



Planning Application Submission, February 2015

---

## 20 ALBERT TERRACE MEWS

Design and Access Statement

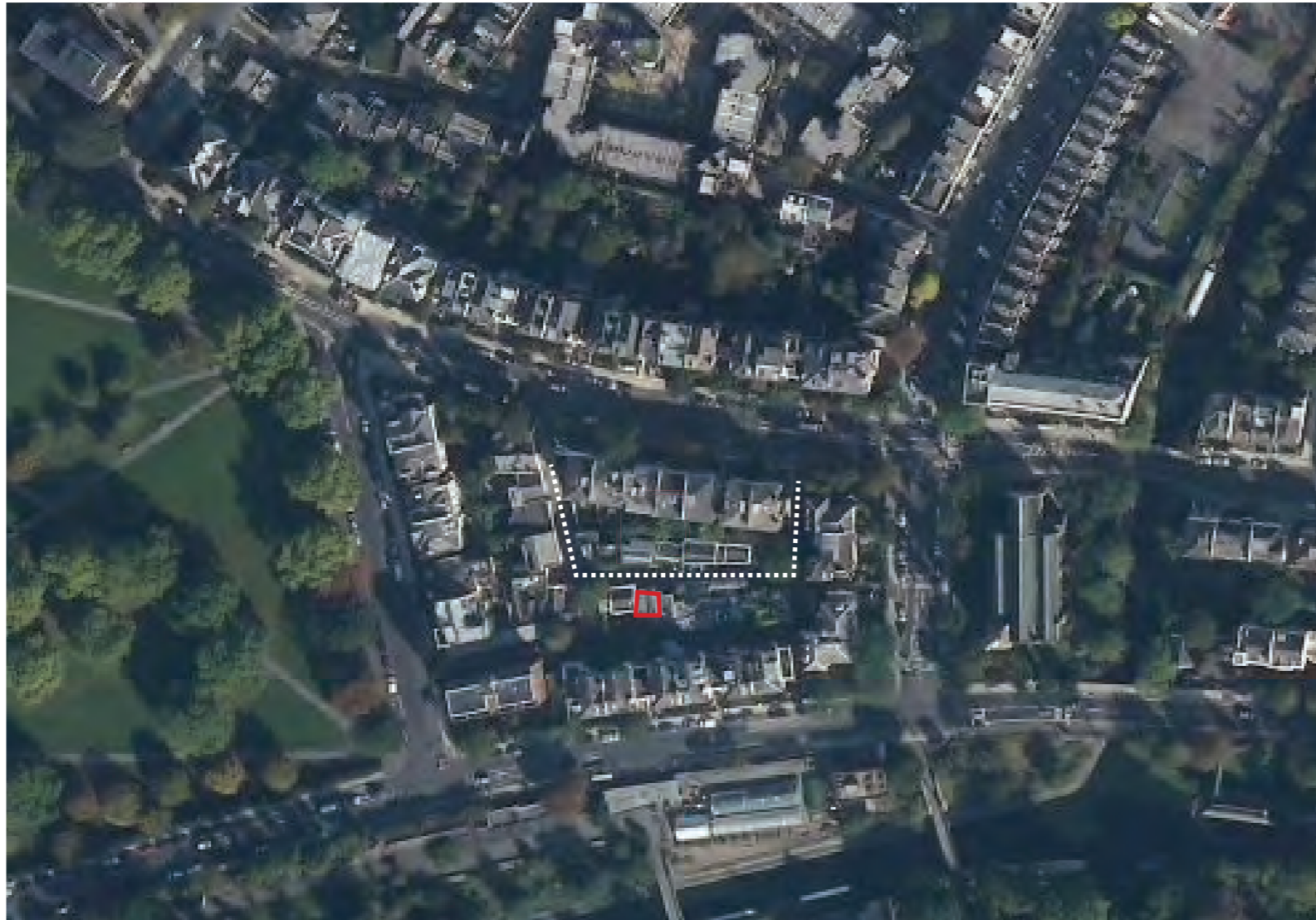


Figure 0.1 location of 20 Albert Terrace Mews

## 0.0 Contents

- 1.0 Introduction
- 2.0 The Existing Context
- 3.0 The Proposed Design
- 4.0 Planning Statement
- 5.0 Conclusion
- 6.0 Architectural Drawings



## 1.0 Introduction

This document contains the drawings and information regarding the full planning application for a roof terrace at 20 Albert Terrace Mews.

The purpose of this design statement is to support the planning application, to provide a clear understanding of the local context and to illustrate the impact and contribution the design proposal will make.

This application is submitted following a withdrawn application and prior to that, a pre-app. The design amendments following the feedback received in previous applications will be described in more detail in section 3.

20 Albert Terrace Mews is not a listed building but is located in the Primrose Hill conservation area. The site also lies within a high flood risk zone, but will not affect the proposals for this application.



