this level
- Dashed lines denote indicative office layouts
- Lift overrun
- Fitted through planter
- Metal balustrade, P\_14 & \_15 Proposed Front Material Elevations
- Access gate
- Section roof
- Proposed flat roof
- Double-glazed, anodized aluminium framed doors to elevation
- Double-glazed, anodized aluminium, restricted 88, framed window
- Flat roof
- Timber privacy screen
- Double-glazed, anodized aluminium sliding doors
- Proposed retractable canvas awnings
- Acoustically attenuated plant enclosure
- Vent
- Refer to Sustainability Statement by Council for site & quality of PPs

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PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title: Demolition and Proposed Rear East Elevations

Drawing No. P\_10 Rev. A

Drawn CK Approved MW Signed -

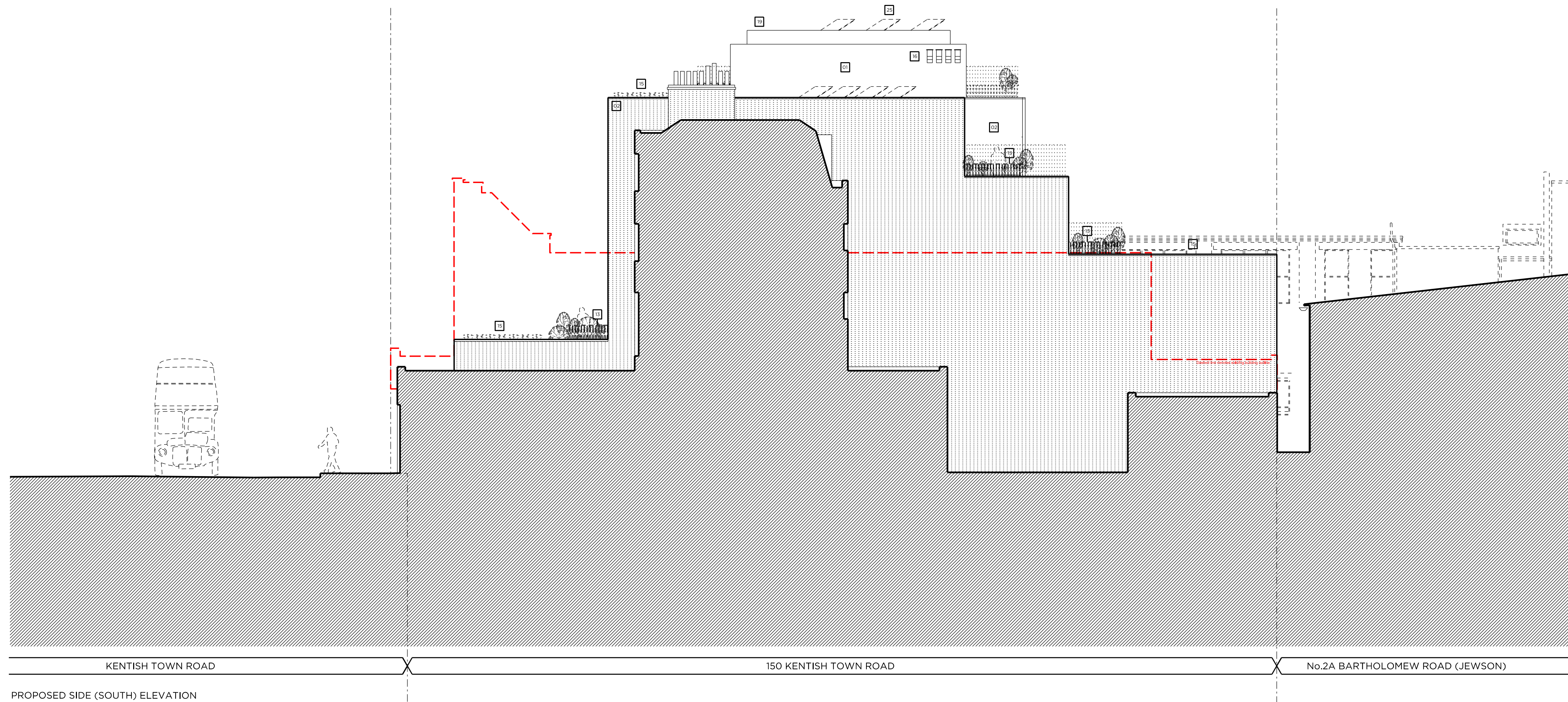
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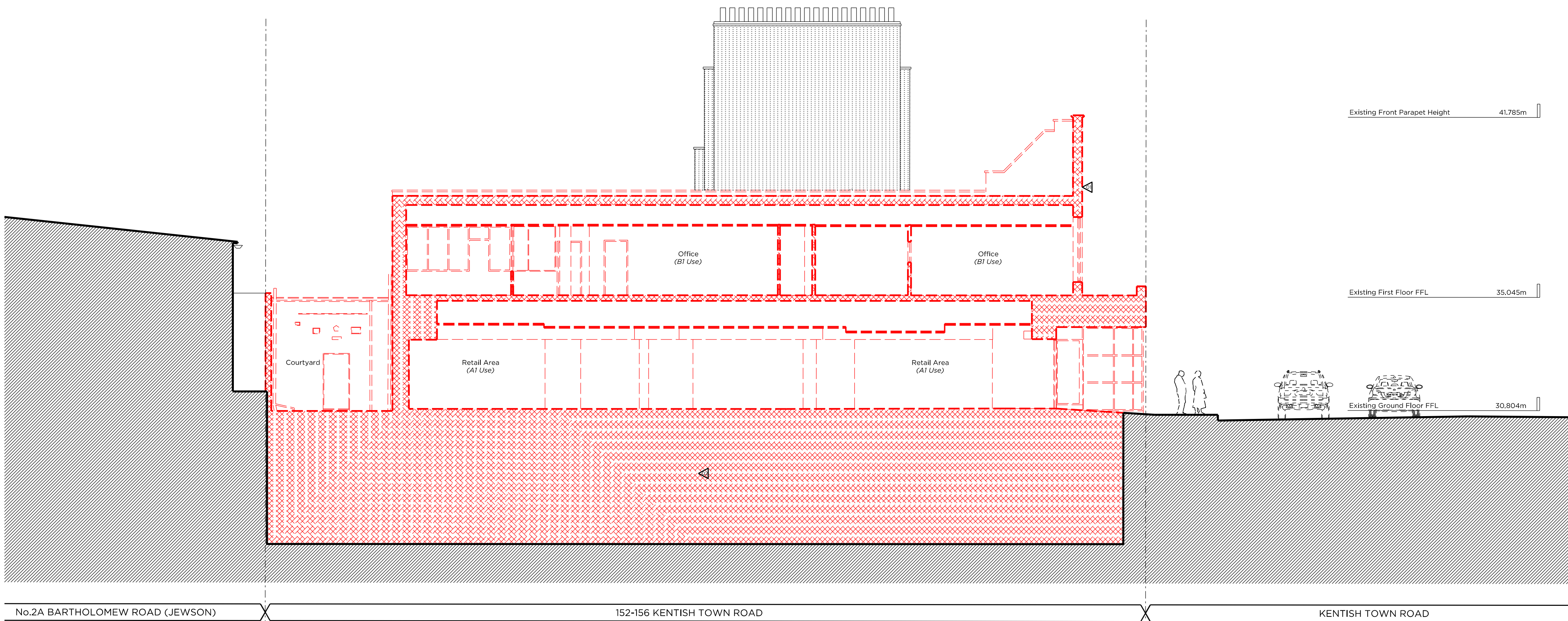
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0 0.5m 2m 4m 6m 8m 10m

