

Fig.1 - Cycle storage on ground floor for A1, B1/D1 & C3 use

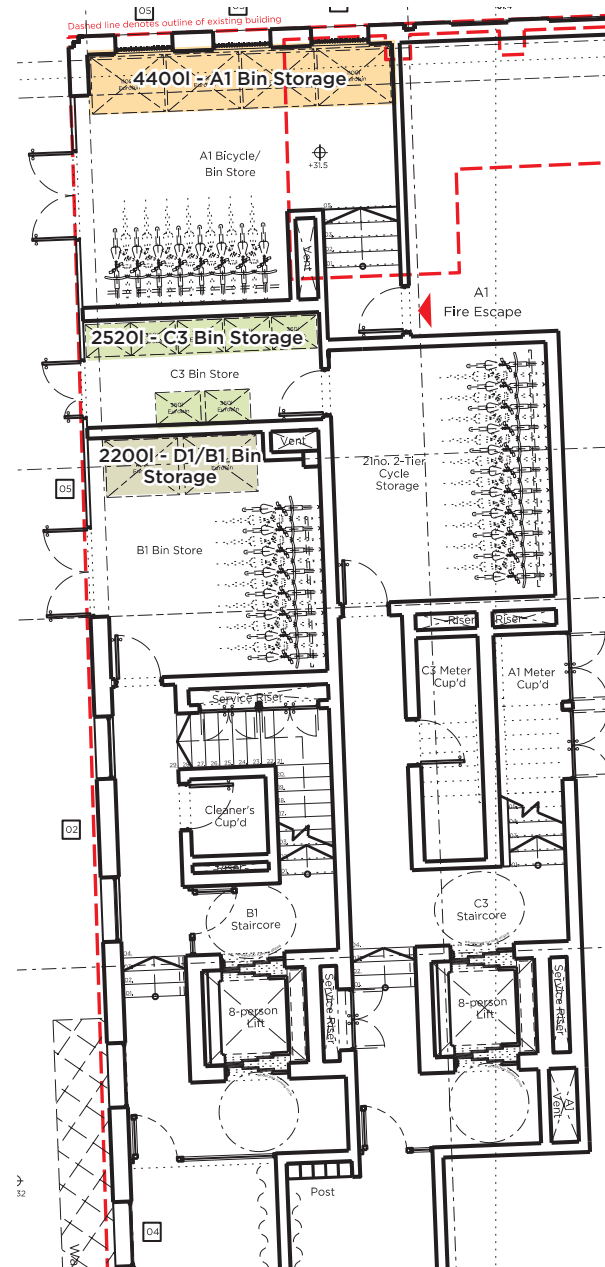


Fig.2 - Cycle storage on ground floor for A1, B1/D1 & C3 use

17.0 WASTE MANAGEMENT

17.1 Encouraging Recycling

The dwelling/office unit will be fitted with separate waste and recycling containers within the kitchen units. It is considered that this encourages occupants to separate their rubbish and recycling more regularly and reliably.

See image below.

17.2 Waste Collection

Existing

At present, commercial waste is collected from Kentish Town Road daily at three different times. The commercial collection point is right outside the property and is picked up before 7am, 5pm and 12am.

Proposed Commercial *

A bin store for commercial waste and recycling bins are proposed on the ground floor. It is proposed that both A1/B1 will continue their current waste management plan. Where the waste is housed, building management will take the waste on collection days to the waste holding area to be collected, once collection is complete, building management will return the bins to the stores.

Proposed Residential

One waste storage and one recycling Eurobin (both 1,100 litre) will be provided in the bin store located on the ground floor as shown at ground floor plan. According to Camden Planning Guide 10.11, the total waste produced from all proposed households are 1840 litres per week. Therefore, a minimum of 5no. 360 litre bins are required.

Refuse will periodically be taken by occupants from the kitchen to the bin store (via the lift) where daily refuse collections take place.

