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1.0

Introduction

This is a Design and Access Statement prepared by design-NA Architects in support of the application for householder planning permission at 1E Parsifal Road, London NW6 1UG on behalf of Mr Julien Leonard.

Permission is sought for a roof extension above the existing flat roof. The development property is one half of a pair of semi-detached two-storey properties and the design has been conceived under a unified design concept, although two separate applications will be submitted.

The purpose of the development is to create more living space for the growing families of the applicants as well as to improve the aesthetics of the existing buildings. The design access and statement aims to demonstrate that the proposed development is an enhancement to the building itself, the local area and will have no detrimental impact on the amenities of the neighbouring properties.



Fig 1 Site location with site in red



Fig 2 Northwest elevation of No. 1E and 1F Parsifal Road



Fig 3 Northeast elevation of 1E Parsifal Road



Fig 4 Roof space

2.0

Project Summary

1E and 1F are a pair of semi-detached brick-clad dwellings constructed in 1978 (Camden planning ref: 25466 (R)). They have both since been extended and refurbished. 1F was permitted under application 2008/2273/P. 1E is currently being developed under permission 2014/1911/P.

Design-NA Architects have jointly appointed by both occupants in order that the design of both extensions appear harmonious when viewed as a pair. The proposed development is a zinc-clad, one-storey roof extension with a curved profile in plan and section to reduce bulk and reduce impact on visual privacy, overlooking, overshadowing to the neighbouring properties. Functionally, the extension will provide additional accommodation for the two growing families currently in residence.

The design has been developed with Camden design policies, core strategies and planning policies in mind. And we are confident that the proposal will enhance the massing and proportion of the existing building, whilst using a traditional material in an innovative and contemporary manner.

3.0

Context Analysis

The site of 1E Parsifal Road lies in the Fortune Green Ward in the Borough of Camden. It is accessed off a private street off Parsifal Road, close to its junction with Finchley Road, which is a major arteriole road leading out of North London developed in 1826 as a turnpike road. The site lies in an area North of West Hampstead, South of Fortune Green and West of Hampstead proper and was developed from the late 19th Century onwards. It is an area of minor late Victorian terraces and mansion flats which in 1952 Pevsner wittingly described as "houses and streets [which] require no notice".

The properties at 1A-1G Parsifal Road are dwelling houses developed in the back garden land to number 519-525 Finchley Road. The developments were carried out over a number of years, 521 Finchley Road was developed in 1966 following approval for planning consent ref F4/5/B/2006 for the erection of a four-storey block of flats and 14 garages at rear. These garages are presently adjoining 1E Parsifal Road.

1E and 1F Parsifal Road were developed along with the redevelopment at 525 Finchley Road, application ref F4/5/B/23531 in 1977-78. Planning permission was for the erection of a block of 13 flats, a terrace of 4 three-storey dwelling houses fronting Parsifal Road and 2 dwelling houses to the rear of the site.

The houses at 1E and 1F Parsifal Road were granted planning permission together in February 1978. They are built of red bricks and are almost detached except for an original shared boundary at the South-West corner of approximately 2m which has since been extended to the current length of 3.8m.

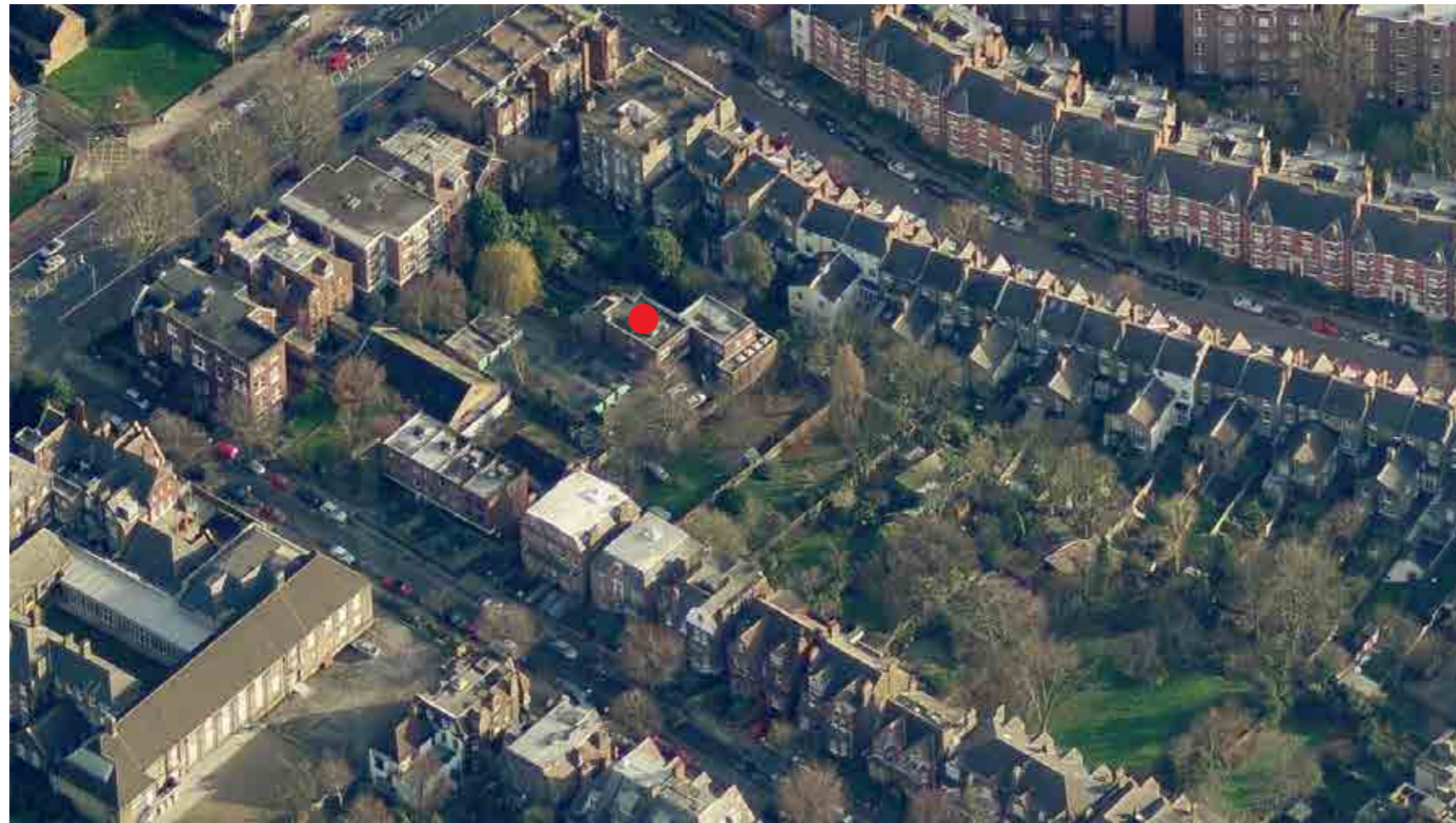


Fig 5 Aerial view of front of 1E Parsifal Road (shown by red dot)

They were designed as two-storey family homes with traditional brickwork and block work cavity wall construction. Both were built on similar sized plots of approximately 7.5m wide and 45m long. The rear garden to 1E is slightly shorter at approximately 25m long as the fore court is needed for access to No.1F.

The original house has had an extension attached in 1984. Apart from that the interiors are largely un-modernised as the same family has been living in the property since it was built.

The site does not lie in a conservation area.



Fig 6 Aerial view of the rear of 1E Parsifal Road (shown by red dot)

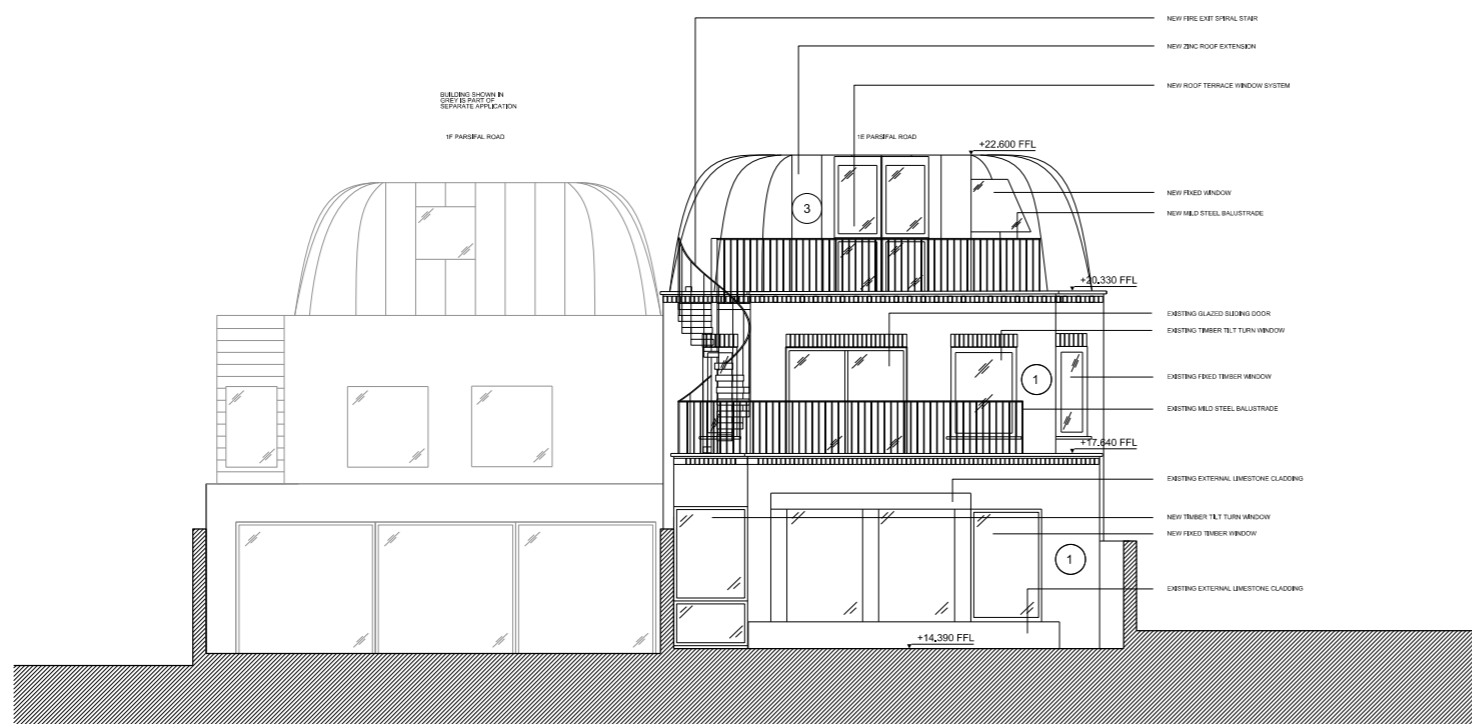


Fig 7 Proposed Northeast Elevation

4.0 Planning Policies

The following planning policies and planning documents guidance have been consulted during all stages of the design processes and in preparation of this document.

Camden Replacement Unitary Development Plan (adopted June 2006)

- Policies S1/S2
- Policies B1, B3 and B7
- Policies SD6

Camden Development Policies

- Section 3, DP26

This has ensured that our proposals are in keeping with the borough policies and our design is sensitive and conforms to the planning guidelines.



Fig 8 View through neighbour on the northeast



Fig 9 View through neighbour on the southeast

5.0 Design Proposal

5.1 Design Rationale / Approach

1F Parsifal Road was refurbished under the design of William Tozer Architects in 2008. Design-NA Architects were appointed to oversee the current refurbishment of 1E with a design that respects the materiality and massing of the works to 1F. The current proposals are an extension of that design philosophy and is judged to be in-keeping with the contemporary aesthetics of the property.



Fig 10 Proposed roof extension

5.2 Scale and Massing

The scale and massing of a roof extension development must be considered carefully in order to mitigate the impact on views and skylines. The new extension is considered to be a modern mansard roof, with a carefully considered curvature that softens its outline.

The height of the extension has been kept to a minimum and is very much lower than the properties on Parsifal Road itself as well as the ones on Lyncroft Gardens and Finchley Road.