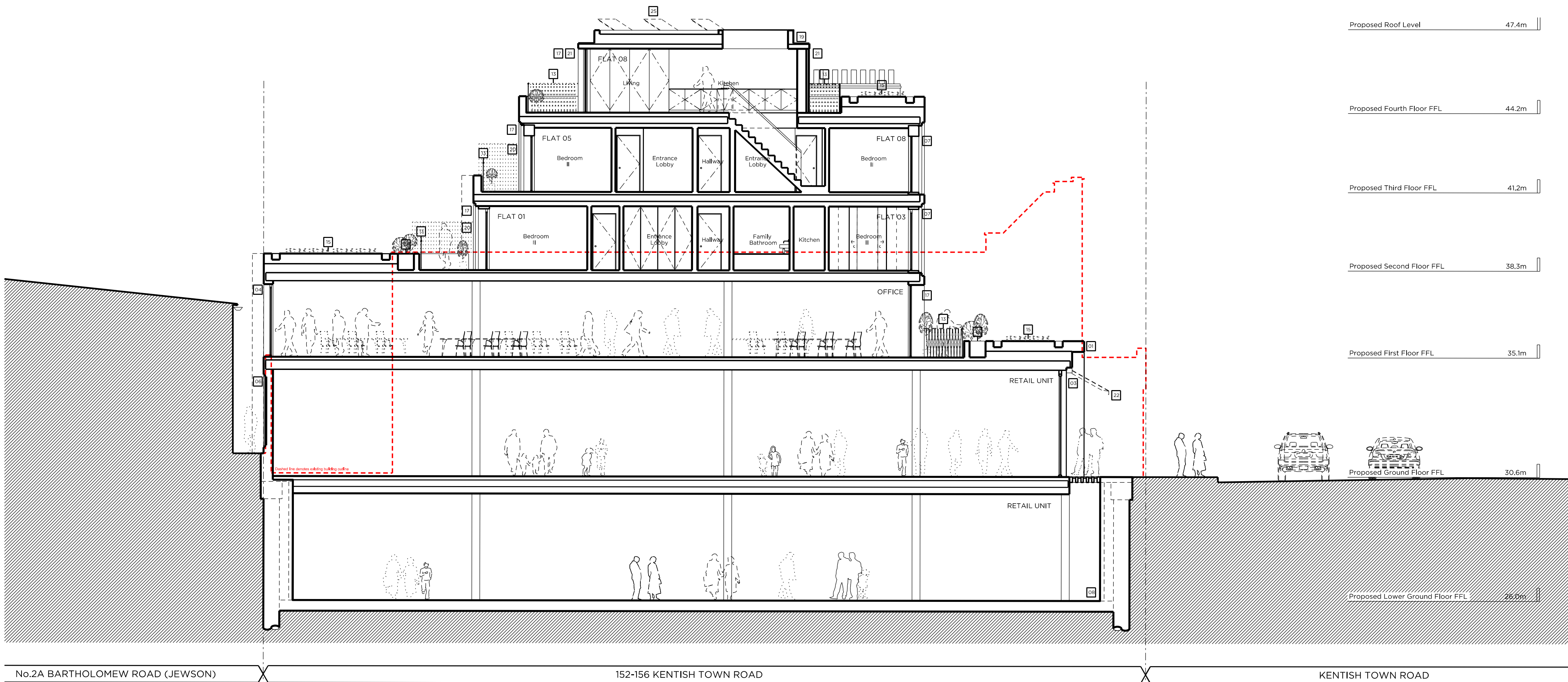








DEMOLITION SECTION AA



PROPOSED SECTION AA

Site Plan @ 1:2000

Demolition & Proposed Key:

- Existing structure/ground
- Match demolition proposed removal of existing structure to elevation
- Existing Rubber floor
- Existing Tile floor finish
- Proposed structure
- Match demolition proposed removal of existing structure to elevation
- Existing Carpet floor
- Proposed structure
- Proposed pavement lights
- Proposed paving slabs
- Proposed bricks
- Proposed attenuated basins

Demolition Notes:

- Existing building to be demolished.
- Proposed basement excavation

Proposed Notes:

- Portland stone building. Please refer to P\_14 & 15 Proposed Front Material Elevations
- Brickwork. Please refer to P\_14 & 15 Proposed Front Material Elevations
- Double-glazed, anodized aluminium framed doors to glass curtain walling
- Double-glazed, anodized aluminium, restricted 88, framed windows to elevations
- Louvered and vented screen in powdered coated aluminium, acoustically attenuated as required
- Reinforced brickwork
- Double-glazed, anodized aluminium framed doors, upper balcony and associated metal balustrade as shown on elevations
- Basement structure. Please refer to structural design and BIA (Parametric)
- Residential core not accessible at this level
- Dashed lines denote indicative office layouts
- Lift core
- Fixed rough planter
- Material balustrade, P\_14 & 15 Proposed Front Material Elevations
- Access gate
- Section roof
- Proposed Bat Boxes
- Double-glazed, anodized aluminium framed doors to elevation
- Double-glazed, anodized aluminium, restricted 88, framed window
- Flat roof
- Timber privacy screen
- Double-glazed, anodized aluminium sliding doors
- Proposed retractable canvas awnings
- Acoustically attenuated plant enclosure
- Vent
- Refer to Sustainability Statement by Council for site & quantity of PVP

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# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Demolition and Proposed Sections AA