Figure 1.1 Conservation area map

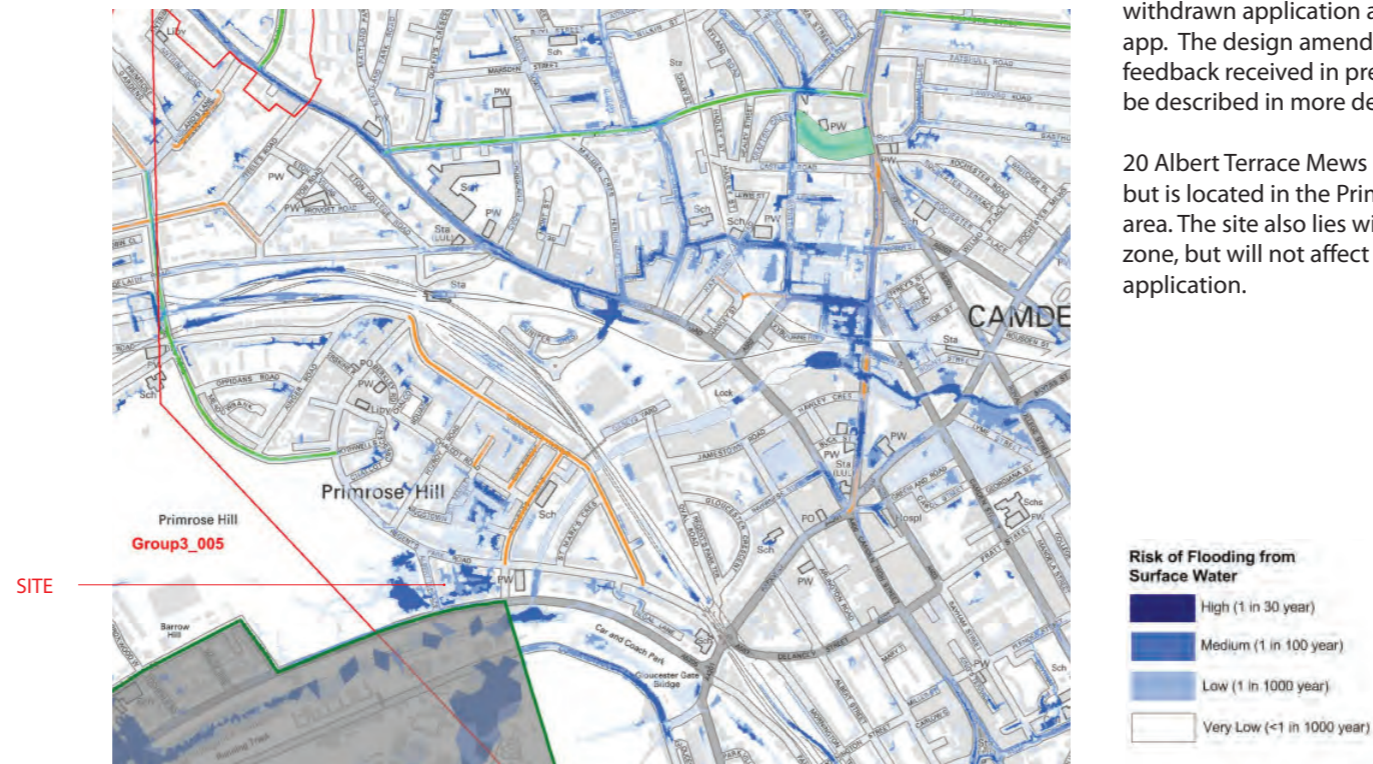


Figure 1.2 Flood Zones

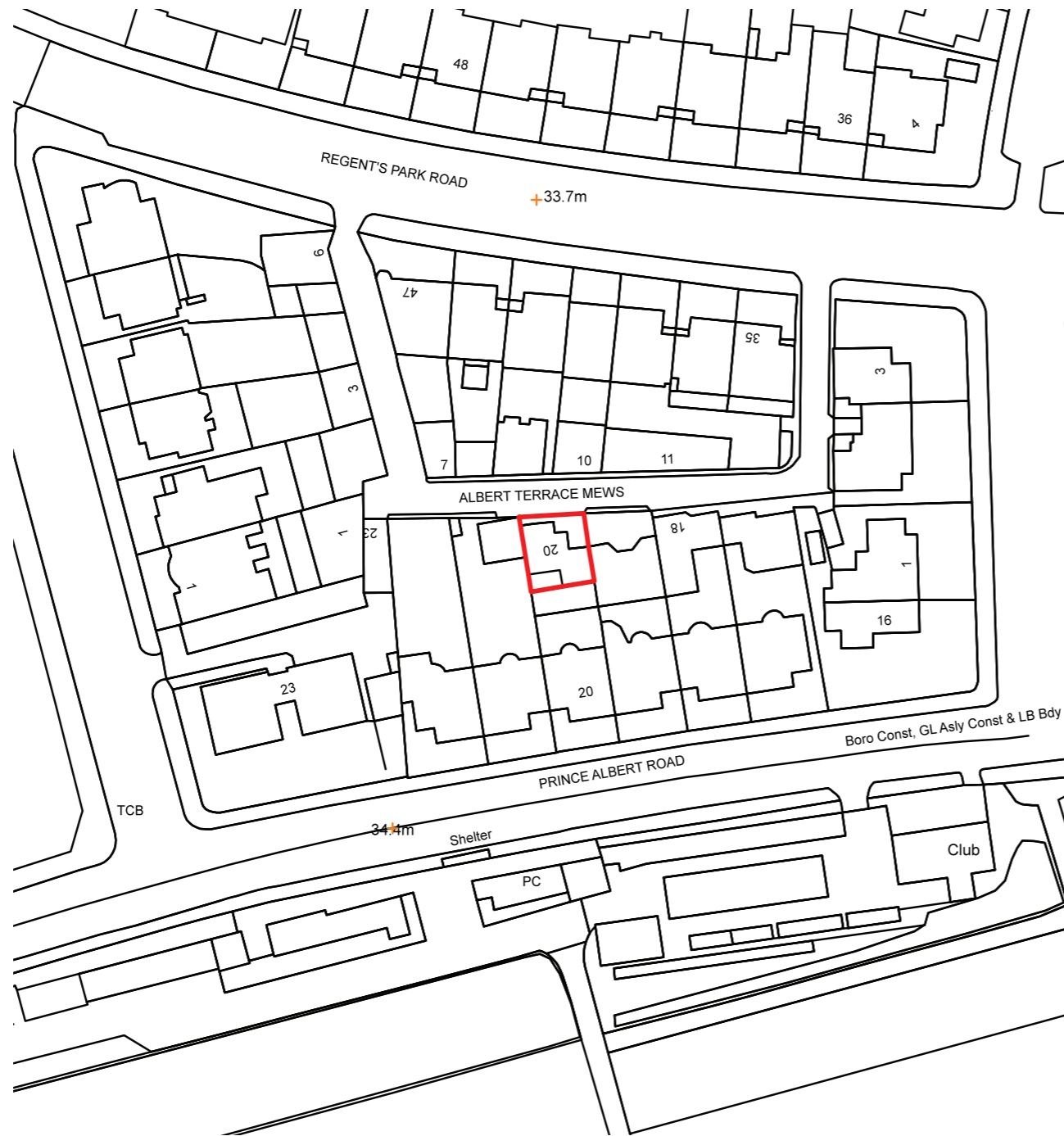


Figure 2.1 OS Map

## 20 Albert Terrace Mews

### 2.0 The Existing Context

#### 2.1 Site Context

Albert Terrace Mews was a service road for the larger houses on Albert Terrace, Prince Albert Road and Regent's Park Road. Service cottages began to appear in the mews in the 19th Century and No. 20, one of the last additions, was granted a permission in 1989 and constructed shortly afterwards.

The cottages were designed individually and over time, altered and extended sporadically, creating a mixture of contemporary architectural styles. The scale of 2 storey buildings along the mews is mainly preserved, though there are no uniform parapet datum, front building lines or roofscapes as can be seen from the aerial image below.

Constructed in 1990, No.20 has a contemporary

architecture style. It sits within a small plot of land to the rear of No.20 Prince Albert Road and forms a 2-storey detached house with flat roof. It has a small double pitch roof at its centre, which serves as skylight to the rear of the house, bringing daylight into the internal stair core.

The houses along the South side of the mews do not form a uniform street elevation No. 21 sits prouder than No.20 while No 19 sits set back from No.20 creating a large front garden.