1E Parsifal Road

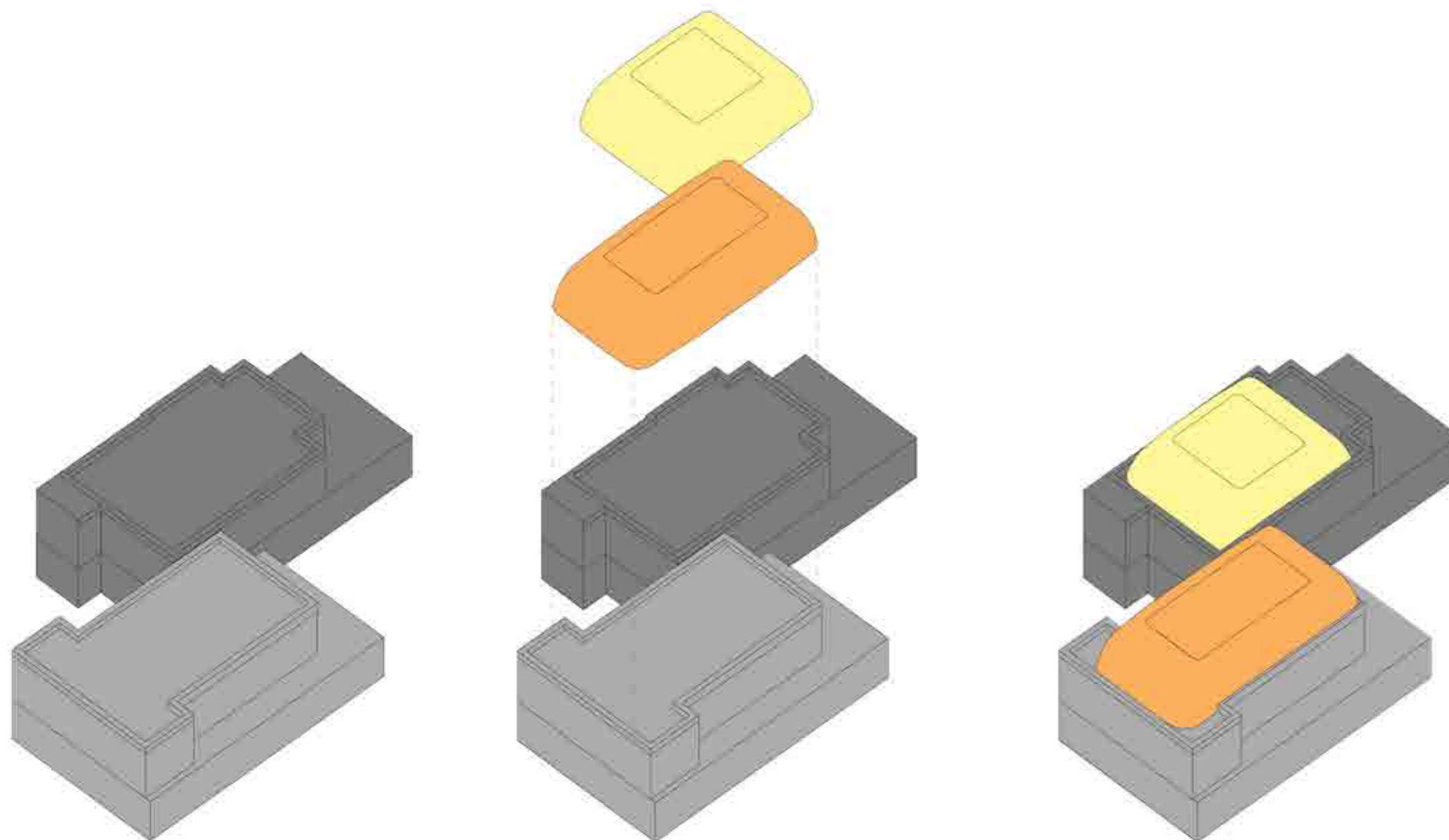
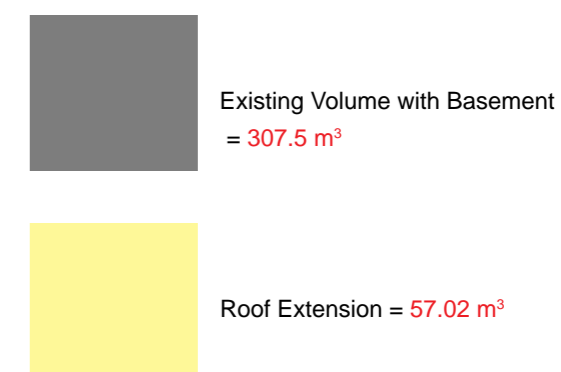


Fig 11 Existing isometric

Fig 12 Proposed volumes exploded isometric

Fig 13 Proposed volume isometric

5.3

Appearance

The roof extension is zinc-clad. Zinc has been used widely in Europe since the 18th century as the roofing material whilst can still be used innovatively and sustainably. Zinc is 100% recyclable material, durable, waterproof, resistant to corrosion as well as degradation under UV radiation. It is also cost effective. It is popular both in traditional and contemporary design and its malleability makes it well-suited to curved forms such as the one proposed here.



Fig 14 Zinc roof



Fig 15 Mansard roof on Parsifal Road

6.0
Access

There is no change to the access to the property.

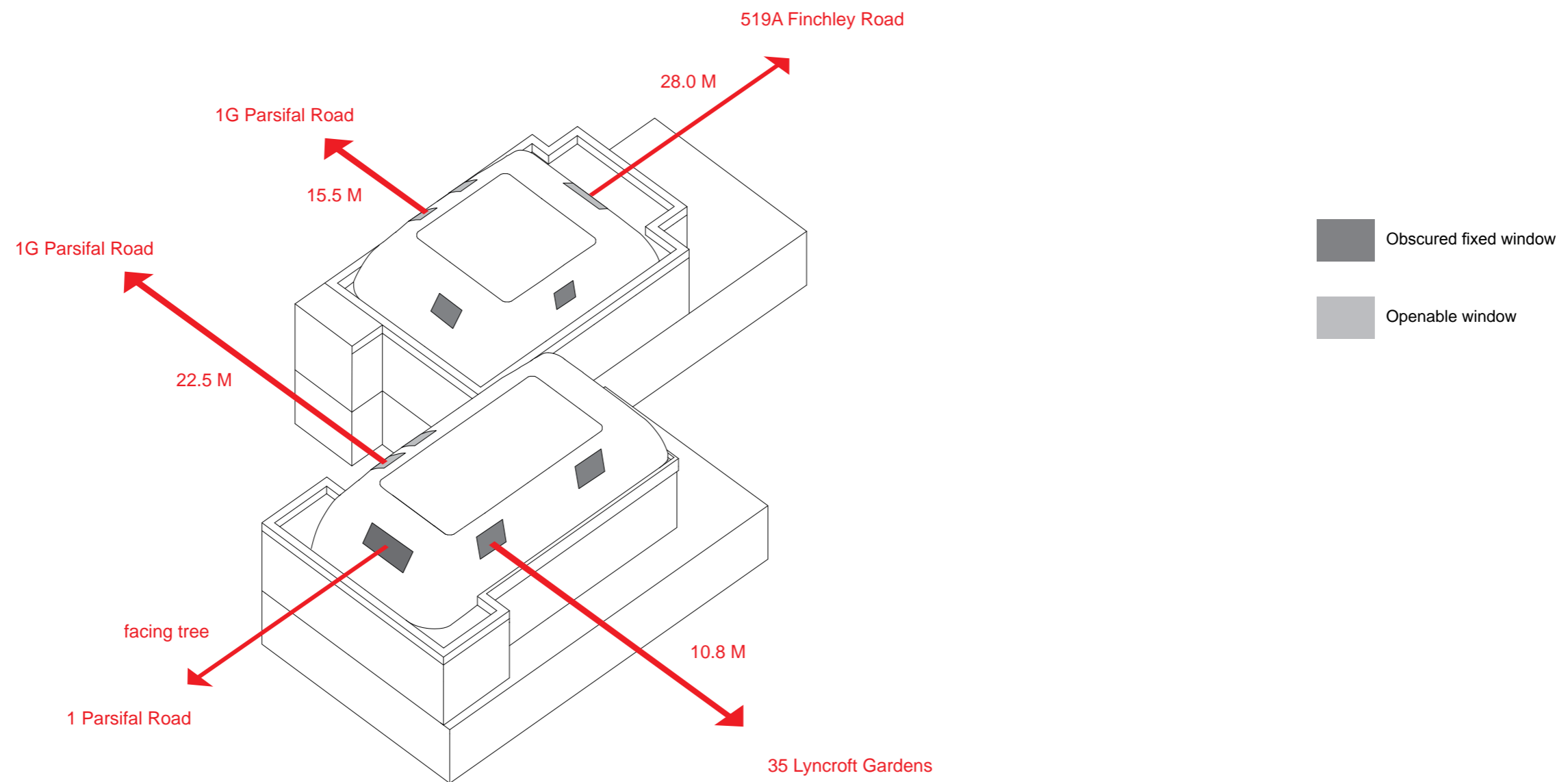


Fig 16 Diagram shown distance between properties

7.0

Appendix A - Drawings



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10m 20m 30m 40m 50m 60m 70m 80m 90m 100m110m120m130m140m

Scale: 1:1250, paper size: A3

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KEY PLAN			


 design-NA architects
 70 Cowcross Street
 London EC1M 6EJ
 T: +44 (0) 20 7870 7767
 E: info@design-NA.com

PROJECT
 JULIEN LEONARD
 1E PARSIFAL ROAD

DRAWING TITLE
 SITE LOCATION PLAN

SCALE AT A3
 1:1250

DATE
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Scale: 1:500, paper size: A3

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design-NA architects
 70 Cowcross Street
 London EC1M 6EJ
 T: +44 (0) 20 7870 7767
 E: info@design-NA.com

PROJECT
 JULIEN LEONARD
 1E PARSIFAL ROAD

DRAWING TITLE
 BLOCK PLAN

SCALE AT A3
 1:500

DATE
 JUN 2015

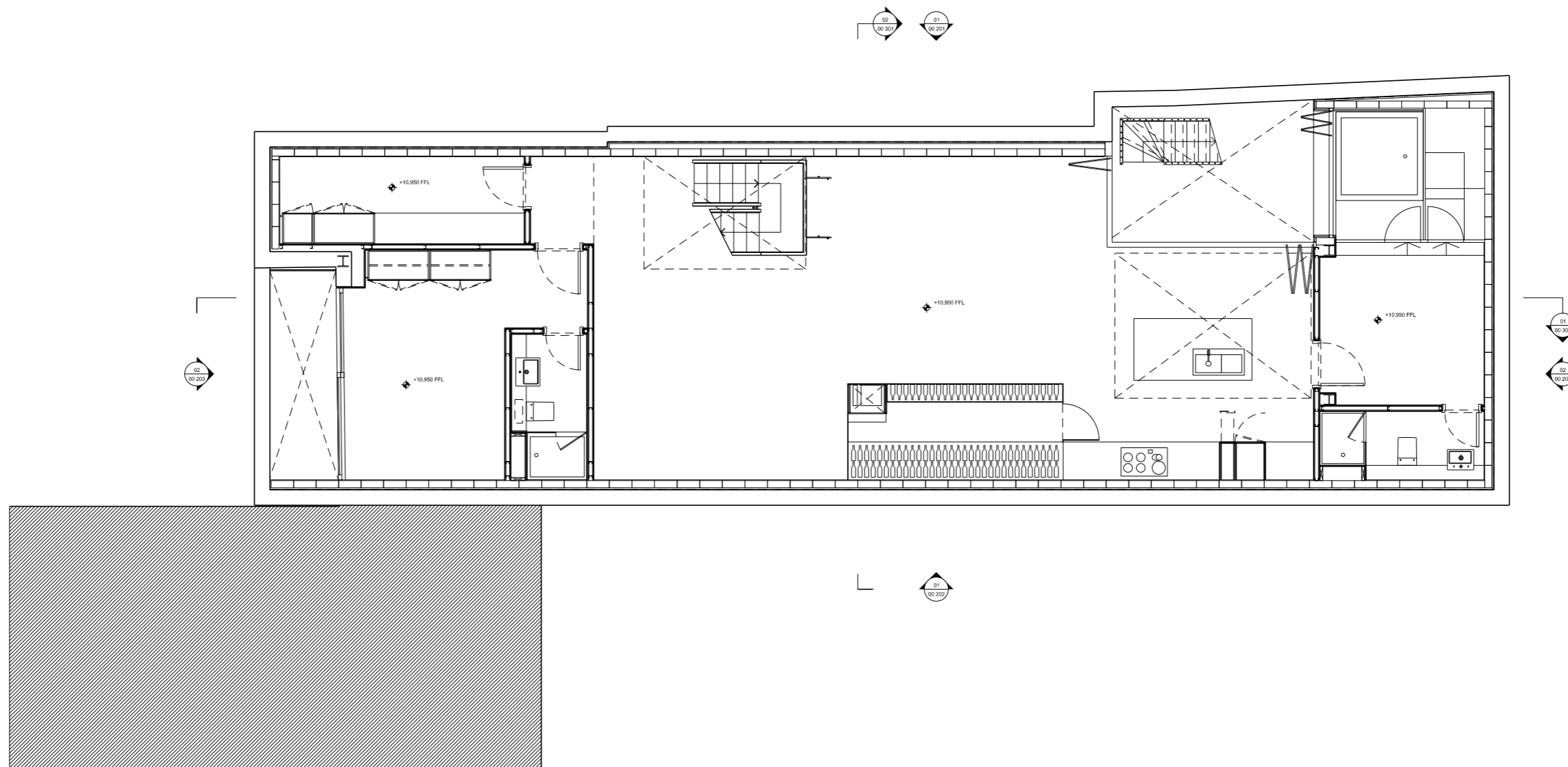
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design-NA Architects
 79 Coverscross Street
 London
 EC1M 6EJ
 T: +44 (0) 20 7870 7767
 E: info@design-na.com