Drawing No. P\_12 Rev. A

Drawn MWh Approved MW Signed -

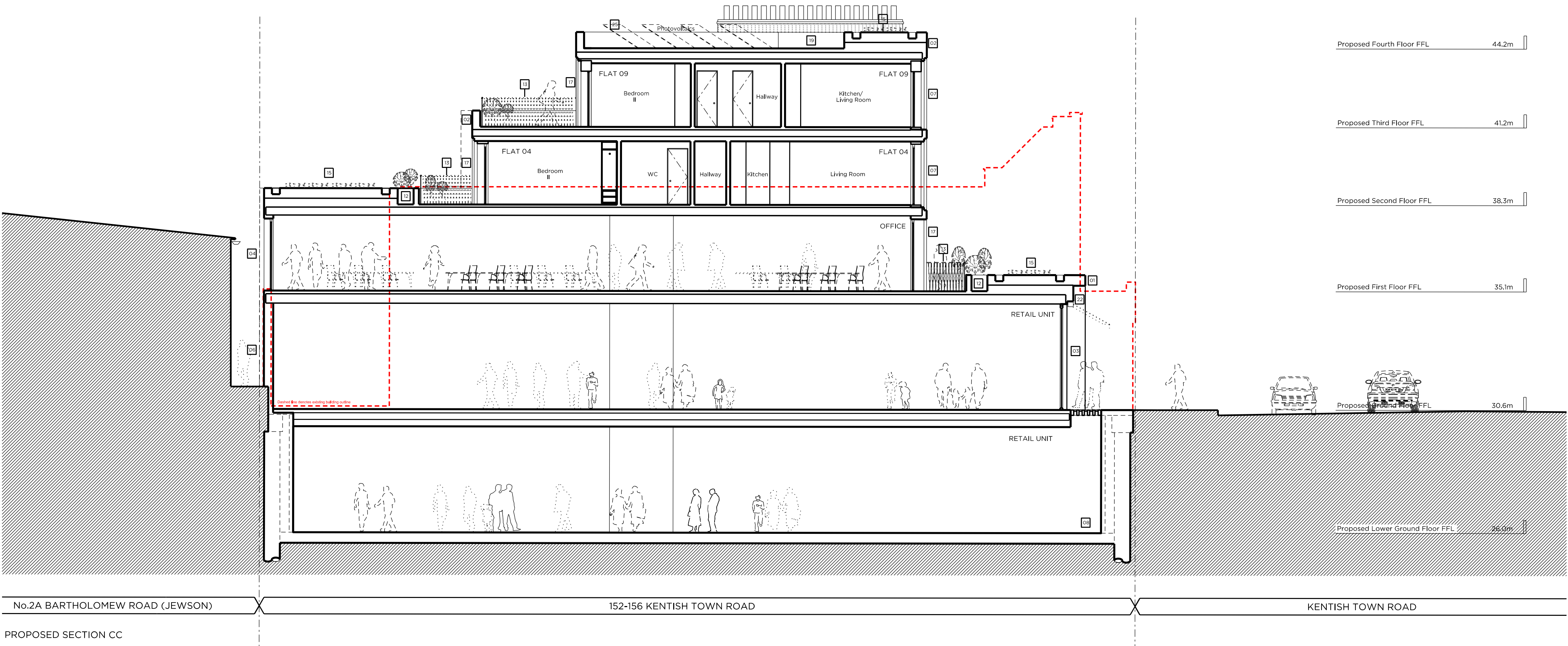
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0 0.5m 2m 4m 6m 8m 10m





Site Plan @ 1:2000

Demolition & Proposed Key:

- Existing structure/ground
- Match denotes proposed removal of existing structure to elevation
- Existing Rubber floor
- Existing Tile floor finish
- Proposed structure
- Proposed paving slabs
- Proposed brick
- Proposed pavement lights
- Proposed section
- Proposed attenuated basins

Demolition Notes:

- Existing building to be demolished
- Proposed basement excavation

Proposed Notes:

- Portland stone building. Please refer to P\_14 & 15 Proposed Front Material Elevations
- Brickwork. Please refer to P\_14 & 15 Proposed Front Material Elevations
- Double-glazed, anodised aluminium framed doors to glass curtain walling
- Double-glazed, anodised aluminium, restricted 88, framed windows to elevations
- Louvered and vented screen in powdered coated aluminium, acoustically attenuated as required
- Reinforced brickwork
- Double-glazed, anodised aluminium framed doors, Juliet balcony and associated metal balustrade as shown on elevation
- Basement structure. Please refer to structural design and BIA (Plumtree Road)
- Residential core not accessible at this level
- Dashed lines denote indicative office layouts
- Uit overman
- Fitted in-situ plaster
- Metals balustrade, P\_14 & 15 Proposed Front Material Elevations
- Access gate
- Section roof
- Proposed Bat Boxes
- Double-glazed, anodised aluminium framed doors to elevation
- Double-glazed, anodised aluminium, restricted 88, framed window
- Flat roof
- Timber privacy screen
- Double-glazed, anodised aluminium sliding doors
- Proposed retractable canvas awnings
- Acoustically attenuated plant enclosure
- Vent
- Refer to Sustainability Statement by Council for site & quantity of P.V.s

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# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Proposed Section CC

Drawing No. P\_14 Rev. A

Drawn CK Approved MW Signed -

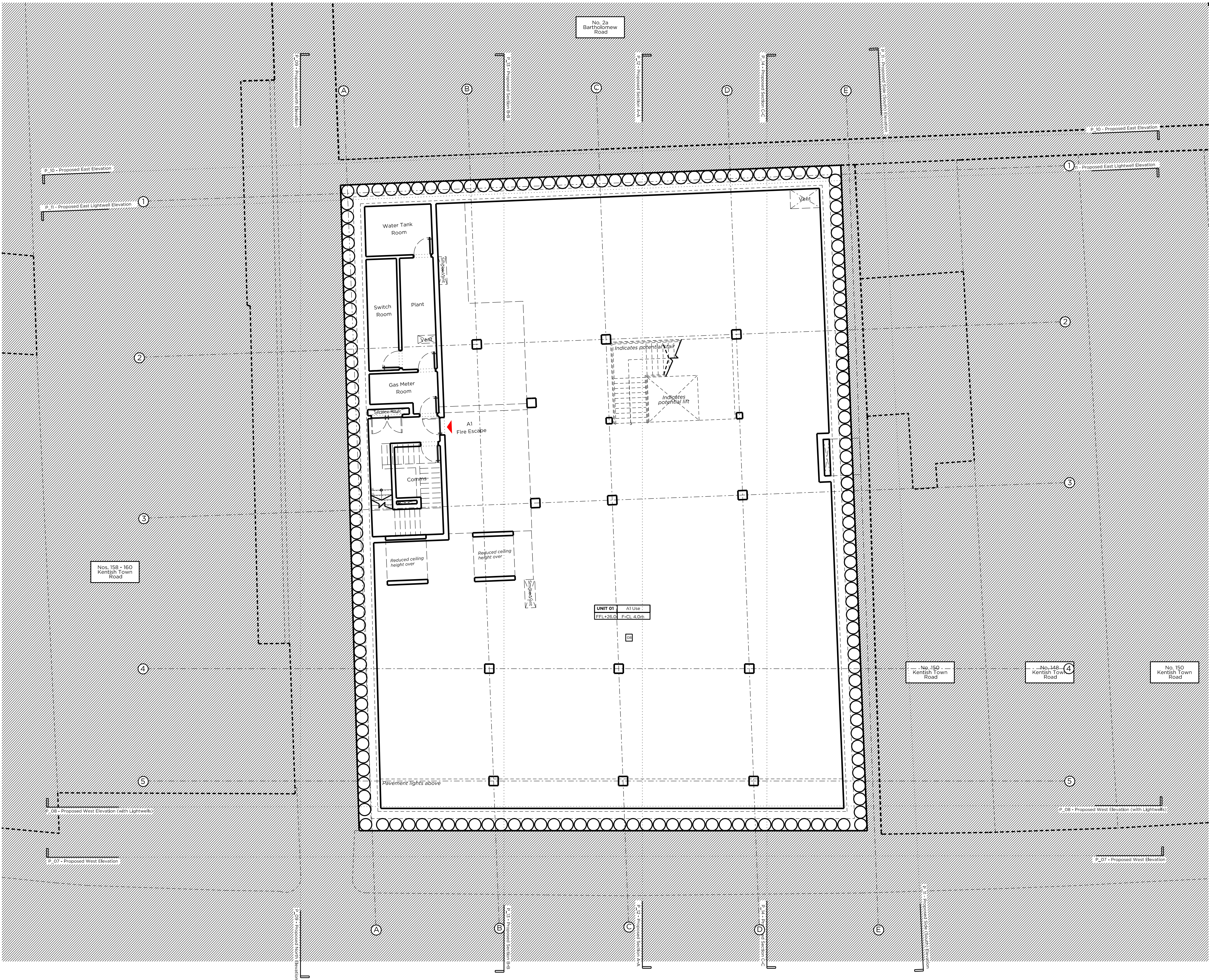
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0 0.5m 2m 4m 6m 8m 10m





Site Plan 1:1, 2000

Proposed Key:

Proposed structure, Proposed paving, Proposed lifts, Proposed pavement lights, Proposed security/green roof, Proposed attenuated basins.