* Waste litres based on indicative NIA - B1 - 515sqm
- A1 - 1172 sqm



Proposed waste / recycling waste storage unit

(to be located in kitchen; marked in Blue)

80 Litre Capacity (2 x32L & 2 X 8L)
Cabinet Size - 600mm



Part M Design Criteria

Criterion 1 - Parking (width or widening capability)

Criterion 2 - Accessible approach to dwelling from parking (distance, gradients and widths)

Criterion 3 - Accessible approach to all entrances

Criterion 4 - All entrances should:

- a) Be illuminated
- b) Have level access over the threshold; and
- c) Have effective clear opening widths and nibs
- d) Have adequate weather protection*
- e) Have a level external landing.*

Criterion 5 - Accessible communal stairs and lifts

Criterion 6 - Internal doorways and hallways enable convenient movement in hallways and through doorways.

Criterion 7 - Circulation Space enable convenient movement in rooms for as many people as possible.

Criterion 8 - Entrance level living space provide accessible socialising space for visitors less able to use stairs.

Criterion 9 - Potential for entrance level bed-space to provide space for a member of the household to sleep on the entrance level if they are temporarily unable to use stairs.

Criterion 10 - Entrance level WC and shower drainage to provide an accessible WC and potential showering facilities.

Criterion 11 - WC and bathroom walls ensure future provision of grab rails is possible, to assist with independent use of WC and bathroom facilities.

Criterion 12 - Stairs and potential through-floor lift in dwellings enable access to storeys above the entrance level for the widest range of households.

Criterion 13 - Potential for fitting of hoists and bedroom / bathroom relationship to assist with independent living

Criterion 14 - Provide an accessible bathroom that has ease of access to its facilities from the outset.

Criterion 15 - Glazing and window handle heights to enable people to have a reasonable line of sight from a seated position in the living room and to use at least one window for ventilation in each room.

Criterion 16 - Locate regularly used service controls, or those needed in an emergency, so that they are usable by a wide range of household members

18.0 LIFETIME HOMES/PART M

The table below shows the Lifetime Homes/Part M assessment of each flat.

The internal layouts of the apartments and their services all comply with Lifetime Homes Criterion 6-16 where applicable. This means that all internal circulation, bathrooms and layouts are compliant where possible. These exceptions have been limited and are noted in the matrix below.

Matrix																	
Criterion		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Flat	Beds	Parking	Approach to dwelling from parking.	Level approach to all entrances	External entrance	Communal stairs	Internal doors & hallways	Circulation space	Entrance level living space	Entrance level bed space	Entrance level WC & shower drainage	Bathroom / WC adaptability	Stairs and potential through floor lift in dwelling	Potential for fitting of hoists	Bathroom	Windows	Service Controls
Flat 1	3	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓
Flat 2	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓
Flat 3	3	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓
Flat 4	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓
Flat 5	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓
Flat 6	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓
Flat 7	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Flat 8	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Flat 9	2	Note A	Note A	✓	✓	✓	✓	✓	✓	✓	✓	✓	N/A	✓	✓	✓	✓

Note A No car parking spaces to be provided as part of development.





'The Site'
152-156 Kentish Town
Road

152-156 Kentish Town Road
Street view looking South-east along Kentish Town Road

19.0 CONCLUSION

19.1 This document has been compiled following thorough investigation of the history of the site and surrounding area, recently consented developments close to the application site, and all relevant local and national planning policy. We believe that by adopting a sensitive and considered approach, the proposals outlined in this document represent an opportunity to create an exemplary mixed use development without impacting the amenity or character of the surrounding area.