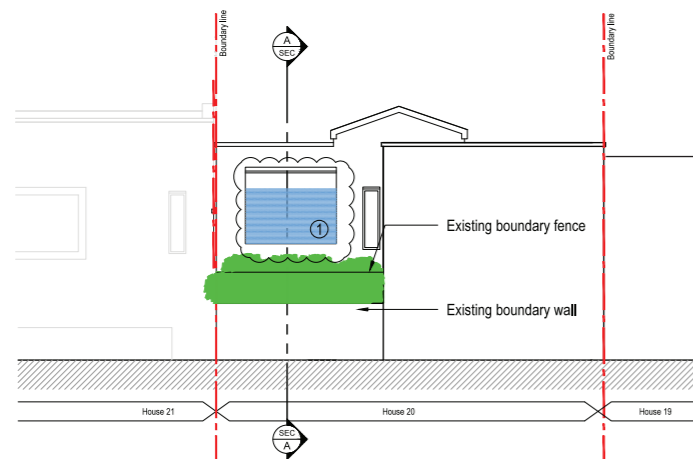
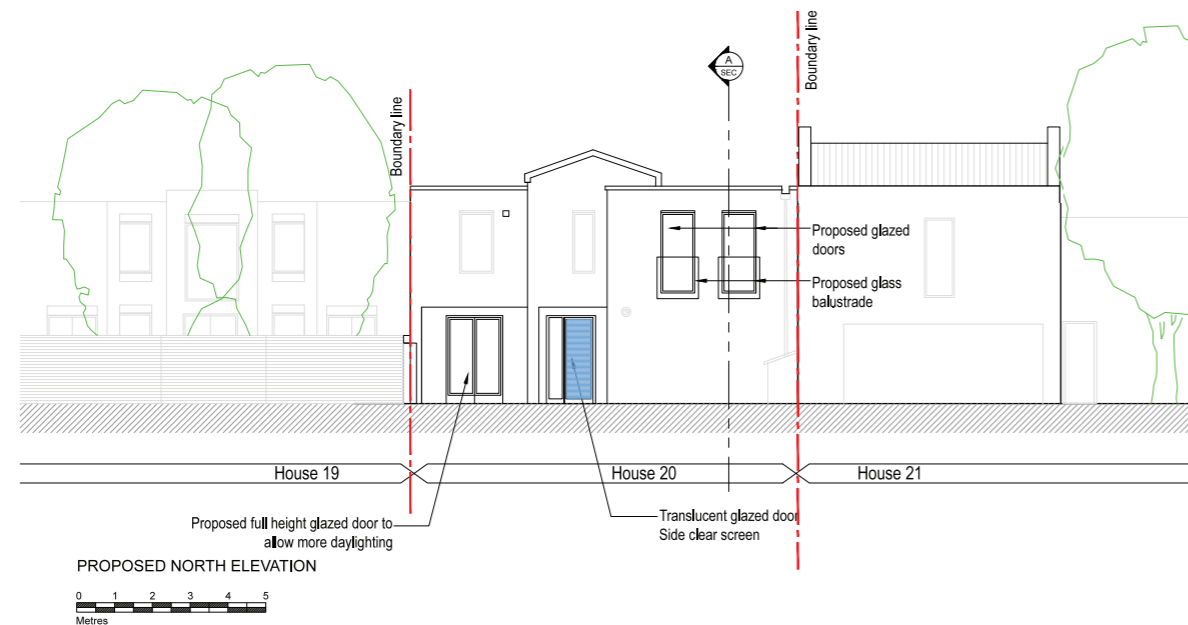
The roofscape along the mews has been altered significantly over time with various additions, skylights and roof terraces, giving the mews a unique character.



Figure 2.2 Aerial image of the mews from North West



## 20 Albert Terrace Mews



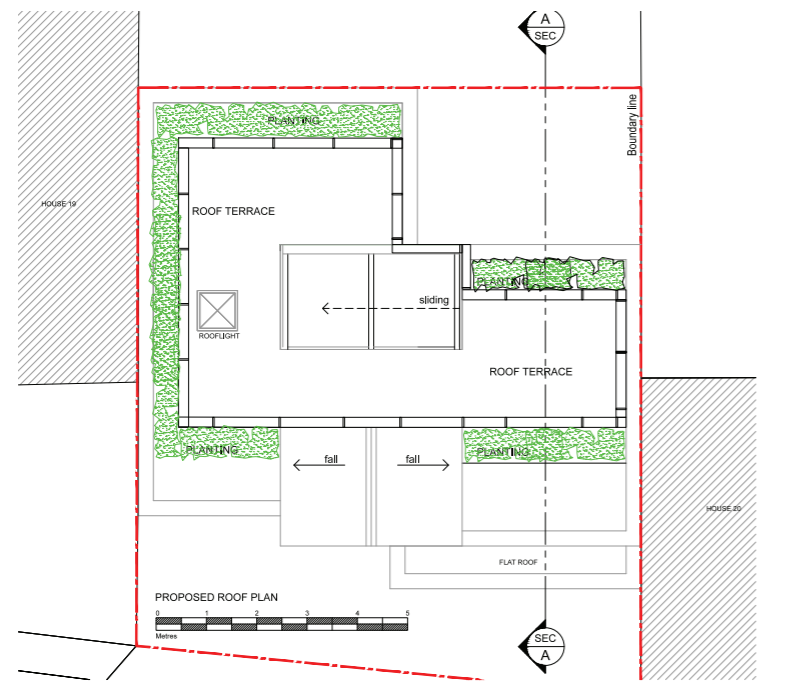
### 2.2 Relevant Planning Applications

There have been numerous planning applications submitted for No.20, the most relevant and recent are listed below:

Planning permission 2015/0485/P, which allows for:

- Erection of a first floor extension to the front elevation.
- Installation of full height French windows at ground floor level.
- Installation of a first floor box window to the rear elevation.

Figure 2.3 Planning Permission 2015/0485/P



## 20 Albert Terrace Mews

Planning application 2015/3102/P, which seeks permission for:

- Formation of roof terrace & glazed access structure

The application was withdrawn following the feedback received from the planning team and conservation officer. Neither objected to the principle of a roof terrace to No 20:

The Planning team confirmed that they considered the proposed development in keeping with the style of the existing building and that neighbours amenity had been protected, however concerns were raised about the material used to enclose the terrace. The conservation officer considered the glass screens used to enclose the terrace and protect amenity to be an inappropriate addition to the property and not in keeping with the character of development across the mews. It was suggested replacing the glass with railings would be an acceptable solution. This however would allow an unacceptable level of overlooking and loss of amenity to neighbours.