Proposed Notes:

1. Portland stone cladding. Please refer to P.14 & 15 Proposed Front Material Elevations.

2. Brickwork. Please refer to P.14 & 15 Proposed Front Material Elevations.

3. Double-glazed, anodized aluminium framed doors to glass curtain walling.

4. Double-glazed, anodized aluminium, restricted 88, framed windows to elevations.

5. Ground and vertical screen & doors as shown in powdered coated aluminium. Acoustically attenuated as required.

6. Related to structure.

7. Double-glazed, anodized aluminium framed doors, ultra balcony and associated metal balustrade as shown in elevation.

8. Basement structure. Please refer to structural design and BIA (Thermite) notes.

9. Residential core not accessible at this level.

10. Dashed lines denote indicative D/B office layouts & info.

11. Lift covers.

12. Fixed trough planter.

13. Metal balustrade, P.14 & 15 Proposed Front Material Elevations.

14. Access gate.

15. Section roof.

16. Proposed Set Rooms.

17. Double-glazed, anodized aluminium framed doors to elevation.

18. Double-glazed, anodized aluminium, restricted 88, framed windows.

19. Flat roof.

20. Timber privacy screen.

21. Double-glazed, anodized aluminium sliding doors.

22. Proposed canopy overhang.

23. Acoustically attenuated plant enclosure.

24. Vent.

25. Refer to Sustainability Statement by Council for size & quantity of PV's.

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PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Proposed Lower Ground Floor Plan

Drawing No. P\_02 Rev. A

Drawn AT Approved MW Signed -

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0 0.5m 2m 4m 6m 8m 10m









Site Plan 1:1 2000

**Proposed Key:**

Proposed structure.	Proposed pavement lights.
Proposed paving slabs.	Proposed security/green roof
Proposed lifts.	Proposed attenuated basins.

**Proposed Notes:**

- 01 Portland stone cladding. Please refer to P\_10 & P\_11 Proposed Front Material Elevations
- 02 Brickwork. Please refer to P\_10 & P\_11 Proposed Front Material Elevations
- 03 Double-glazed, anodized aluminium framed doors to glass curtain walling
- 04 Double-glazed, anodized aluminium, restricted 80, framed windows to elevations
- 05 Ground and vertical screen & doors as shown in powdered coated aluminium. Acoustically attenuated as required
- 06 Recessed brickwork
- 07 Double-glazed, anodized aluminium framed doors, lift lobby and associated metal balustrade as shown in elevation
- 08 Basement structure. Please refer to structural design and BIA (Thermal/Noise)
- 09 Residential core not accessible at this level
- 10 Dashed lines denote indicative D100 office layouts & m/s
- 11 Lift covers
- 12 Fixed trough planter
- 13 Metal balustrade, P\_10 & P\_11 Proposed Front Material Elevations
- 14 Access gate
- 15 Sedum roof
- 16 Proposed Set Basins
- 17 Double-glazed, anodized aluminium framed doors to elevation
- 18 Double-glazed, anodized aluminium, restricted 80, framed windows
- 19 Flat roof
- 20 Timber privacy screen
- 21 Double-glazed, anodized aluminium sliding doors
- 22 Proposed canopy overhangs
- 23 Acoustically attenuated plant enclosure
- 24 Vent
- 25 Refer to Sustainability Statement by Council for size & quantity of PV's

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# PLANNING

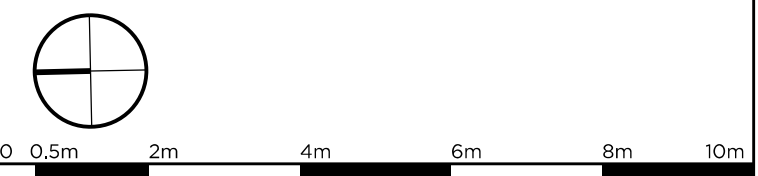
Project No. 15052  
Client AHIG Ltd  
Date March 2016  
Scale 1:100 @ A1/1:200 @ A3  
Project 152-156 Kentish Town Road

Drawing Title Proposed First Floor Plan  
Drawing No. P\_03 Rev. A  
Drawn AT Approved MW Signed -

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Site Plan @ 1:2000

Proposed Key:

- Proposed structure.
- Proposed paving slabs.
- Proposed brick.
- Proposed pavement lights.
- Proposed security/green roof.
- Proposed attenuated basins.

Proposed Notes:

- Portland stone cladding. Please refer to P\_14 & P\_15 Proposed Front Material Elevations.
- Brickwork. Please refer to P\_14 & P\_15 Proposed Front Material Elevations.
- Double-glazed, anodized aluminium framed doors to glass curtain walling.
- Double-glazed, anodized aluminium, restricted 80, framed windows to elevations.
- Unvent and vented screen & doors as shown in powdered coated aluminium. Acoustically attenuated as required.
- Relevant brickwork.
- Double-glazed, anodized aluminium framed doors, other balcony and associated metal balustrade as shown in elevation.
- Basement structure. Please refer to structural design and BIA (Thamesmeads).
- Residential core not accessible at this level.
- Dashed lines denote indicative D100 office layouts & info.
- Lift covers.
- Fixed through planter.
- Hotel balustrade, P\_14 & P\_15 Proposed Front Material Elevations.
- Access gate.
- Section roof.
- Proposed Set Basins.
- Double-glazed, anodized aluminium framed doors to elevation.
- Double-glazed, anodized aluminium, restricted 80, framed windows.
- Flat roof.
- Tenor privacy screen.
- Double-glazed, anodized aluminium sliding doors.
- Proposed canopy overhangs.
- Acoustically attenuated plant enclosure.
- Vent.
- Refer to Sustainability Statement by Council for size & quantity of PV's.