PROJECT
JULIEN LEONARD
 1E PARSIFAL ROAD

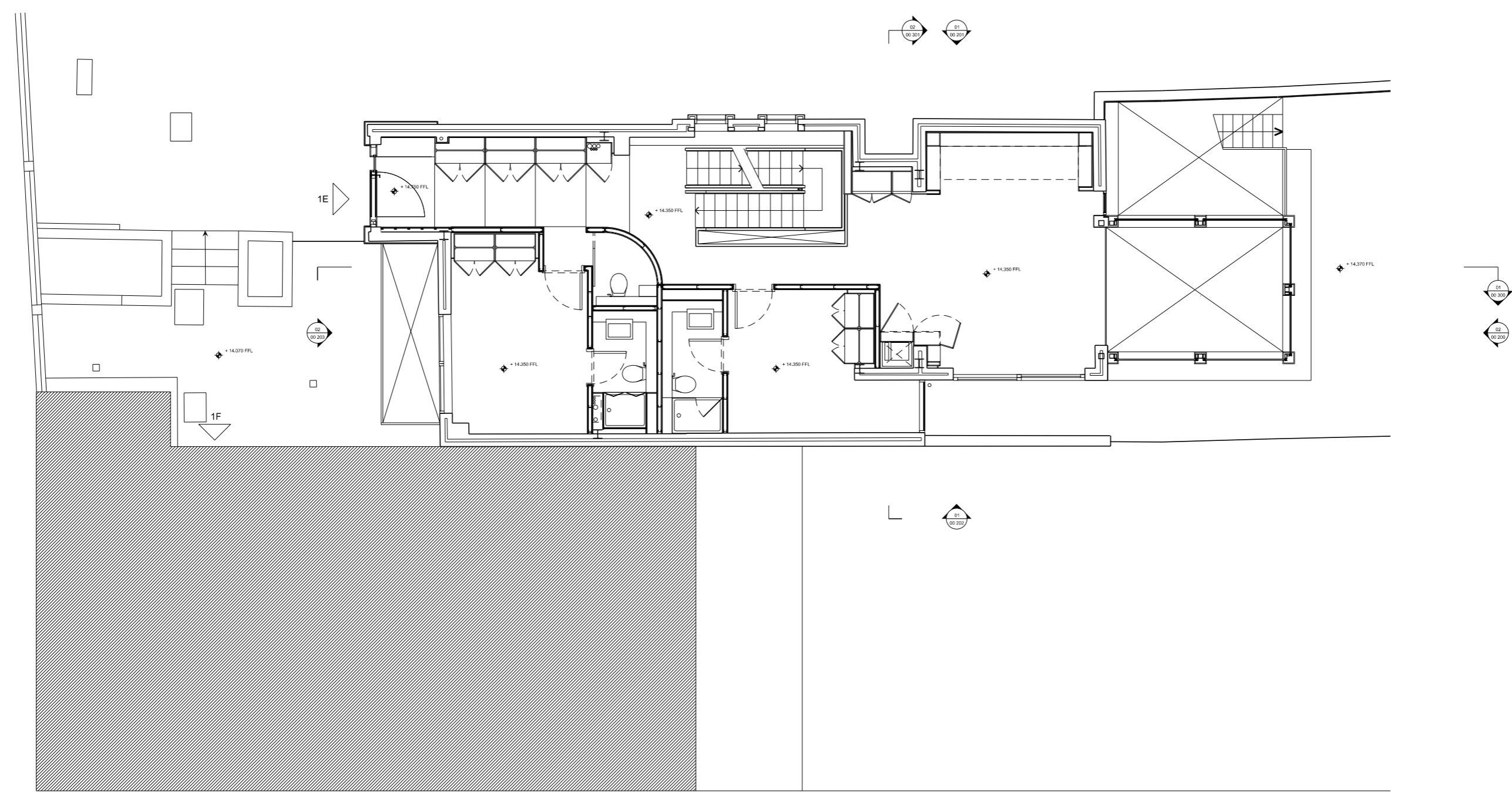
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design-NA Architects
 70 Coverscross Street
 London
 EC1M 6EJ
 T: +44 (0) 20 7870 7707
 E: info@design-na.com

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JULIEN LEONARD
1E PARSIFAL ROAD

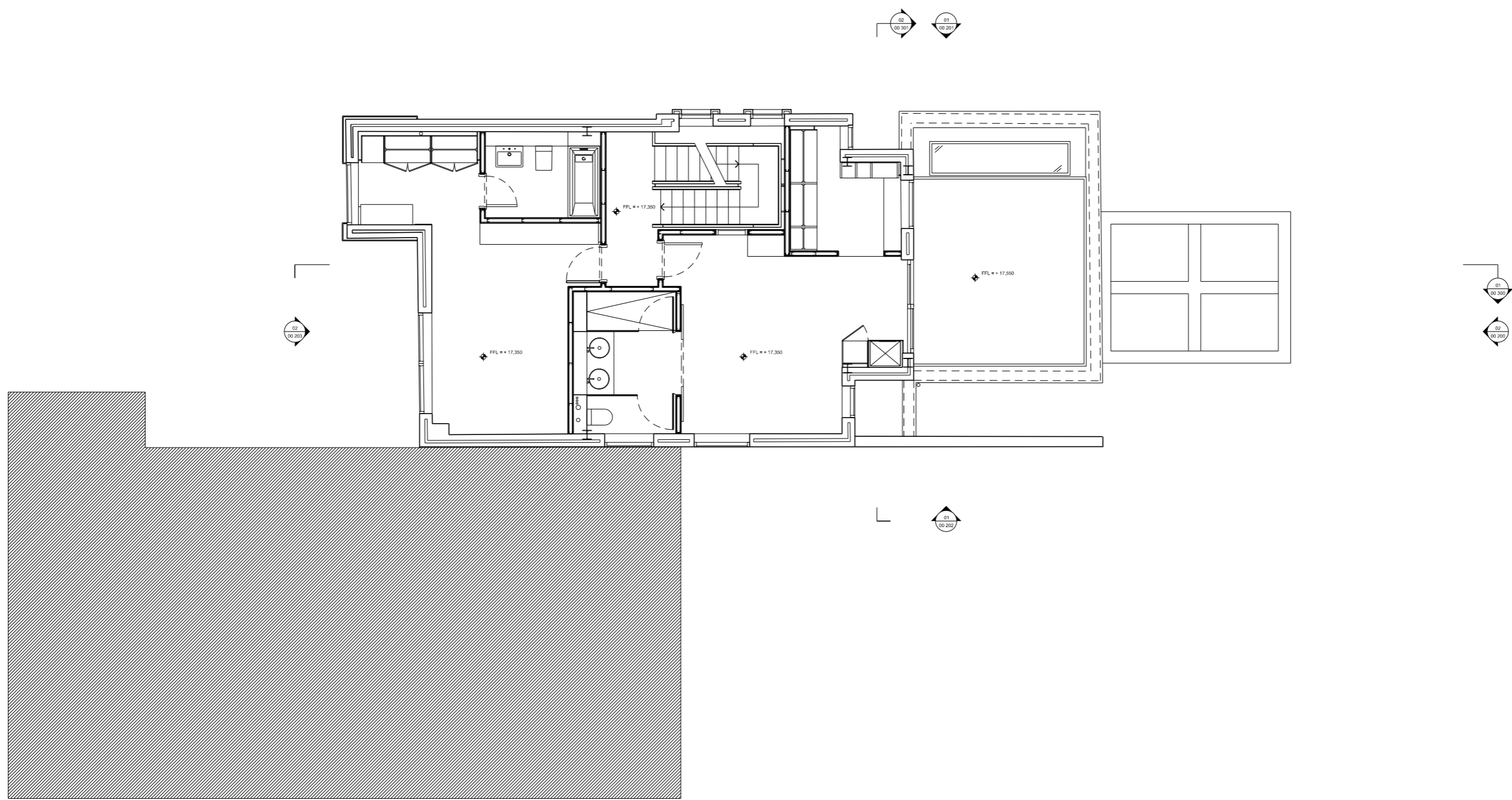
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design-NA Architects
79 Coversox Street
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EC1M 6EJ
T: +44 (0) 20 7670 7767
E: info@design-na.com