Primrose Hill Conservation Area Advisory Committee had no objection to the proposed design:

“Given the provision, and maintenance, of effective privacy screens to protect the amenity of residential neighbours in Prince Albert Road, we have no objection”.

Richard Simpson FSA

Chair Primrose Hill CAAC

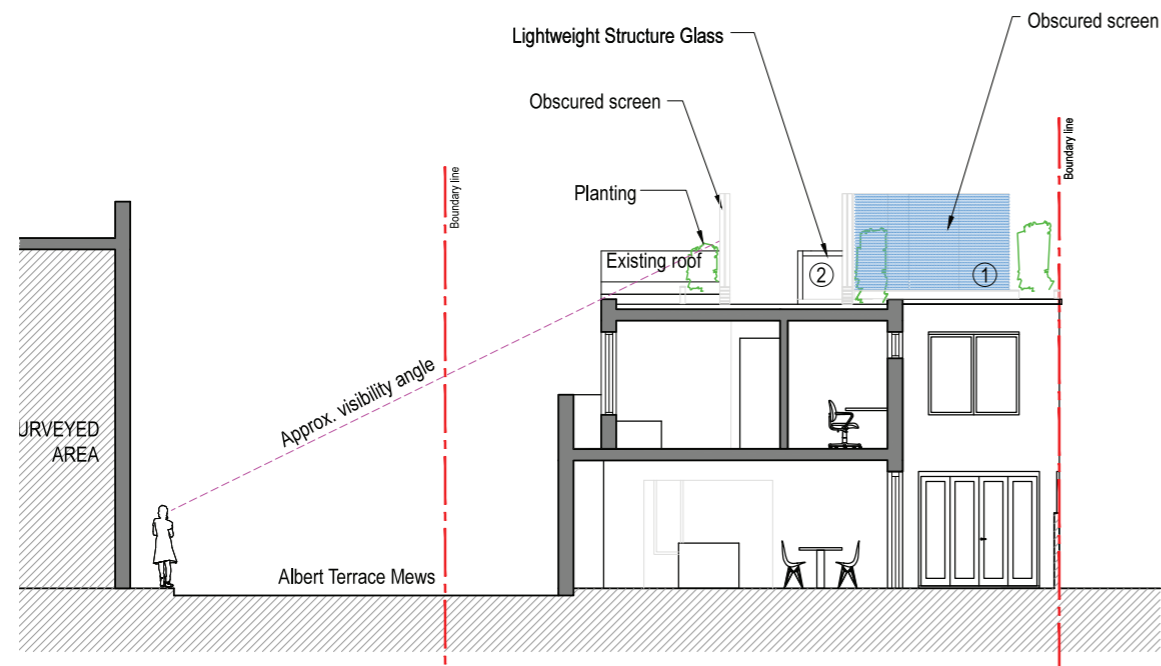


Figure 2.4 Planning Permission 2015/3102/P

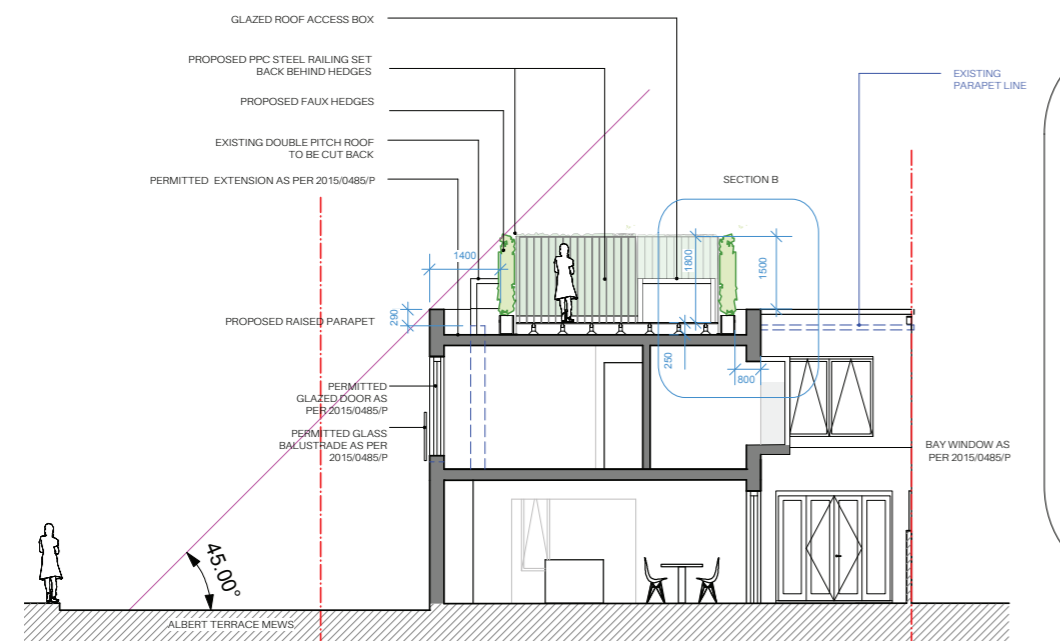
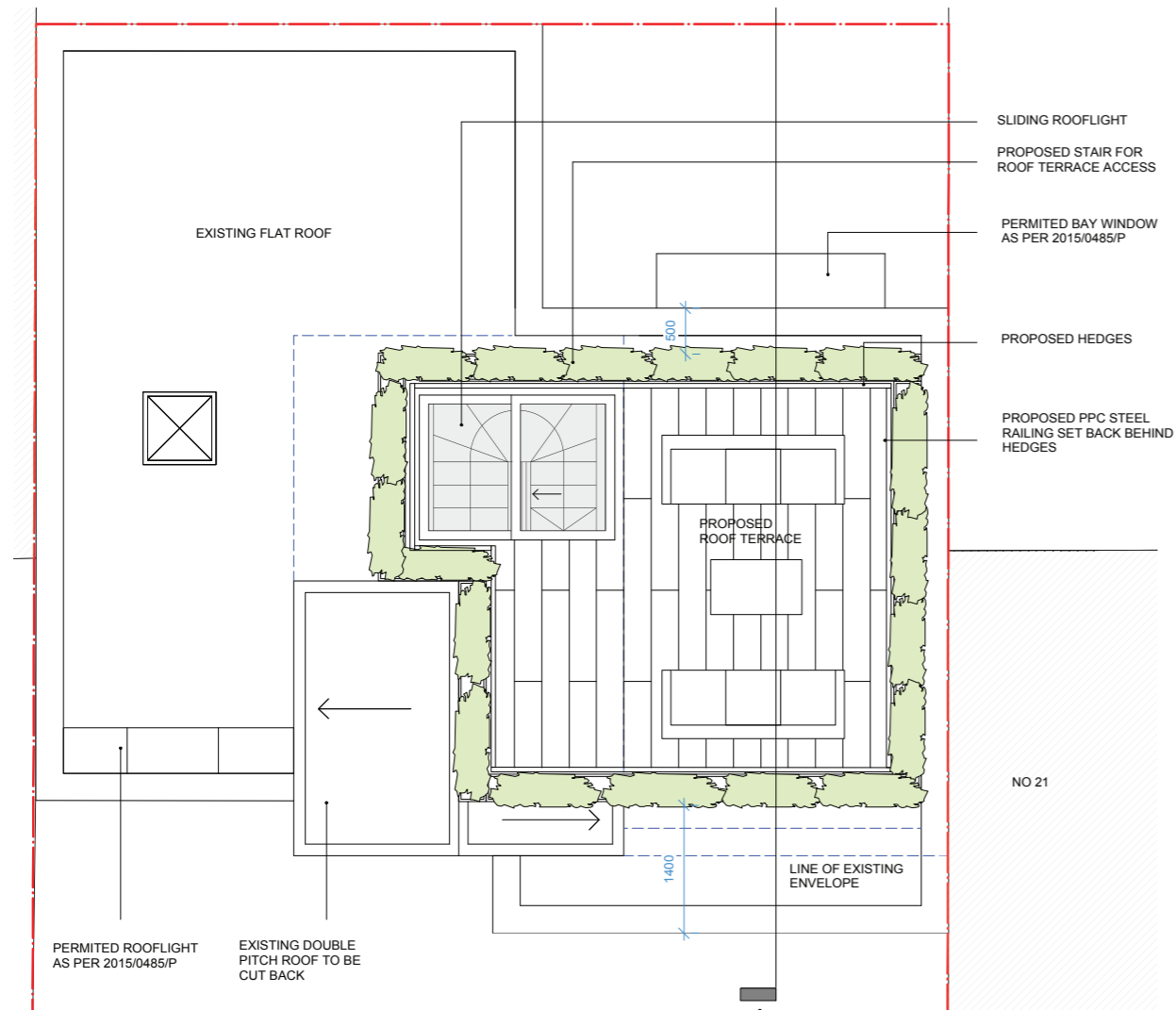