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# PLANNING

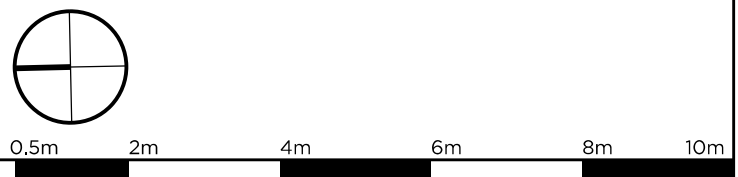
Project No. 15052  
Client AHIG Ltd  
Date March 2016  
Scale 1:100 @ A1/1:200 @ A3  
Project 152-156 Kentish Town Road

Drawing Title: Proposed Second Floor Plan  
Drawing No. P\_04 Rev. A  
Drawn AT Approved MW Signed -



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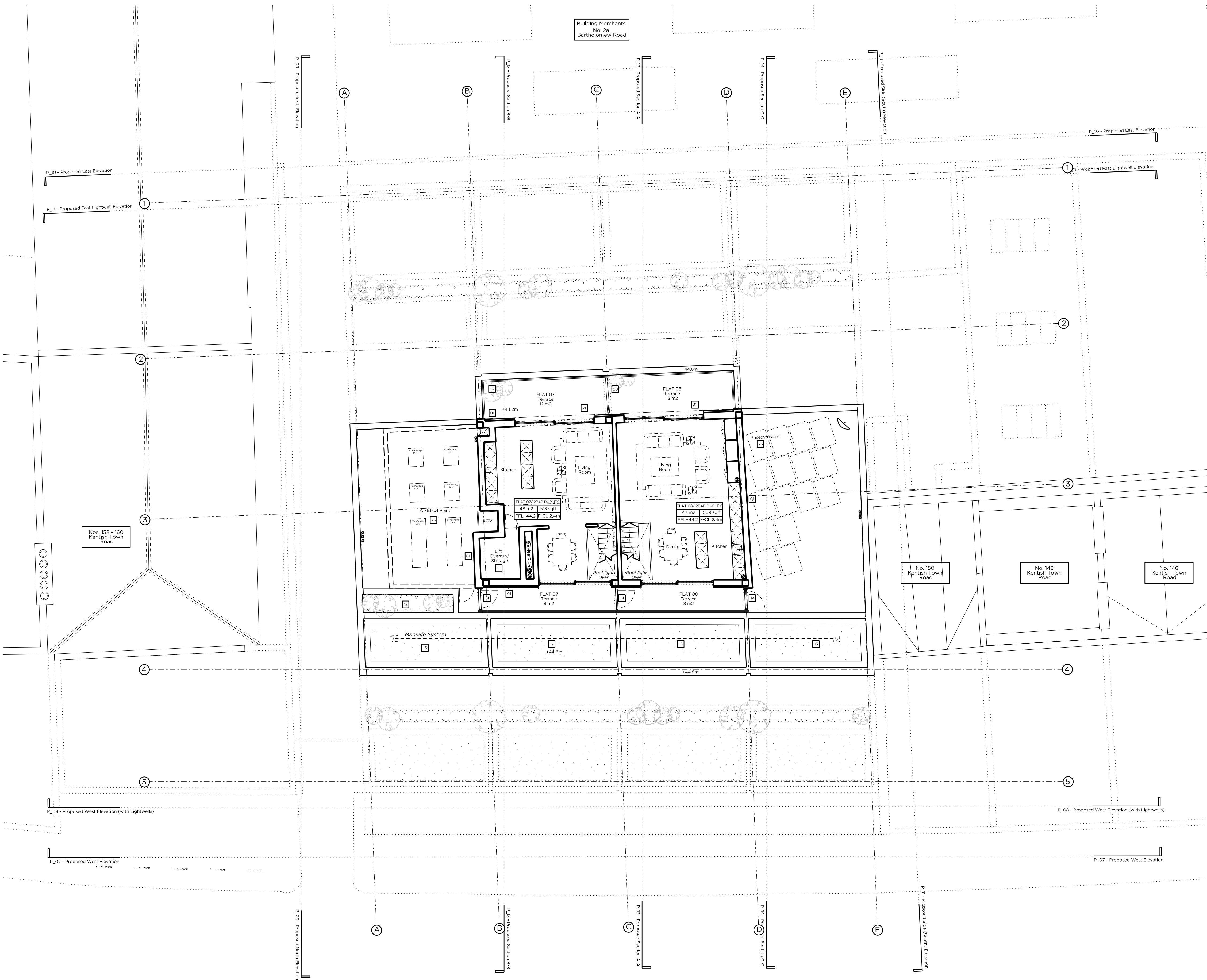
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Site Plan @ 1:2000

Proposed Key:

	Proposed structure.		Proposed pavement lights.
	Proposed paving slabs.		Proposed sedum/green roof.
	Proposed brick.		Proposed attenuated basins.

Proposed Notes:

- 01 Portland stone cladding. Please refer to P\_14 & \_15 Proposed Front Material Elevations.
- 02 Brickwork. Please refer to P\_14 & \_15 Proposed Front Material Elevations.
- 03 Double-glazed, anodised aluminium framed doors to glass curtain walling.
- 04 Double-glazed, anodised aluminium, restricted BL, framed windows to elevations.
- 05 Uncoated and vertical screen & doors as shown in powdered coated aluminium. Acoustically attenuated as required.
- 06 Related brickwork.
- 07 Double-glazed, anodised aluminium framed doors, Juliet balcony and associated metal balustrade as shown on elevation.
- 08 Basement structure. Please refer to structural design and BIA (ThamesBros).
- 09 Residential core not accessible at this level.
- 10 Dashed lines denote indicative D100 office layouts & m/s.
- 11 Lift overrun.
- 12 Fixed trough planter.
- 13 Metal balustrade, P\_14 & \_15 Proposed Front Material Elevations.
- 14 Access gate.
- 15 Sedum roof.
- 16 Proposed Bat Boxes.
- 17 Double-glazed, anodised aluminium framed doors to elevation.
- 18 Double-glazed, anodised aluminium, restricted BL, framed window.
- 19 Flat roof.
- 20 Timber privacy screen.
- 21 Double-glazed, anodised aluminium sliding doors.
- 22 Proposed canopy readings.
- 23 Acoustically attenuated plant enclosure.
- 24 Vent.
- 25 Refer to Sustainability Statement by Council for size & quantity of PV's.

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# PLANNING

Project No. 15052  
Client AHIG Ltd  
Date March 2016  
Scale 1:100 @ A1/1:200 @ A3  
Project 152-156 Kentish Town Road

Drawing Title: Proposed Fourth Floor Plan  
Drawing No. P\_06 Rev. A  
Drawn MWh Approved MW Signed -