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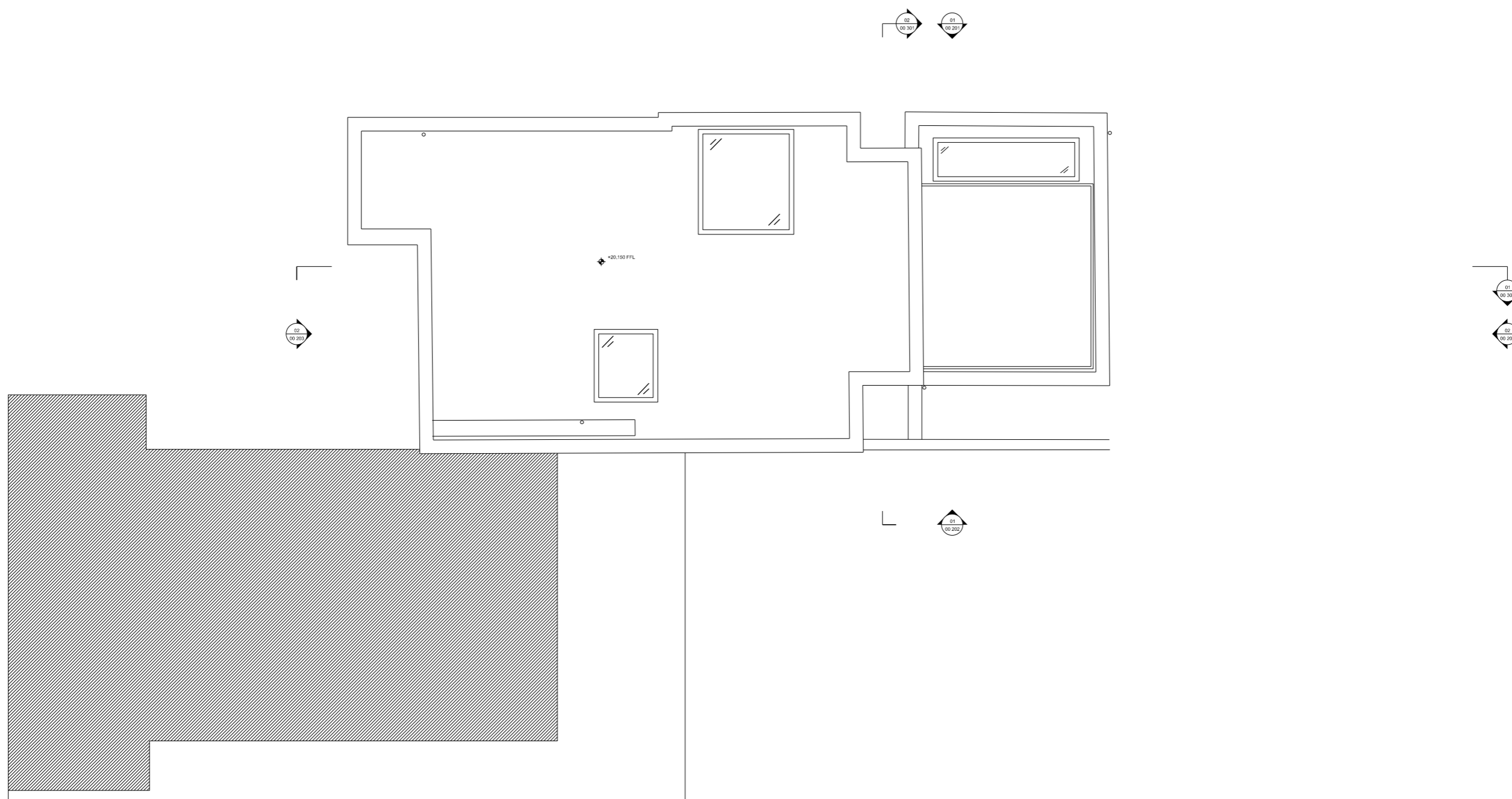
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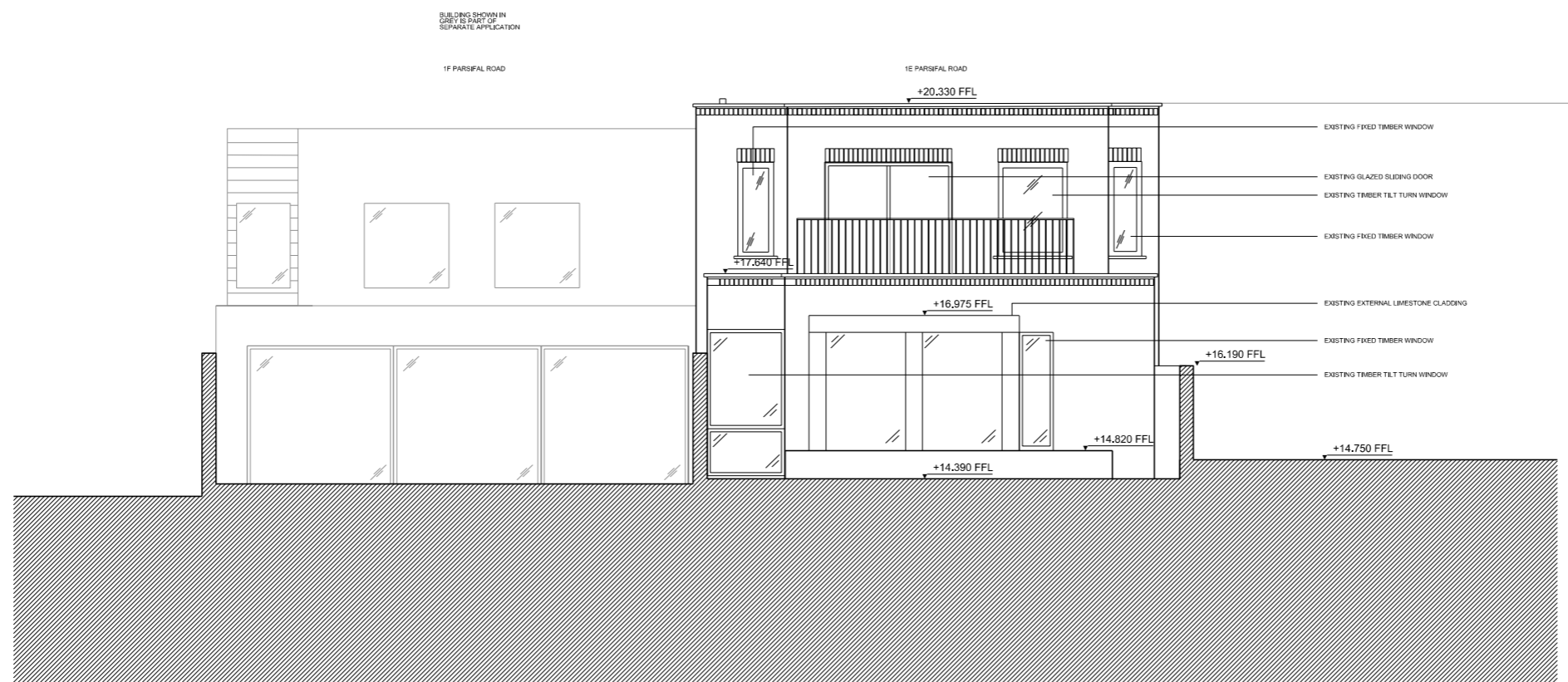
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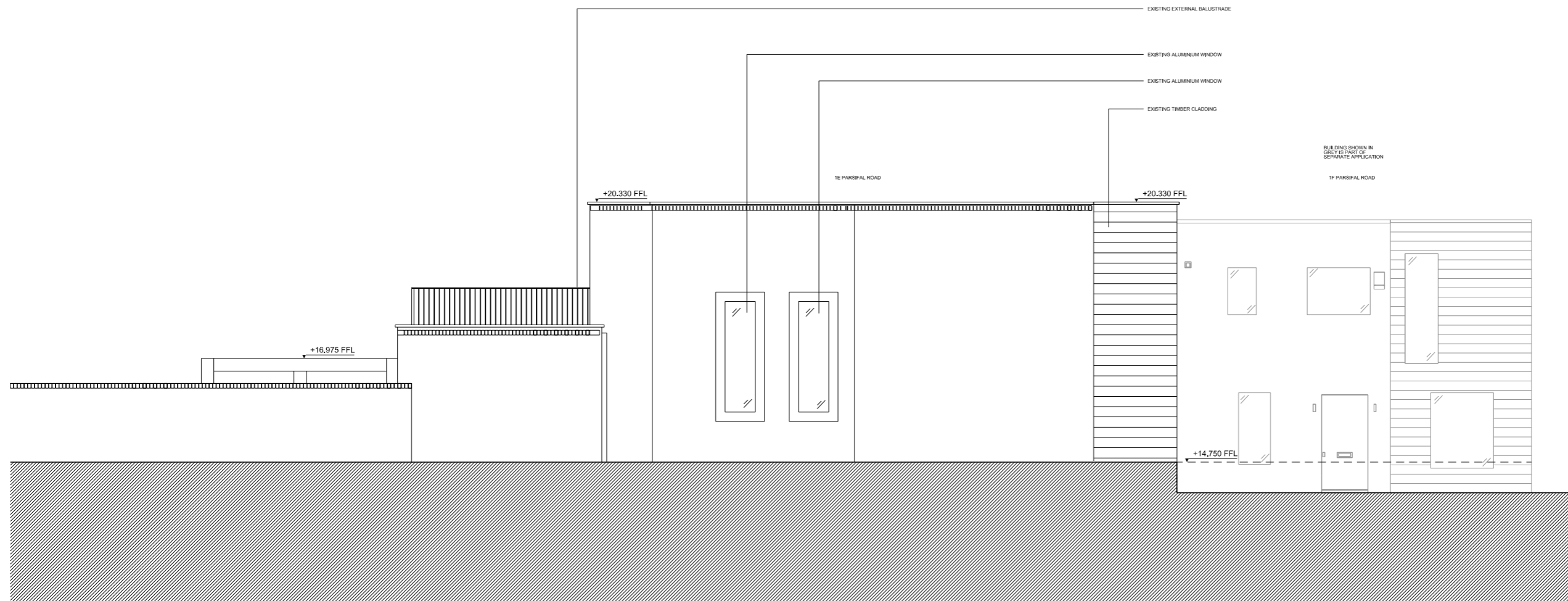
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1E PARSIFAL ROAD

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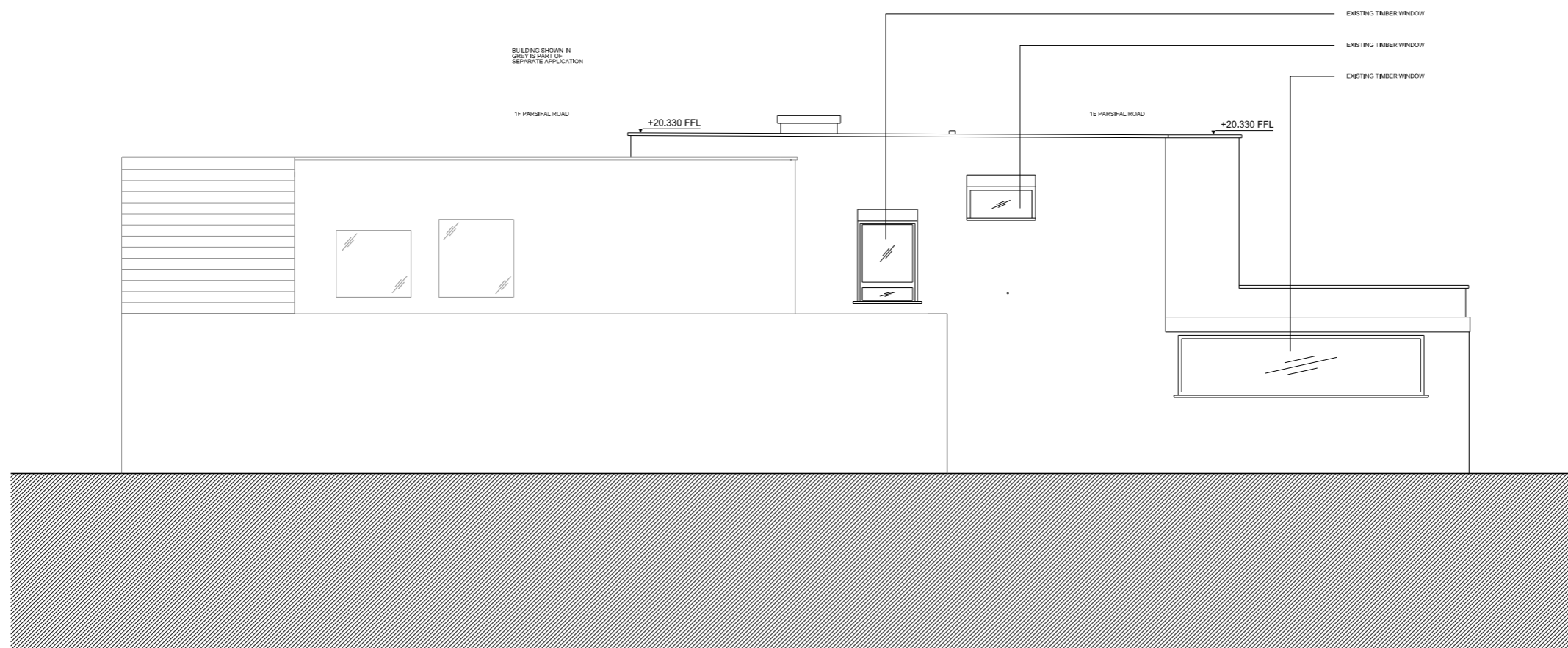
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1E PARSIFAL ROAD

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d-NA PRR 00 201	P1

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PROJECT
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1E PARSIFAL ROAD