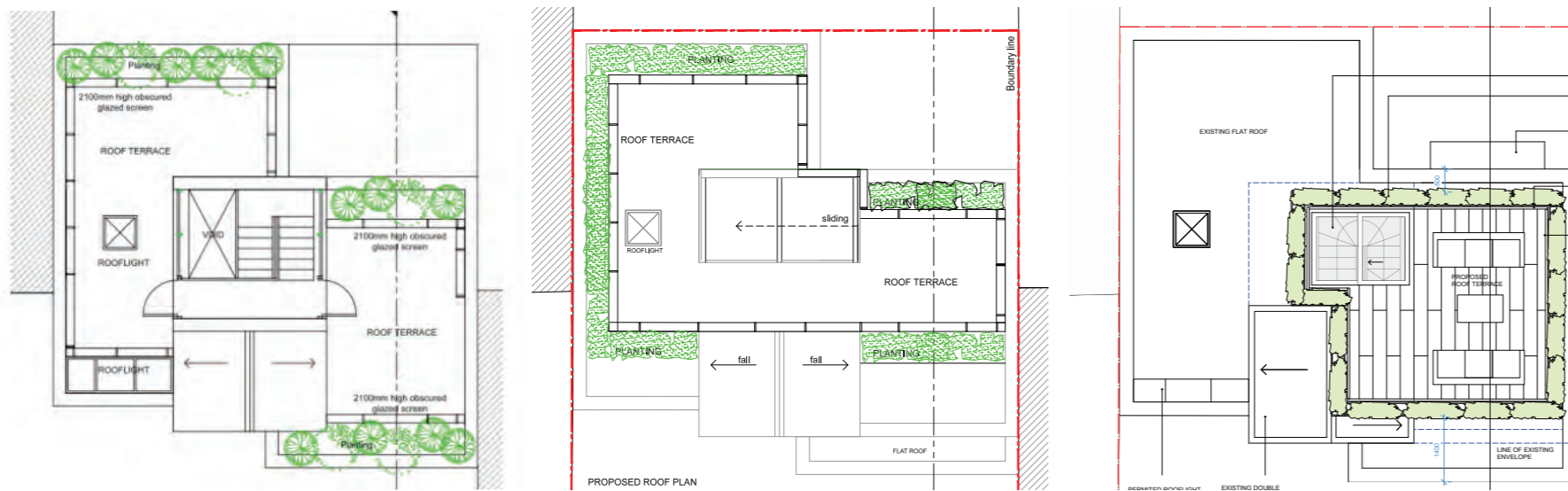
Figure 3.1 Proposed plan and section

### 3.0 The Proposed Design

#### 3.1 The Proposal

The proposal consists of:

1. Increment of the building parapet height by 290 mm in order to reduce the overall impact of the screening when viewed from the upper levels of surrounding houses..
2. Provision of a centrally located, low level, lightweight access structure constructed from aluminum framework and glass to provide access to the new terrace from the main internal stairwell.
3. Partial removal of the central double pitch roof structure. This will not effect the existing front elevation nor be visible from any street view. Neither will it affect any internal ceiling height as the existing double pitch roof form was constructed for aesthetic reason only and was not reflected in the internal space.
4. Formation of a roof terrace to the West side of the flat roof only. The footprint of the roof terrace can be seen in the adjacent plan. The terrace will be enclosed by metal railings, covered externally with artificial planting.



### 3.2 Design Evolution

The extent of terrace footprint has been reduced significantly following the feedback received at both the pre-app and previous application.

The proposed roof terrace will only sit on the West side of the flat roof and will be set back 500mm from rear elevation and 1.4m from front elevation. This increases the distance between the roof terrace and its nearest neighbour on Prince Albert Road to 15M and also significantly reduces public views of the terrace from the street

The glazed access box has also been reduced in scale. It will be entirely hidden behind the terrace enclosure and not visible from any street level views.

The parapet level will be raised by 290mm. The new datum is lower than No.21's parapet but slightly higher than No.19. The finished roof level will be kept as existing and a build up of terrace decking will be kept to a minimum. From the terrace, the height of the enclosure will be 1800mm creating a full privacy screen to the neighbouring habitable rooms but due to the proposed raised parapet, it will only appear to be 1500mm high when viewed from neighbouring properties.

Together with the setback of enclosure, there will be minimal view of the terrace from the street level.

Further planning considerations will be discussed in the next section.

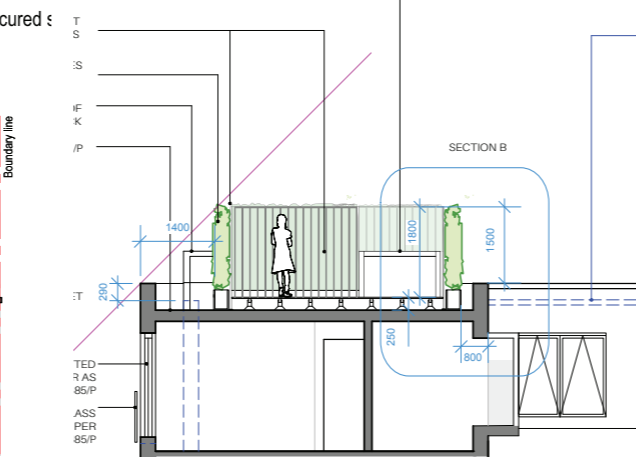
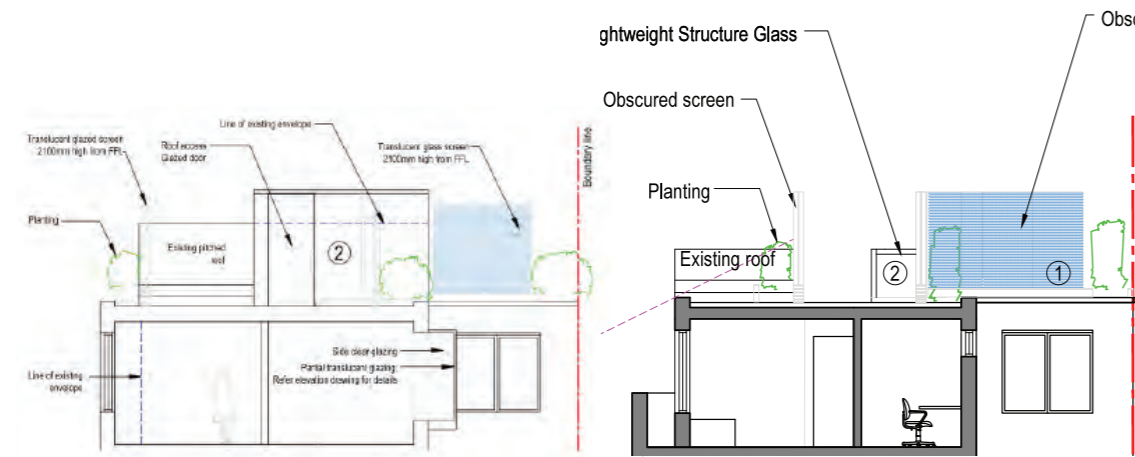