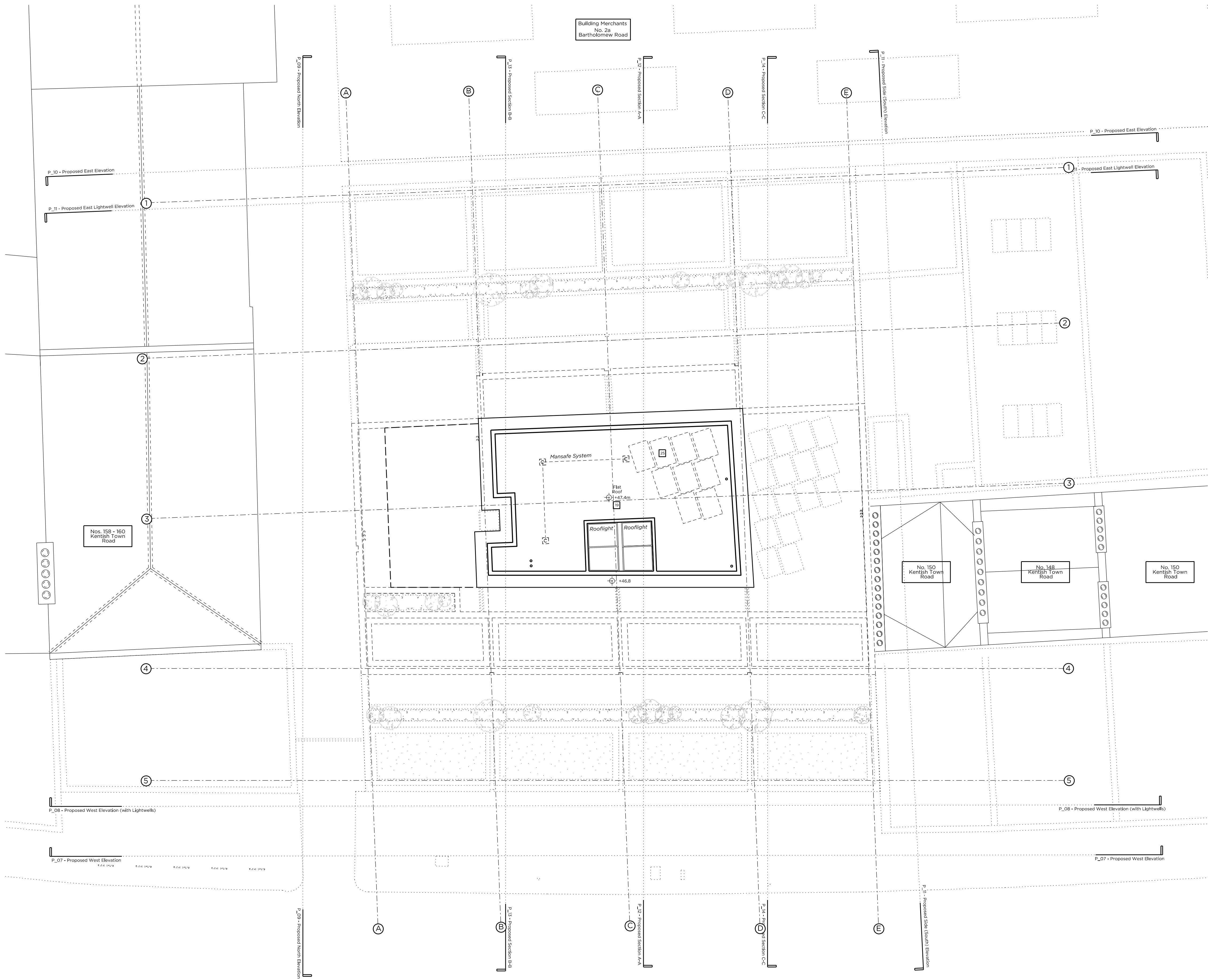


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Site Plan @ 1:2000

Proposed Key:

Proposed structure.	Proposed pavement lights.
Proposed paving slabs.	Proposed sedum/green roof
Proposed brick.	Proposed attenuated basins.

Proposed Notes:

- 01 Portland stone cladding. Please refer to P\_14 & P\_15 Proposed Front Material Elevations
- 02 Brickwork. Please refer to P\_14 & P\_15 Proposed Front Material Elevations
- 03 Double-glazed, anodised aluminium framed doors to glass curtain walling
- 04 Double-glazed, anodised aluminium, restricted BL, framed windows to elevation.
- 05 Uncoated and vertical screen & doors as shown in powdered coated aluminium. Acoustically attenuated as required
- 06 Related brickwork
- 07 Double-glazed, anodised aluminium framed doors, Juliet balcony and associated metal balustrade as shown on elevation
- 08 Basement structure. Please refer to structural design and BIA (PiercedRoof)
- 09 Residential core not accessible at this level
- 10 Dashed lines denote indicative D/80 office layouts & mls
- 11 Lift overrun
- 12 Fixed trough planter
- 13 Metal balustrade, P\_14 & P\_15 Proposed Front Material Elevations
- 14 Access gate
- 15 Sedum roof
- 16 Proposed Bat Boxes
- 17 Double-glazed, anodised aluminium framed doors to elevation
- 18 Double-glazed, anodised aluminium, restricted BL, framed window
- 19 Flat Roof
- 20 Timber privacy screen
- 21 Double-glazed, anodised aluminium sliding doors
- 22 Proposed canopy readings
- 23 Acoustically attenuated plant enclosure
- 24 Vent
- 25 Refer to Sustainability Statement by Council for size & quantity of PV's

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# PLANNING

Project No. 15052  
Client AHIG Ltd  
Date March 2016  
Scale 1:100 @ A1/1:200 @ A3  
Project 152-156 Kentish Town Road

Drawing Title: Proposed Roof Plan  
Drawing No. P\_07 Rev. A  
Drawn MW/h Approved MW Signed -