DRAWING TITLE
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SOUTHEAST

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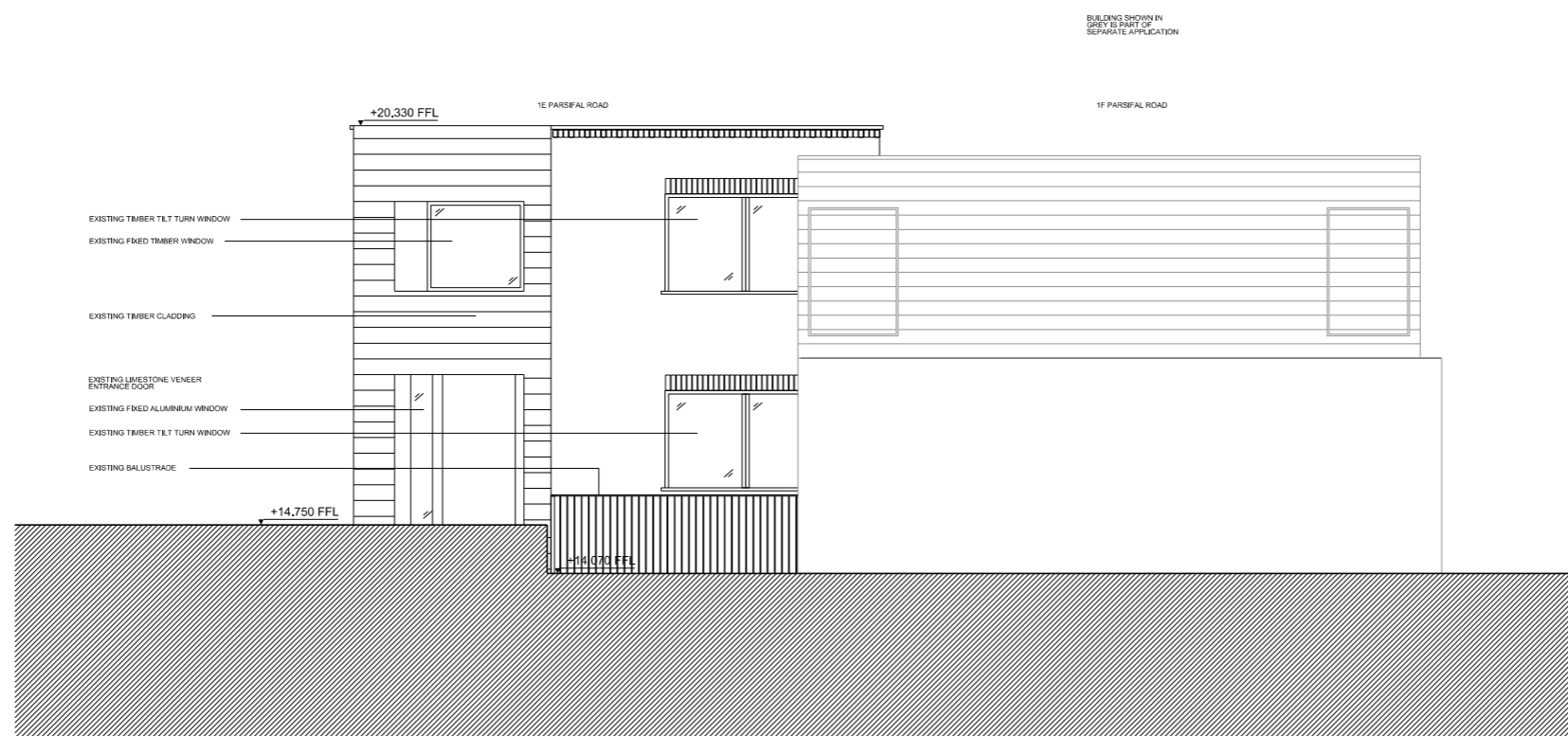
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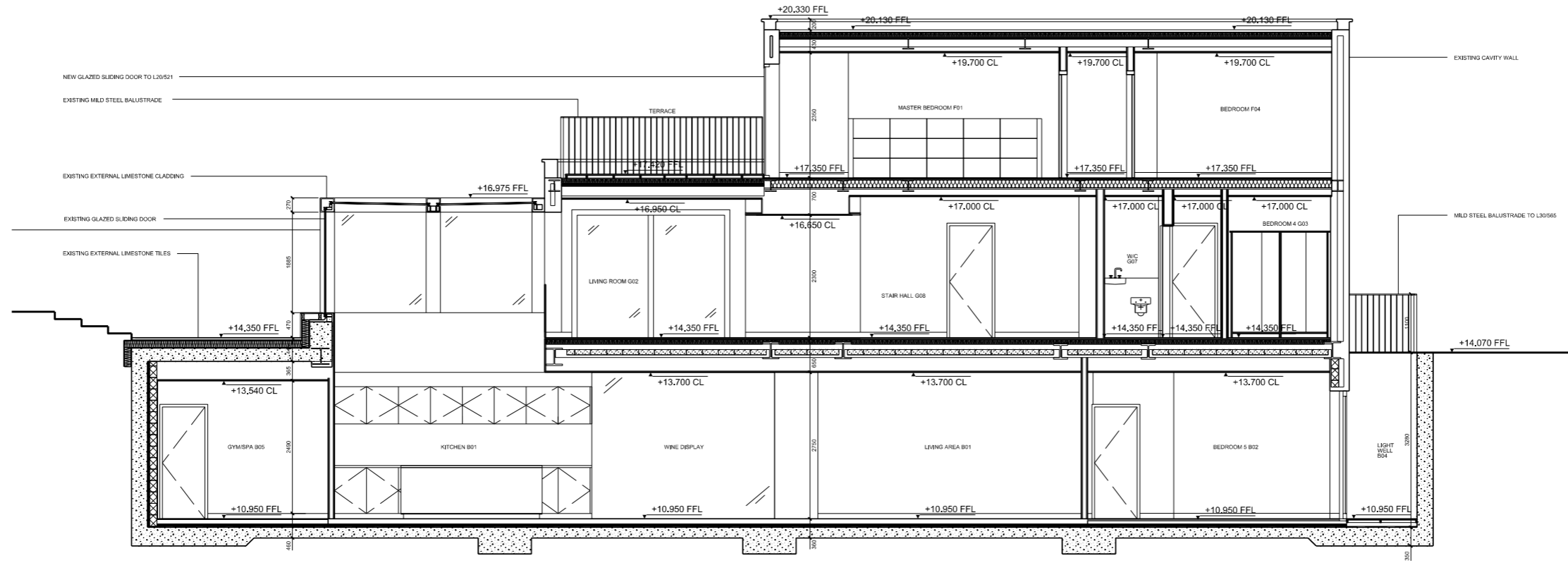
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DRAWING TITLE
EXISTING ELEVATION
SOUTHWEST

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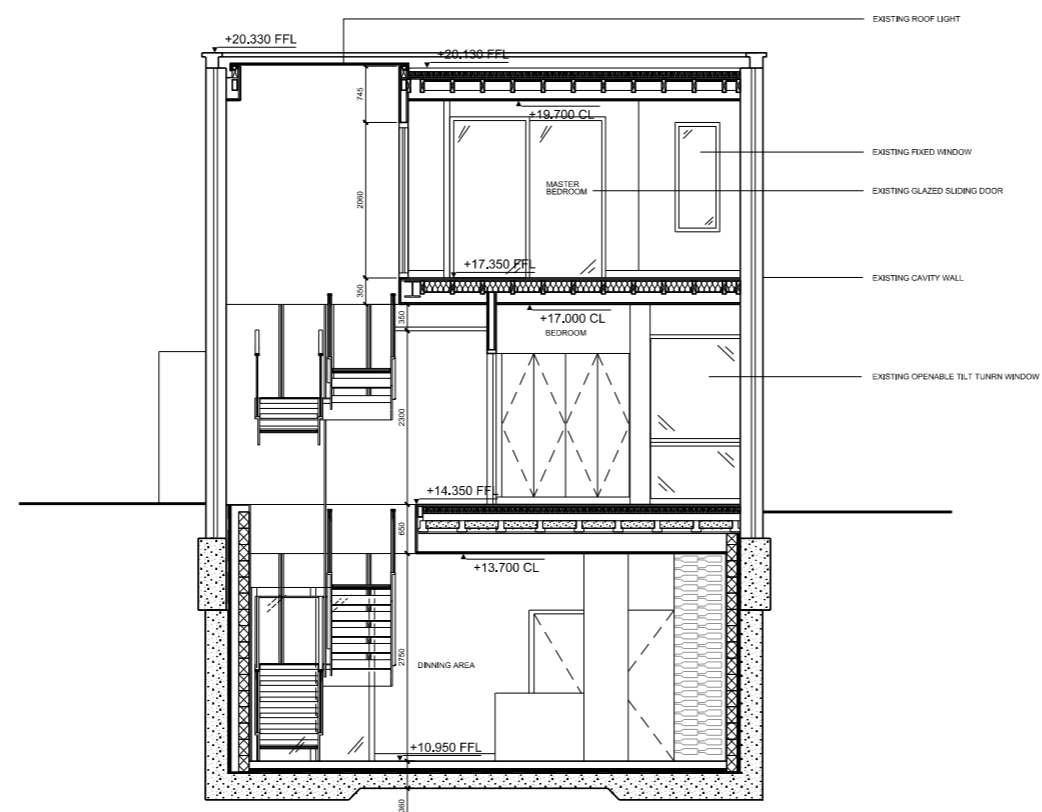
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DATE
JUN 2015

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01 EXISTING SECTION
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DRAWING TITLE
EXISTING SECTION
 CROSS

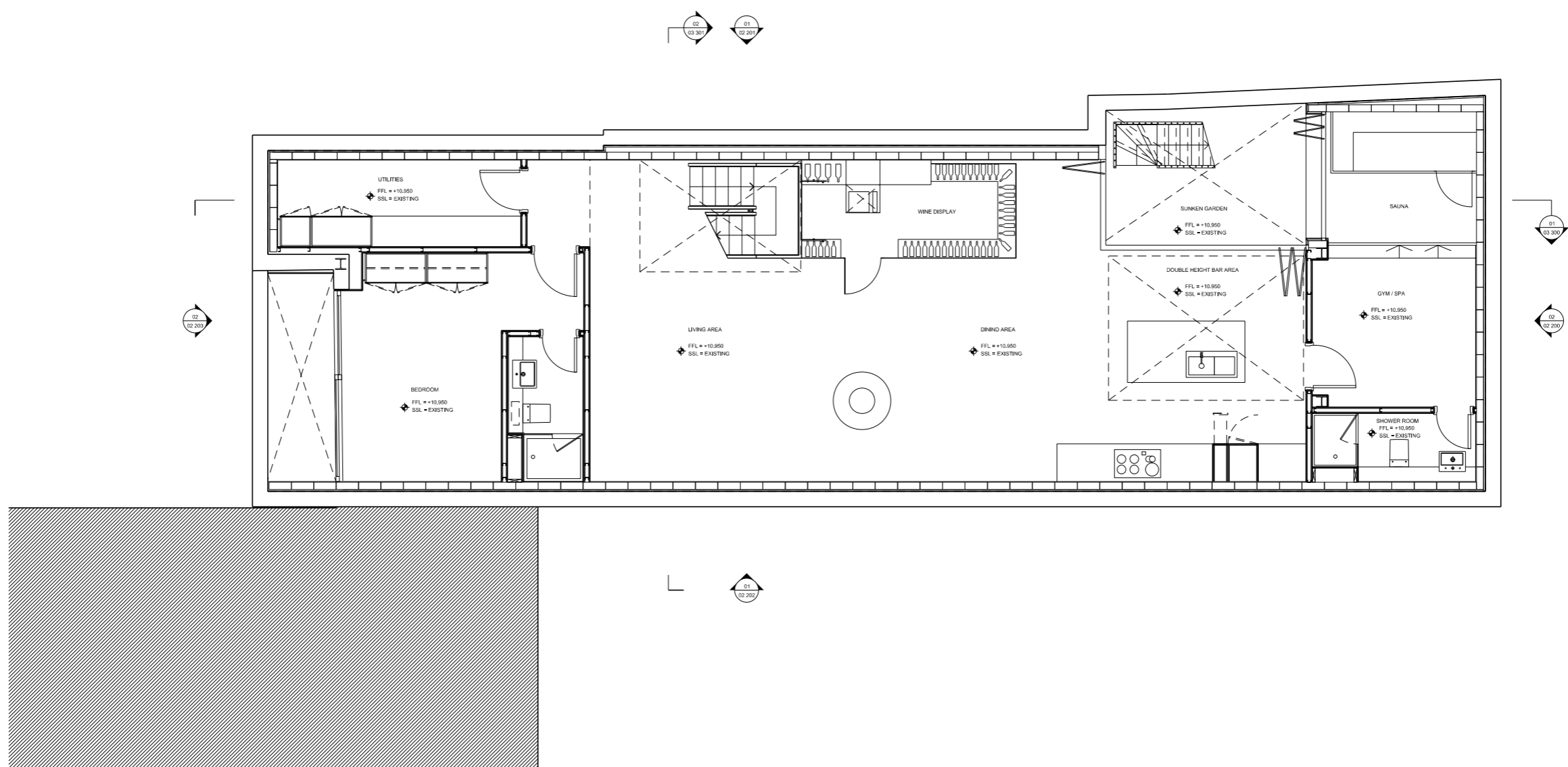
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PROJECT
JULIEN LEONARD
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DRAWING TITLE
PROPOSED PLAN
BASEMENT