SECTION TWO:
EXISTING & PROPOSED VISUALS



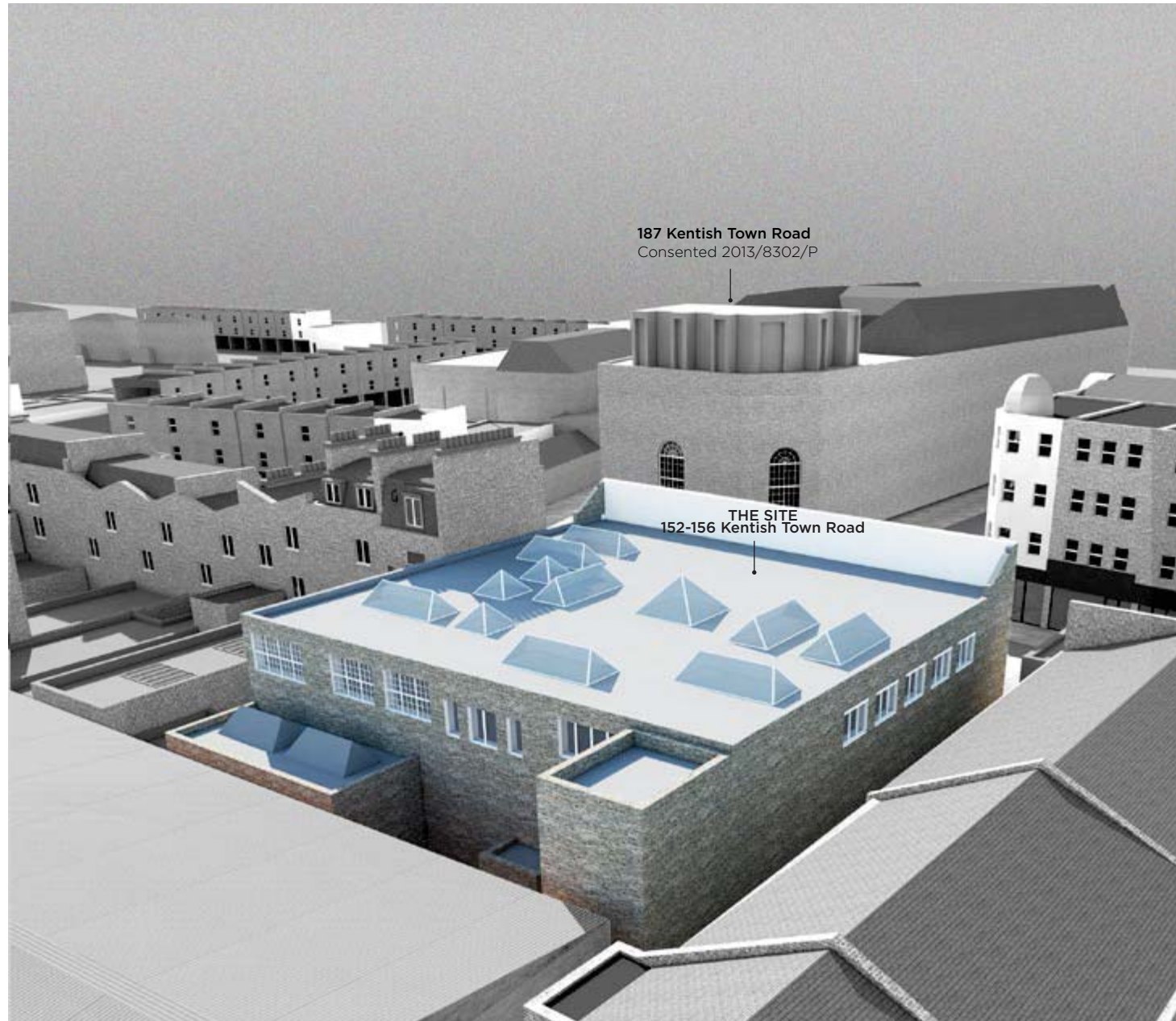


Isometric View I - Existing
Front Perspective I



Isometric View I - Proposed
Front Perspective I





Isometric View II - Existing
Rear Perspective I



Isometric View II - Proposed
Rear Perspective I





Isometric View III - Existing
Rear Perspective II



Isometric View III - Proposed
Rear Perspective II





Isometric View III - Existing
Rear Perspective II



Isometric View III - Proposed
Rear Perspective II





Existing Perspective of Front (West) Elevation



Proposed Perspective of Front (West) Elevation





Existing Perspective of Front (West) Elevation



Proposed Perspective of Front (West) Elevation





187 Kentish Town Road
Consented 2013/8302/P

Existing Perspective of Front Elevation from Prince of Wales Road



187 Kentish Town Road
Consented 2013/8302/P

Proposed Perspective of Front Elevation from Prince of Wales Road