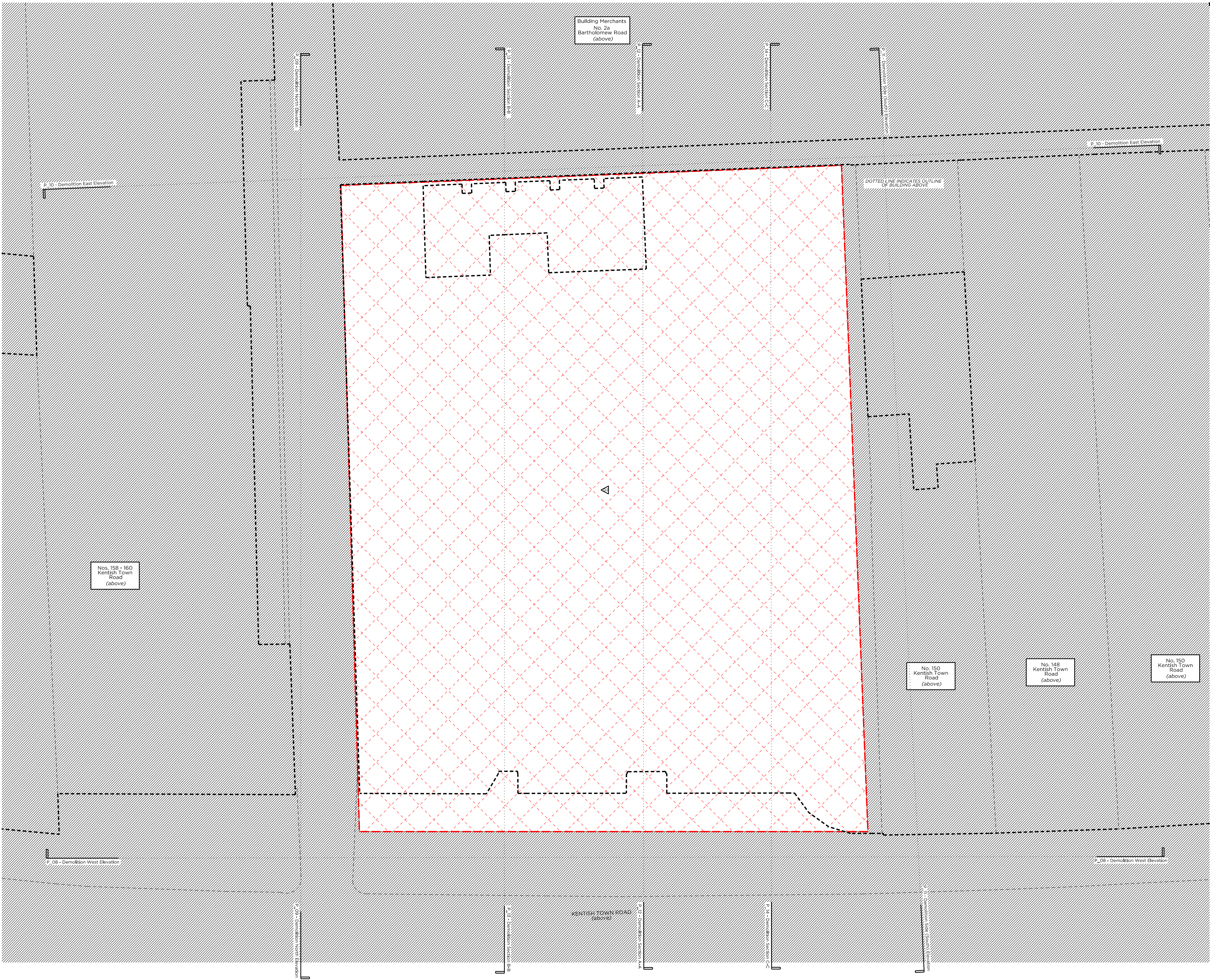


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Site Plan @ 1:2000

Demolition Key:

	Existing structure/ground		Line denotes removal of existing structure
	Match denotes proposed removal of existing structure to demolition		Line denotes removal of existing structure
	Existing Rubber floor		Match denotes proposed removal of existing structure to demolition
	Existing Tile floor Wash		Existing Carpet floor

Demolition Notes:

- Existing building to be demolished
- Proposed basement excavation

Rev A 04.03.16 Issued for Planning

# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Demolition Lower Ground Floor Plan

Drawing No. D\_02 Rev. A

Drawn AT Approved MW Signed -

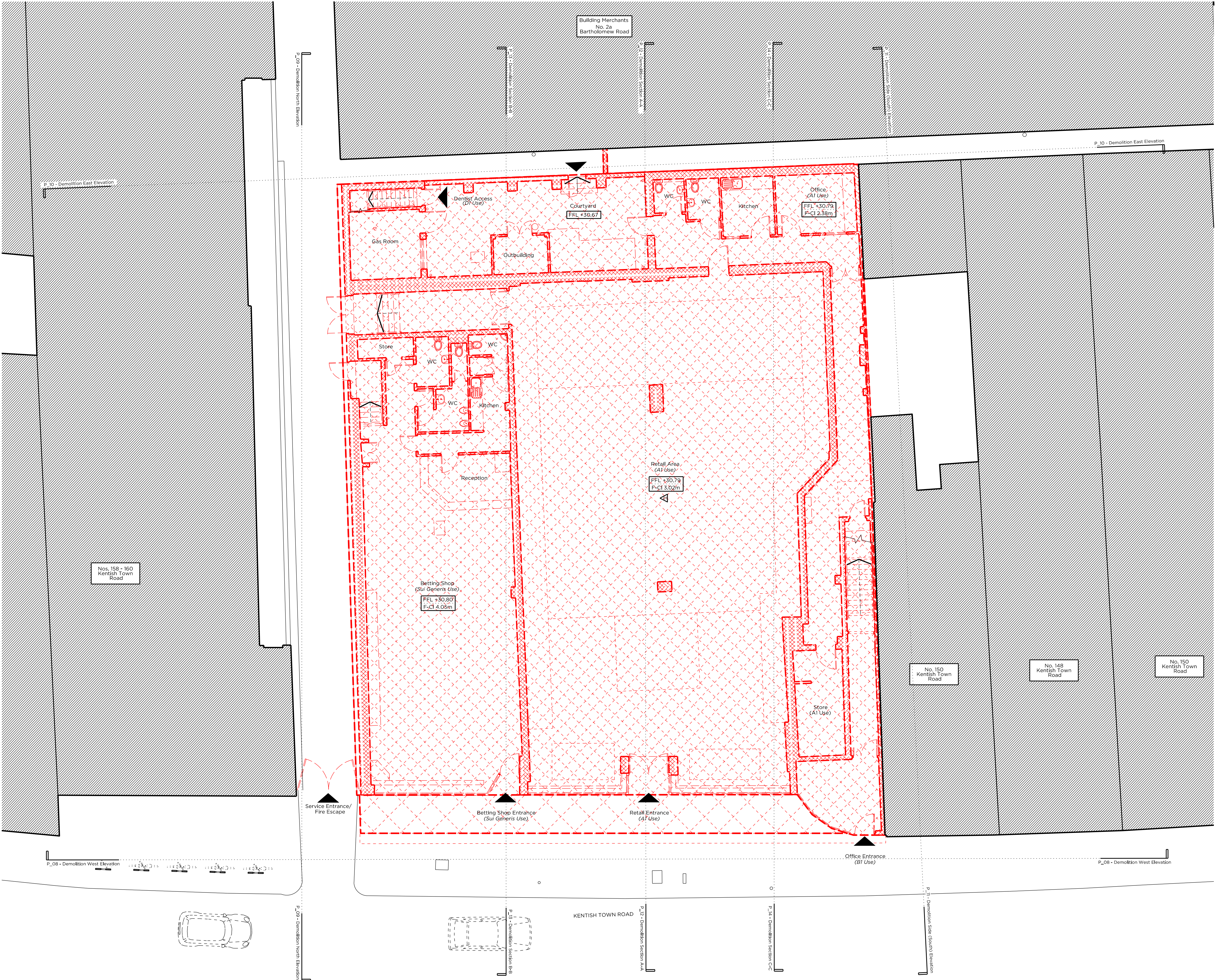
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0 0.5m 2m 4m 6m 8m 10m





Site Plan @ 1:2000

Demolition Key:

	Building structure/primary		Line denotes removal of existing structure
	Match denotes proposed removal of existing structure to demolition		Line denotes removal of existing structure
	Existing Rubber floor		Match denotes proposed removal of existing structure to demolition
	Existing Tile floor		Existing Carpet floor

Demolition Notes:

- Existing building to be demolished
- Proposed basement excavation

Rev A 04.03.16 Issued for Planning

# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Demolition Ground Floor Plan