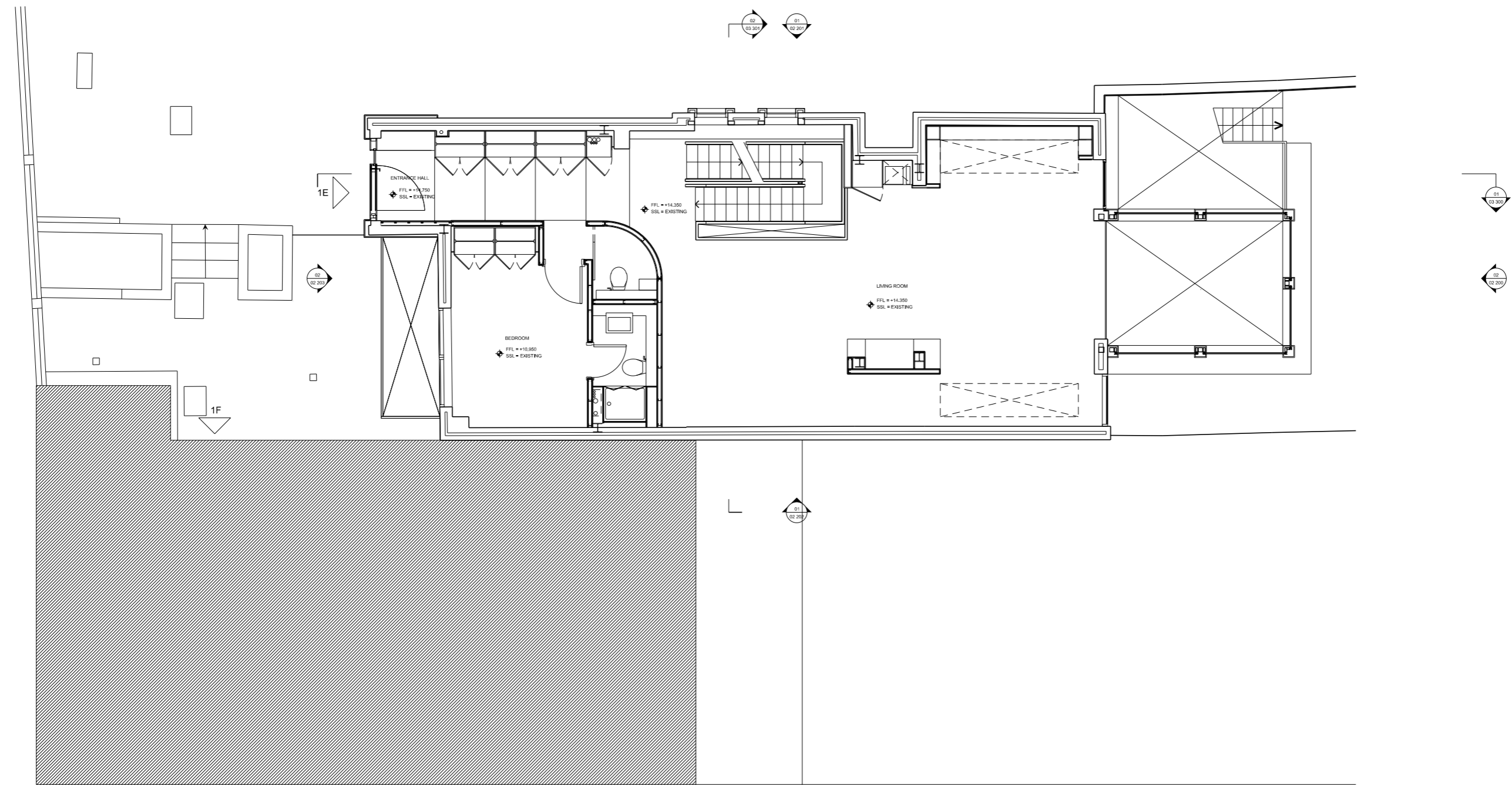
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d-NA PRR 01 100	P1

01	PROPOSED PLAN	
01 100	BASEMENT	1 : 50

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SEPARATED APPLICATION

01 PROPOSED PLAN
 01 101 GROUND FLOOR 1: 50

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PROJECT
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1E PARSIFAL ROAD

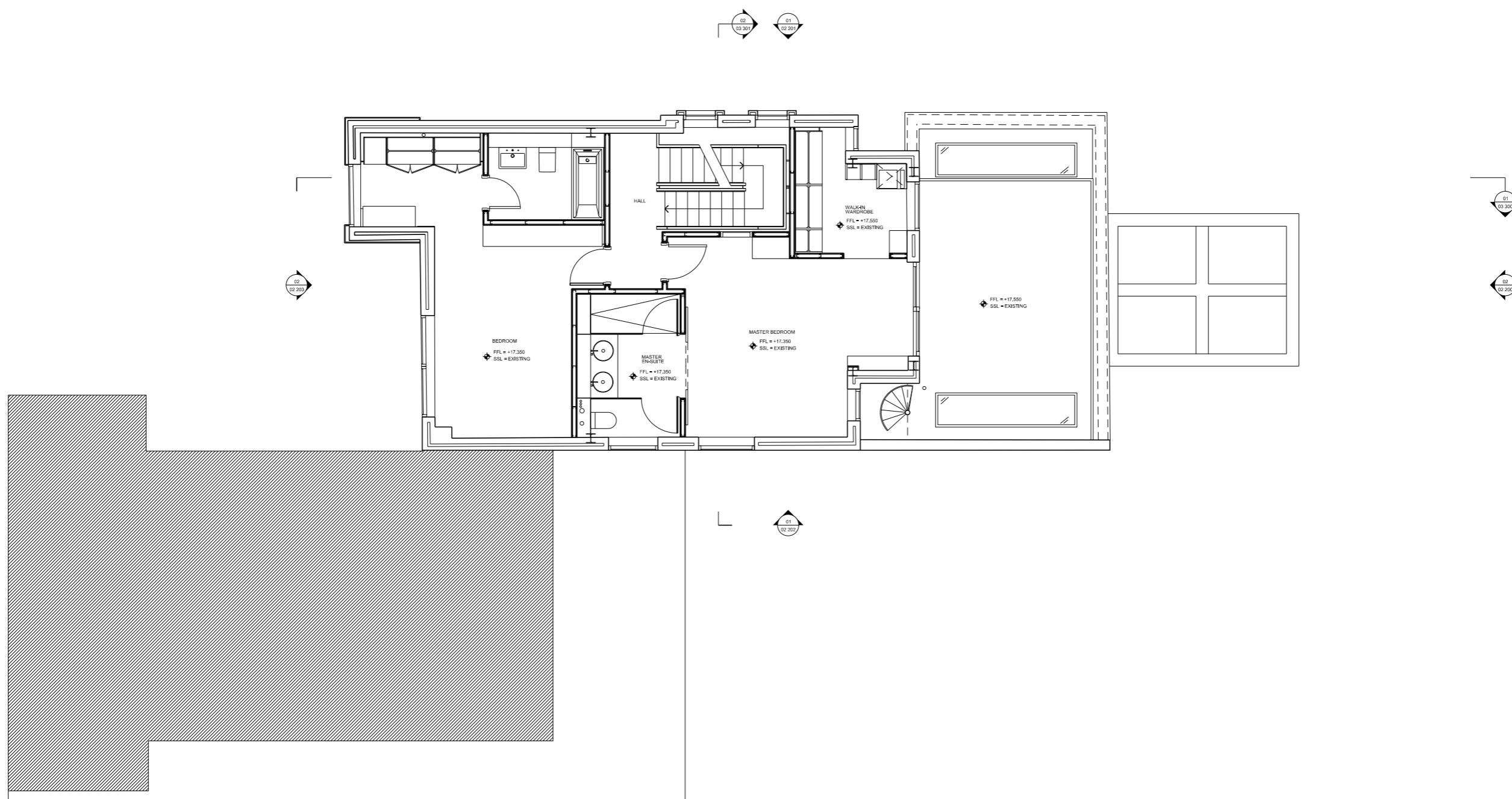
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GROUND FLOOR

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SEPARATED APPLICATION

01	PROPOSED PLAN	
01 102	FIRST FLOOR	1 : 50

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PROJECT JULIEN LEONARD 1E PARSIFAL ROAD			
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DRAWING NO d-NA PRR 01 102			REV P1

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 79 Coverscross Street
 London
 EC1M 6EJ
 T: +44 (0) 20 7670 7767
 E: info@design-na.com

PROJECT
JULIEN LEONARD
 1E PARSIFAL ROAD

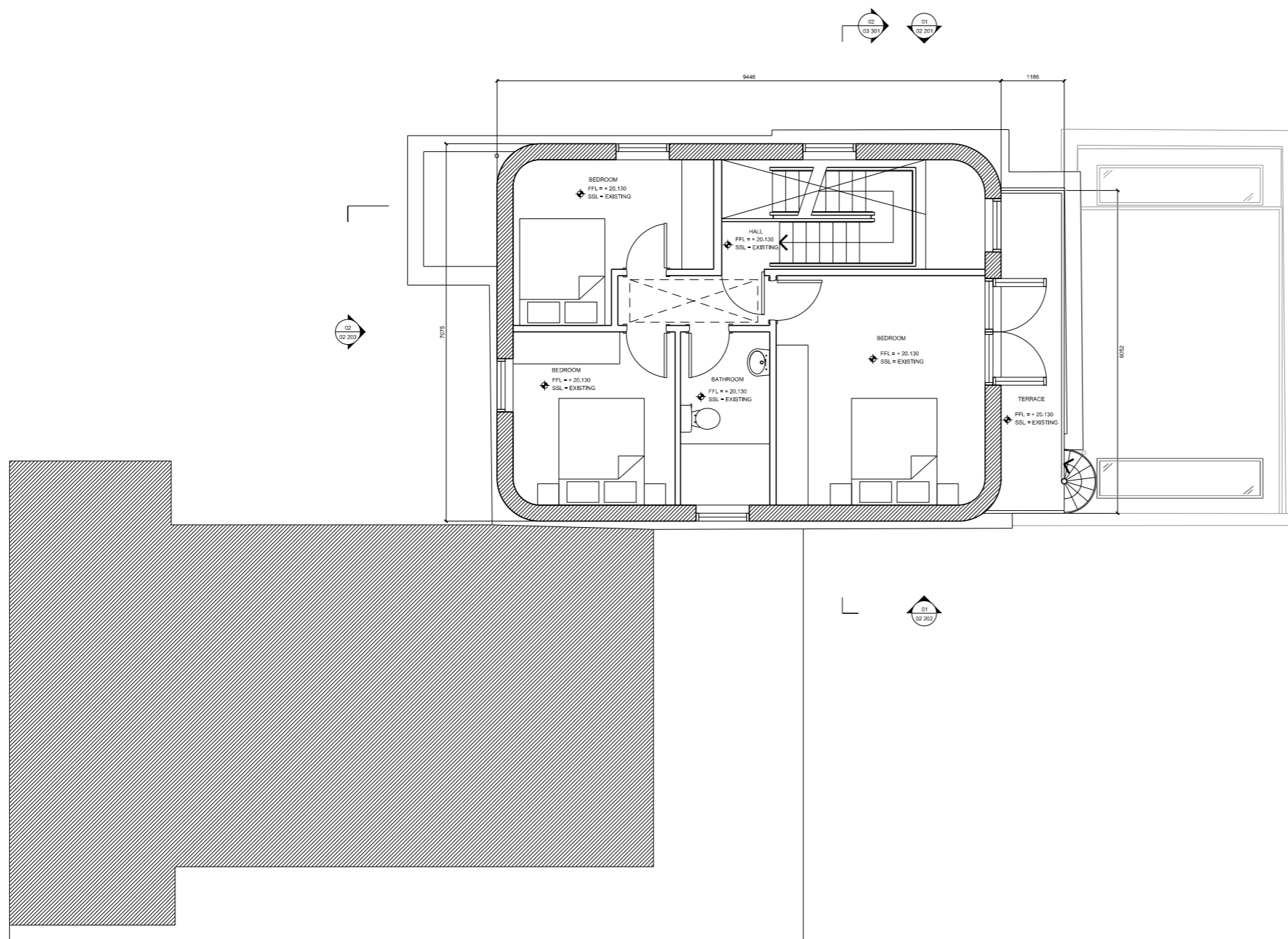
DRAWING TITLE
PROPOSED PLAN
 FIRST FLOOR

SCALE 1:50 @A1 1:100 @A3	DATE JUN 2015
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DRAWING NO d-NA PRR 01 102	REV P1
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SEPARATED APPLICATION

01	PROPOSED PLAN
01 103	ROOF

1: 50

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REV	DESCRIPTION	DATE	BY

STATUS
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KEY PLAN

design-NA Architects
 79 Coverscross Street
 London
 EC1M 6EJ
 T: +44 (0) 20 7670 7767
 E: info@design-na.com