Figure 3.2A Pre-app plan and section

Figure 3.2B Withdrawn application

Figure 3.2AC Proposed plan and section



## 4.0 Planning Statement

### 4.1 Planning Policies

Camden's Local Development Framework 2010, Camden's Planning Guidance (CPG) and the 2001 Primrose Hill Conservation Area Statement were referred to during the design process.

#### **Camden Local Development Framework 2010**

The relevant policies are included in Section 3 A sustainable and attractive Camden, in particular:

##### DP24 Securing high quality design:

The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- a) Character, setting, context and the form and scale of neighbouring buildings;
- b) The character and proportions of the existing building, where alterations and extensions are proposed;

##### DP25 Conserving Camden's heritage:

The development should take account of conservation area, statements, appraisals and management plans when assessing applications within conservation areas.

##### DP26 Managing the impact of development on occupiers and neighbours:

The Council will protect the quality of life of occupiers and neighbours by only granting permission for development that does not cause harm to amenity. The factors we will consider include:

- a) Visual privacy and overlooking;
- b) Overshadowing and outlook;
- c) Sunlight, daylight and artificial light levels;
- d) Noise and vibration levels;

### **Camden Planning Guidance**

The guidance relevant to this application is as follows:

CPG 1 design

5.23 Potential problems of roof terrace include overlooking and privacy, daylight, noise, light spillage and security.

5.25 A roof terrace should normally comply with the following criteria:

- The dimensions of the roof should be sufficient to accommodate a terrace without adversely affecting the appearance of the roof or the elevation of the property.
- A terrace will only normally be acceptable on the rear of properties. It is normally inappropriate to set back a mansard to provide a terrace.
- It should not result in the parapet height being altered, or, in the case of valley/ butterfly roofs, the infilling of the rear valley parapet by brickwork or railings.
- Any handrails required should be well set back behind the line of the roof slope, and be invisible from the ground.
- It should not result in overlooking of habitable rooms of adjacent properties.

### **Primrose Hill Conservation Area Statement**

The document provides guidelines for development in the conservation area and the relevant ones to this proposal are as follows:

PH24 covers the formation of roof terraces. High-IP planning permission may be required for the formation of roof terraces. It is advisable to consult the Planning Service to confirm if this is the case. The creation of high level balconies where they will be visually intrusive or result in partial removal of the roof will be resisted. The enclosure of roof terraces should be constructed in metal set back behind the parapet and the access to the terrace should be designed to relate to the main building.

PH18 Alterations that change the shape and form of the roof makes these unacceptable where they fall within a set of criteria and therefore have a harmful impact on the conservation area. These include a largely unimpaired roofscape, situations where the roof is prominent, particularly in long views or if the building is higher than its neighbours or where a symmetrical composition would become unbalanced.

PH19 Lists the streets and building where changes to roofs are likely to breach the criteria of PH18 and this includes Albert Terrace Mews.

Further to the guidelines above, the documents also highlights that No. 20 is not a building that makes a positive contribution to the conservation area. It also describes the character of the Mews as follows:

'Sporadic development of the mews began late in the 19th century and has continued to the present day, encompassing a wide range of

architectural styles. These small mews buildings are generally located directly abutting, or close to the highway, are two storey high, with flat fronts and strong parapet lines. Other features of the mews include small-vegetated areas, York Stone paving, small set paving to highways and granite set side and central gutters. Views of the backs of the villa properties, rear gardens and boundary walls are also important and create a high degree of enclosure and privacy to some parts, which is punctuated by areas of relative openness and vegetation.'

Significant view for this part of the conservation area includes Regent's Park Road (south section): views into mews roads: Albert Terrace Mews