Drawing No. D\_01 Rev. A

Drawn AT Approved MW Signed -

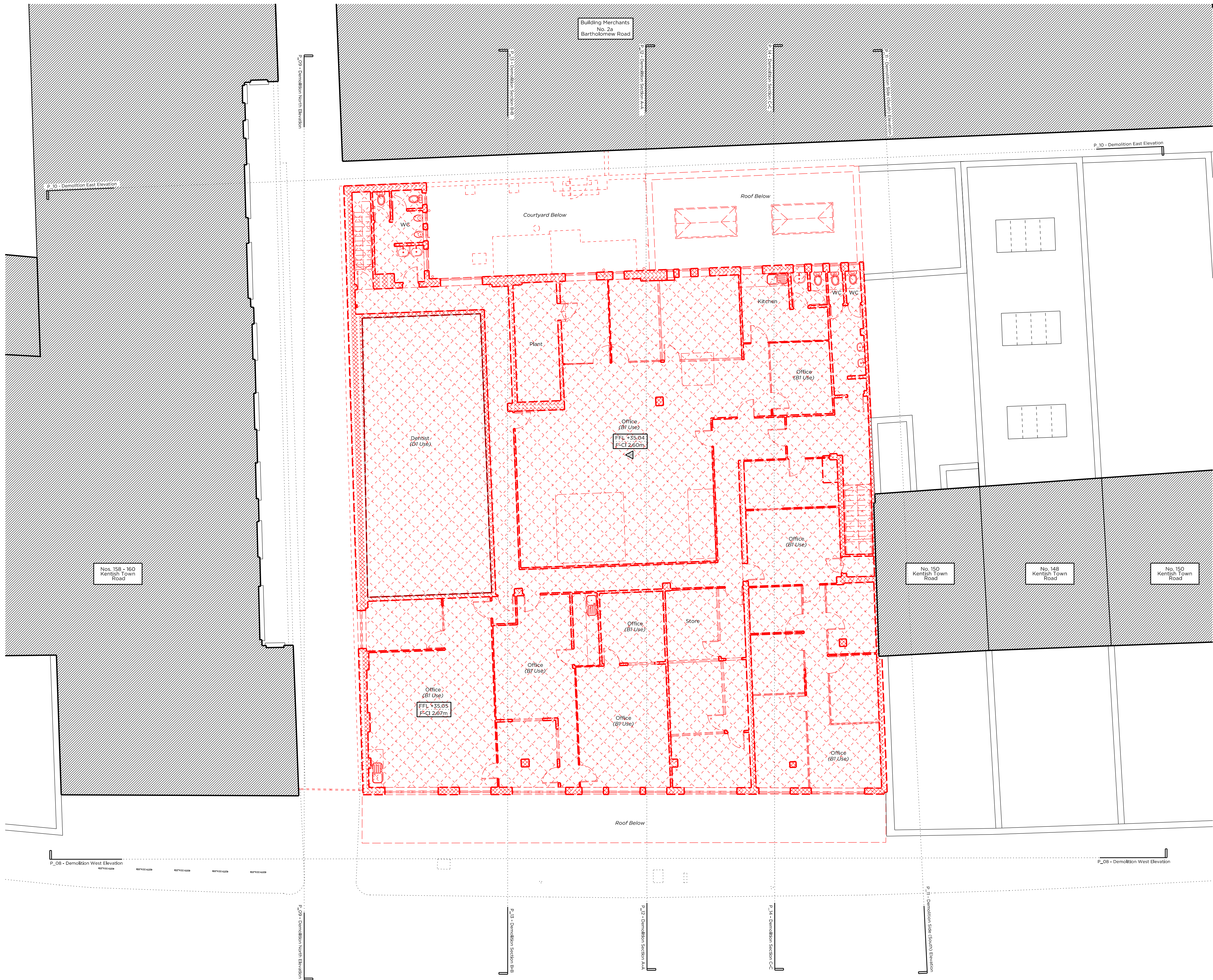
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0 0.5m 2m 4m 6m 8m 10m





Site Plan @ 1:2000

Demolition Key:

Building structure/ground	Line denotes removal of existing structure
Hatch denotes proposed removal of existing structure to demolition	Line denotes removal of existing structure
Existing Rubber floor	Hatch denotes proposed removal of existing structure to demolition
Existing Tile floor Wash	Existing Carpet floor

Demolition Notes:

- Existing building to be demolished
- Proposed basement excavation

Rev A 04.03.16 Issued for Planning

# PLANNING

Project No. 15052

Client AHIG Ltd

Date March 2016

Scale 1:100 @ A1/1:200 @ A3

Project 152-156 Kentish Town Road

Drawing Title Demolition First Floor Plan

Drawing No. D\_03 Rev. A

Drawn AT	Approved MW	Signed -
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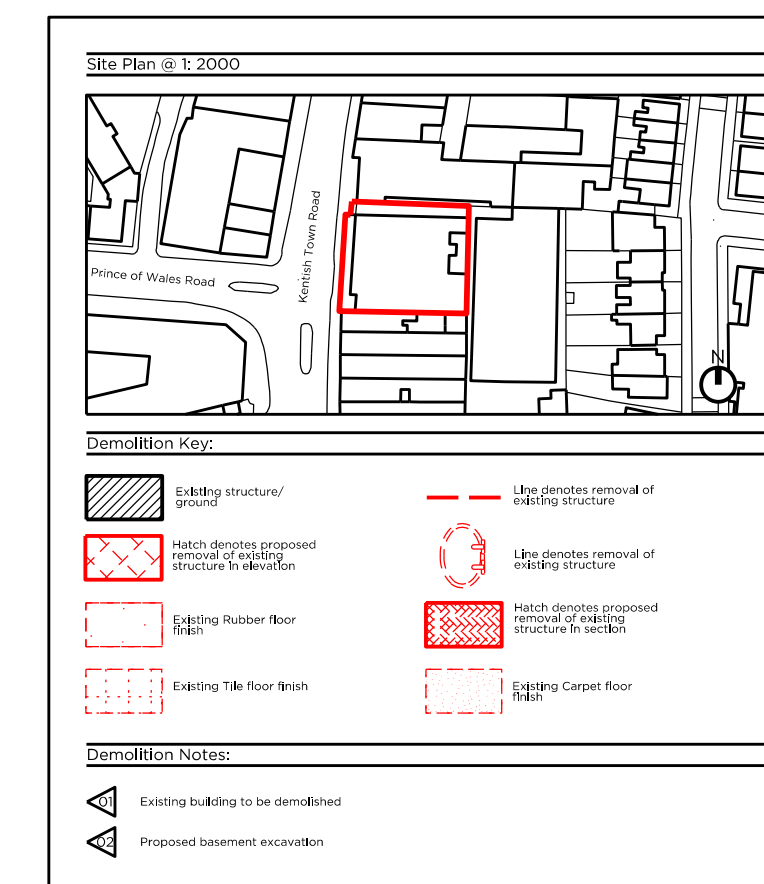
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0 0.5m 2m 4m 6m 8m 10m





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Rev A	04,03,16	Issued for Plans
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Project No.		15052	
Client		AHG Ltd	
Date		March 2016	
Scale		1:100 @ A1/1:200 @ A3	
Project		152-156 Kentish Town Road	
Drawing Title:		Demolition Roof Plan	
Drawing No.		D_04	Rev. A
Drawn	Approved	Signed	-
AT	MW		



Marek  
Wojciechowski  
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0   0.5m   2m   4m   6m   8m