PROJECT
JULIEN LEONARD
 1E PARSIFAL ROAD

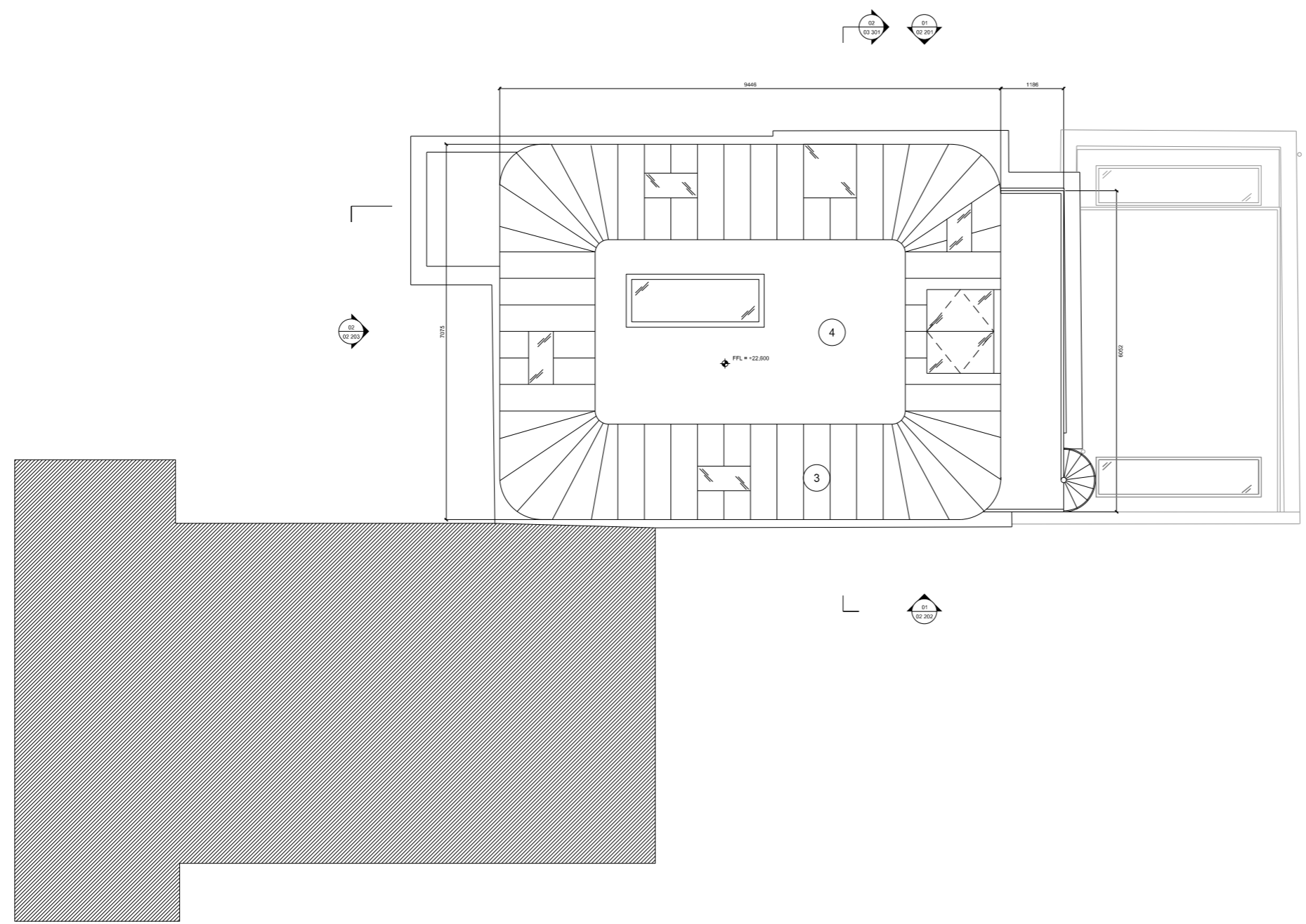
DRAWING TITLE
PROPOSED PLAN
ROOF

SCALE	DATE
1:50 @A1	JUN 2015
1:100 @A3	

DRAWING NO	REV
d-NA PRR 01 103	P1

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SEPARATED APPLICATION

01	PROPOSED PLAN	
01 104	ROOF LINE	1: 50

KEY

- 1 EXISTING BRICKWORK
- 2 TIMBER CLADDING
- 3 ZINC CLADDING
- 4 EPDM MEMBRANE

P1	ISSUED FOR PLANNING	01/06/15	NA
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REV	DESCRIPTION	DATE	BY
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STATUS
FOR PLANNING

KEY PLAN



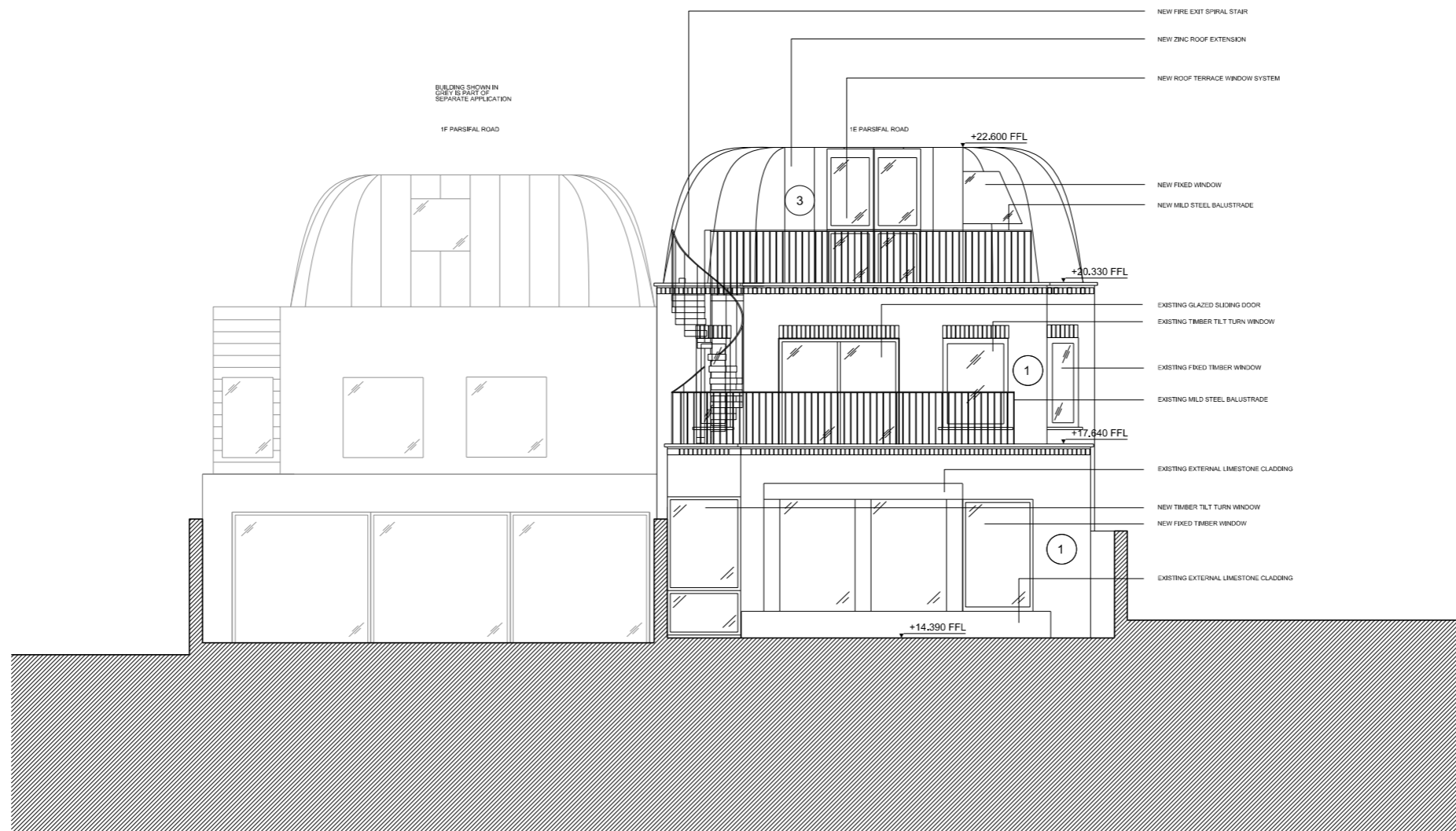
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 London
 EC1M 6EJ
 T: +44 (0) 20 7870 7767
 E: info@design-na.com

PROJECT
JULIEN LEONARD
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DRAWING TITLE
PROPOSED PLAN
 ROOF LINE

SCALE	DATE
1:50 @A1	JUN 2015
1:100 @A3	

DRAWING NO	REV
d-NA PRR 01 104	P1



- NEW FIRE EXIT SPIRAL STAIR
- NEW ZINC ROOF EXTENSION
- NEW ROOF TERRACE WINDOW SYSTEM
- NEW FIXED WINDOW
- NEW MILD STEEL BALUSTRADE
- EXISTING GLAZED SLIDING DOOR
- EXISTING TIMBER TILT TURN WINDOW
- EXISTING FIXED TIMBER WINDOW
- EXISTING MILD STEEL BALUSTRADE
- EXISTING EXTERNAL LIMESTONE CLADDING
- NEW TIMBER TILT TURN WINDOW
- NEW FIXED TIMBER WINDOW
- EXISTING EXTERNAL LIMESTONE CLADDING

KEY

- ① EXISTING BRICKWORK
- ② TIMBER CLADDING
- ③ ZINC CLADDING
- ④ EPDM MEMBRANE

GENERAL NOTES

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 T: +44 (0) 20 7870 7707
 E: info@design-na.com

PROJECT
JULIEN LEONARD
1E PARSIFAL ROAD

DRAWING TITLE
PROPOSED ELEVATION
NORTHEAST

SCALE
 1:50 @A1
 1:100 @A3

DATE
 JUN 2015

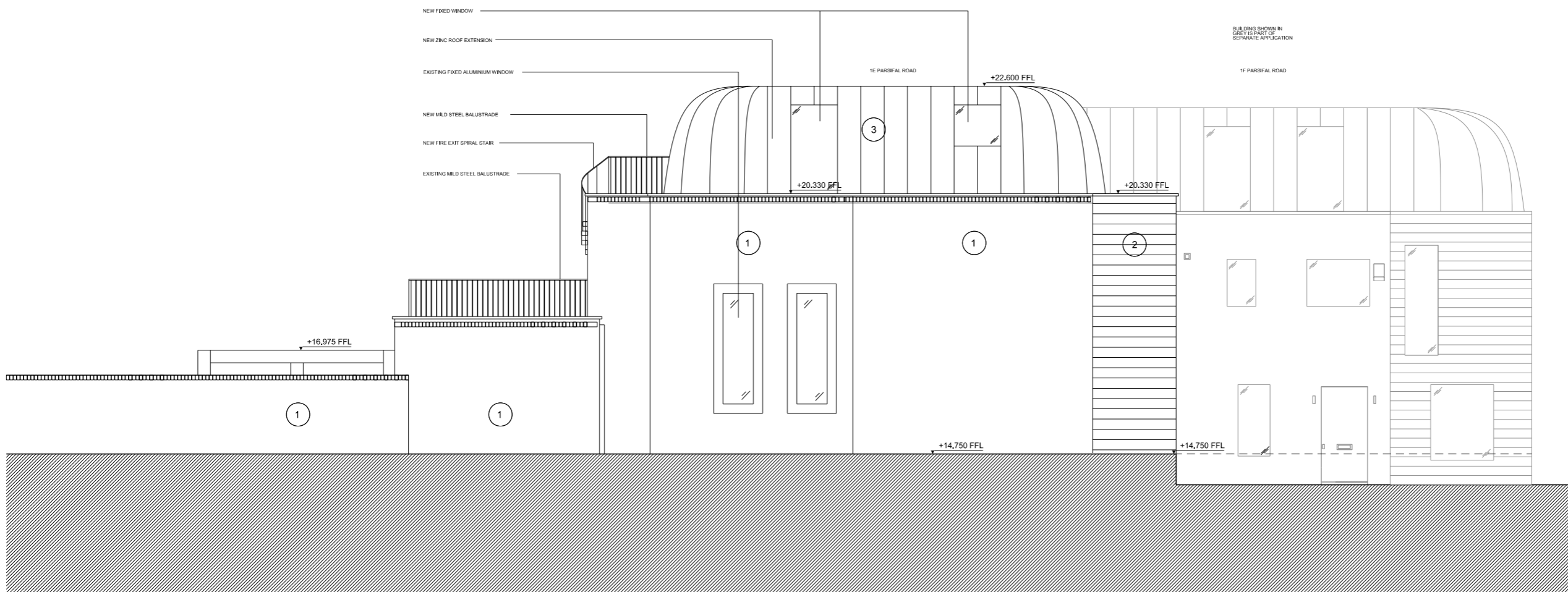
DRAWING NO
d-NA PRR 02 200

REV
P1

01 PROPOSED ELEVATION
 02 200 NORTHEAST 1: 50

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- KEY
- ① EXISTING BRICKWORK
 - ② TIMBER CLADDING
 - ③ ZINC CLADDING
 - ④ EPDM MEMBRANE

01	PROPOSED ELEVATION
02 201	NORTHWEST

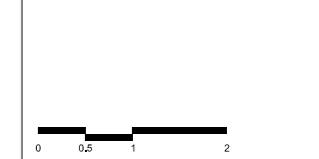
1: 50

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 EC1M 6EJ
 T: +44 (0) 20 7670 7767
 E: info@design-na.com

PROJECT
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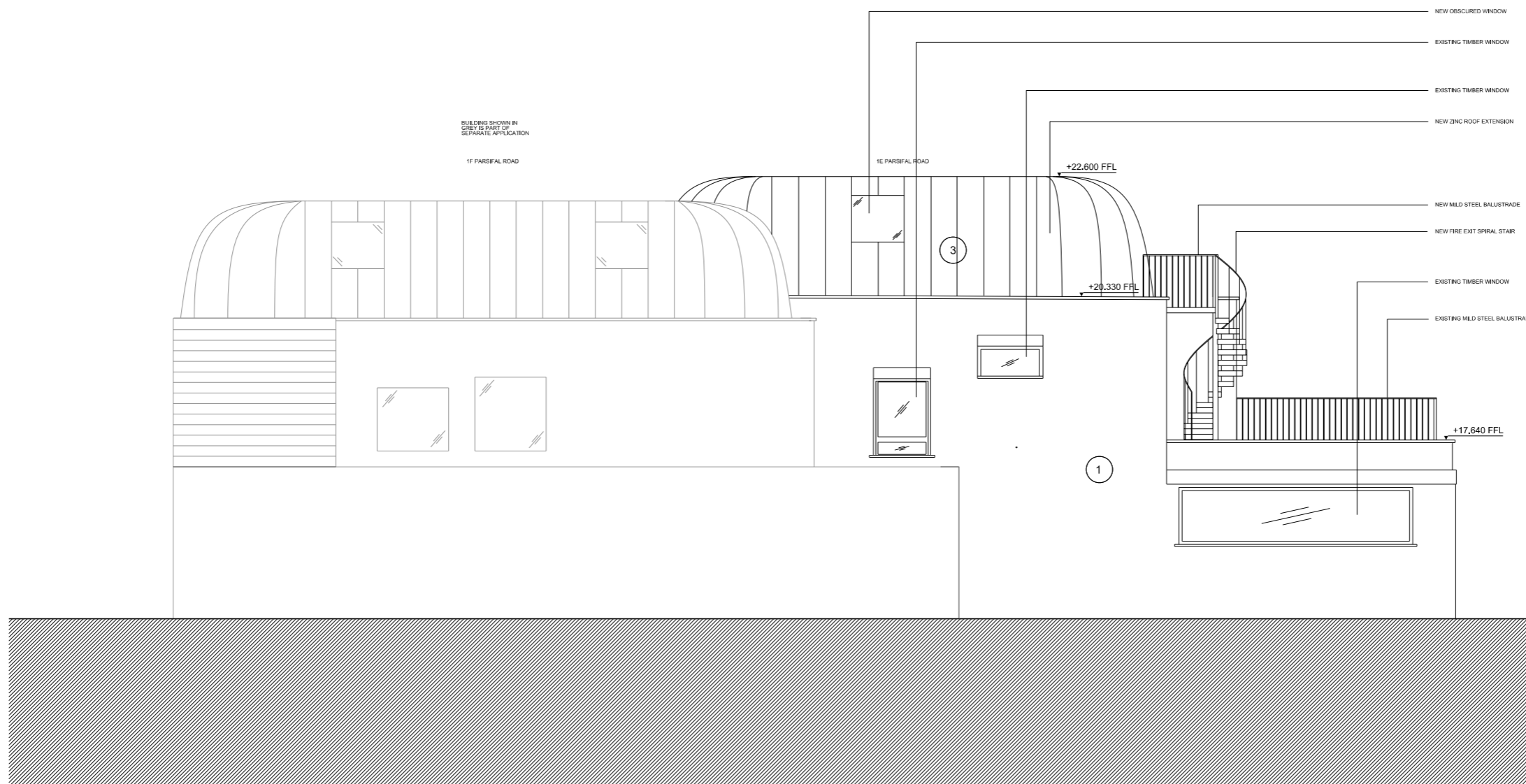
DRAWING TITLE
PROPOSED ELEVATION
 NORTHWEST

SCALE	DATE
1:50 @A1	JUN 2015
1:100 @A3	

DRAWING NO	REV
d-NA PRR 02 201	P1

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- KEY
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 - ② TIMBER CLADDING
 - ③ ZINC CLADDING
 - ④ EPDM MEMBRANE

01 PROPOSED ELEVATION
 02 202 SOUTHEAST 1: 50

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 79 Covercross Street
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 EC1M 6EJ
 T: +44 (0) 20 7870 7707
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PROJECT
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1E PARSIFAL ROAD

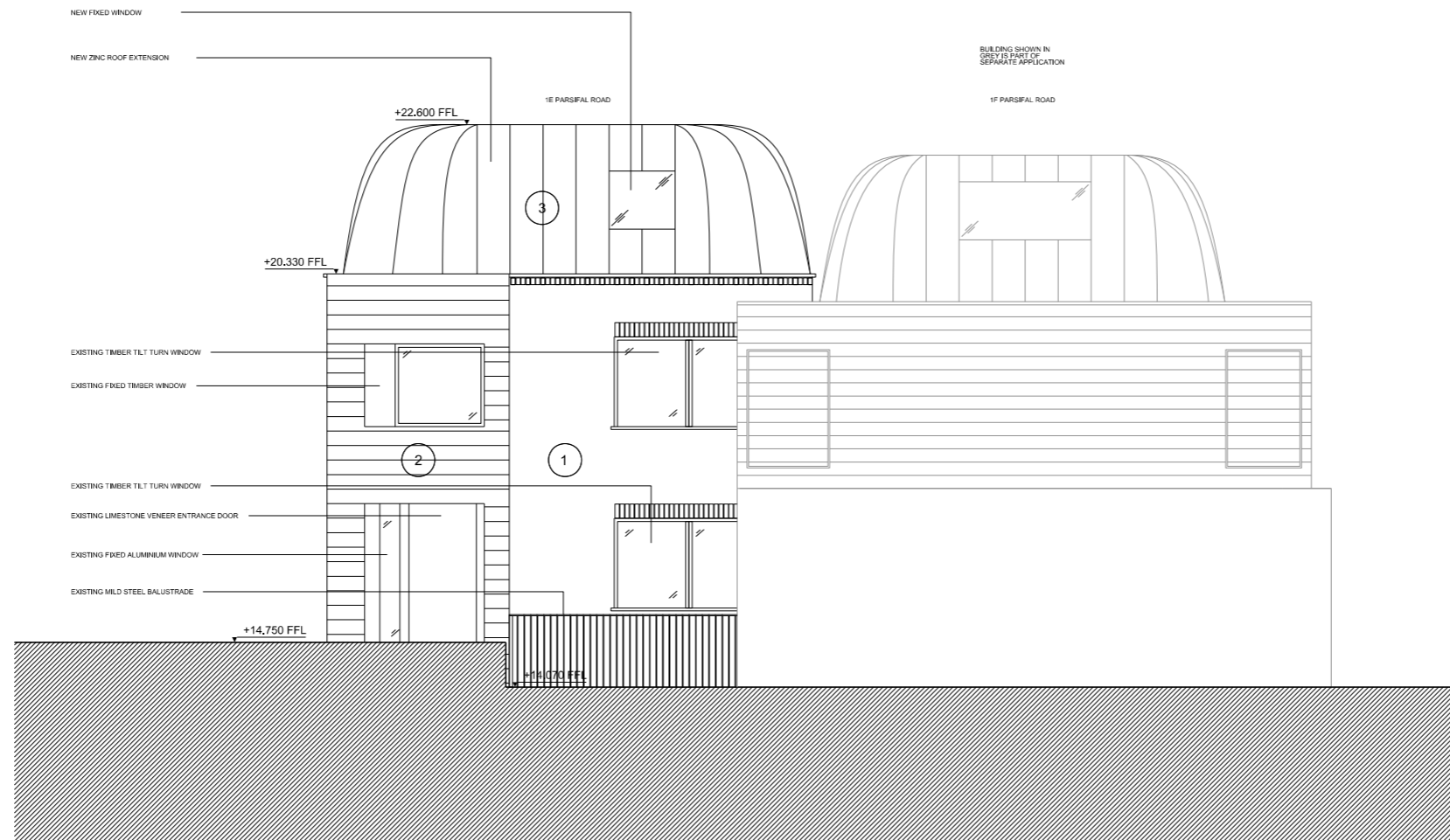
DRAWING TITLE
PROPOSED ELEVATION
SOUTHEAST

SCALE
 1:50 @A1
 1:100 @A3

DATE
 JUN 2015

DRAWING NO
d-NA PRR 02 202

REV
P1



- KEY
- ① EXISTING BRICKWORK
 - ② TIMBER CLADDING
 - ③ ZINC CLADDING
 - ④ EPDM MEMBRANE

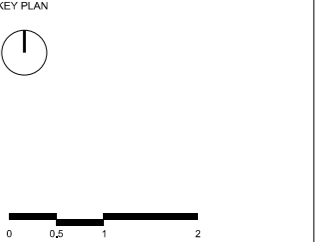
01 PROPOSED ELEVATION
 02 103 SOUTHWEST 1: 50

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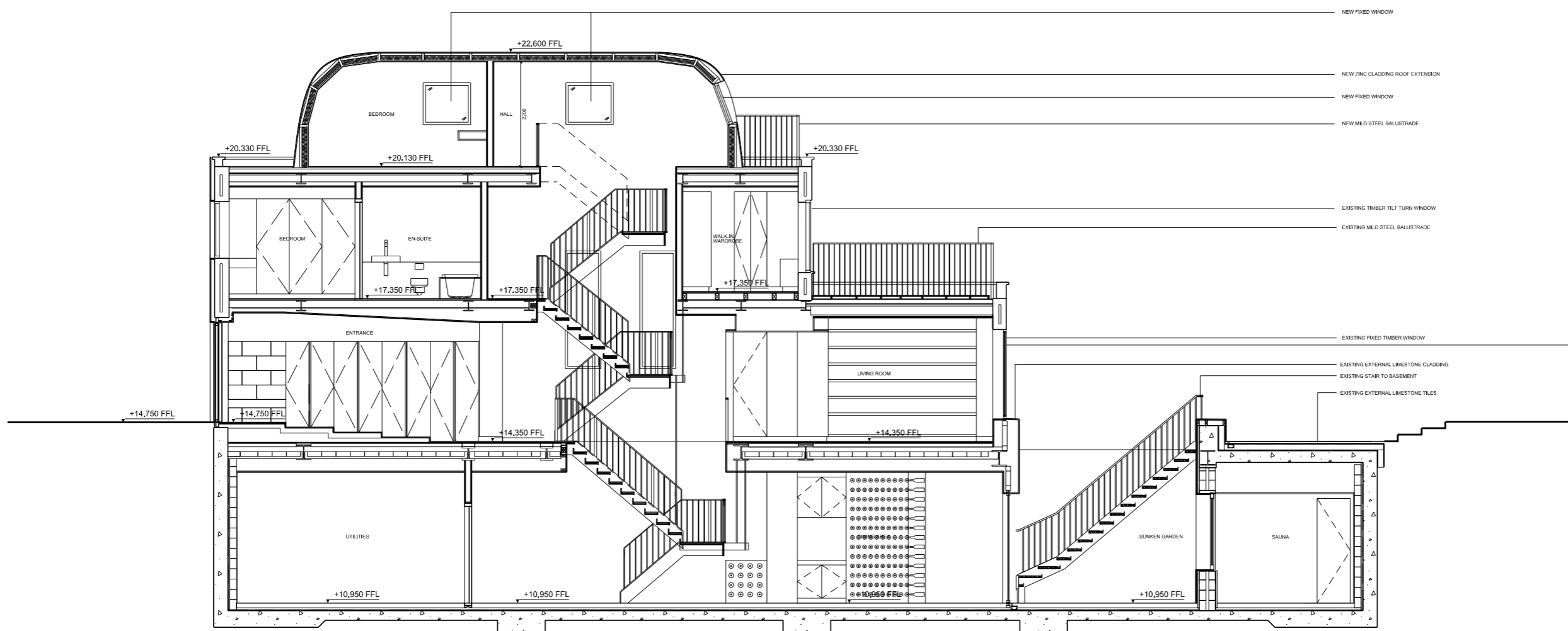
DRAWING TITLE
PROPOSED ELEVATION
SOUTHWEST

SCALE	DATE
1:50 @A1	JUN 2015
1:100 @A3	

DRAWING NO. **d-NA PRR 02 203** REV **P1**

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 E: info@design-na.com

PROJECT
JULIEN LEONARD
 1E PARSIFAL ROAD

DRAWING TITLE
PROPOSED SECTION
 LONG

SCALE
 1:50 @A1
 1:100 @A3

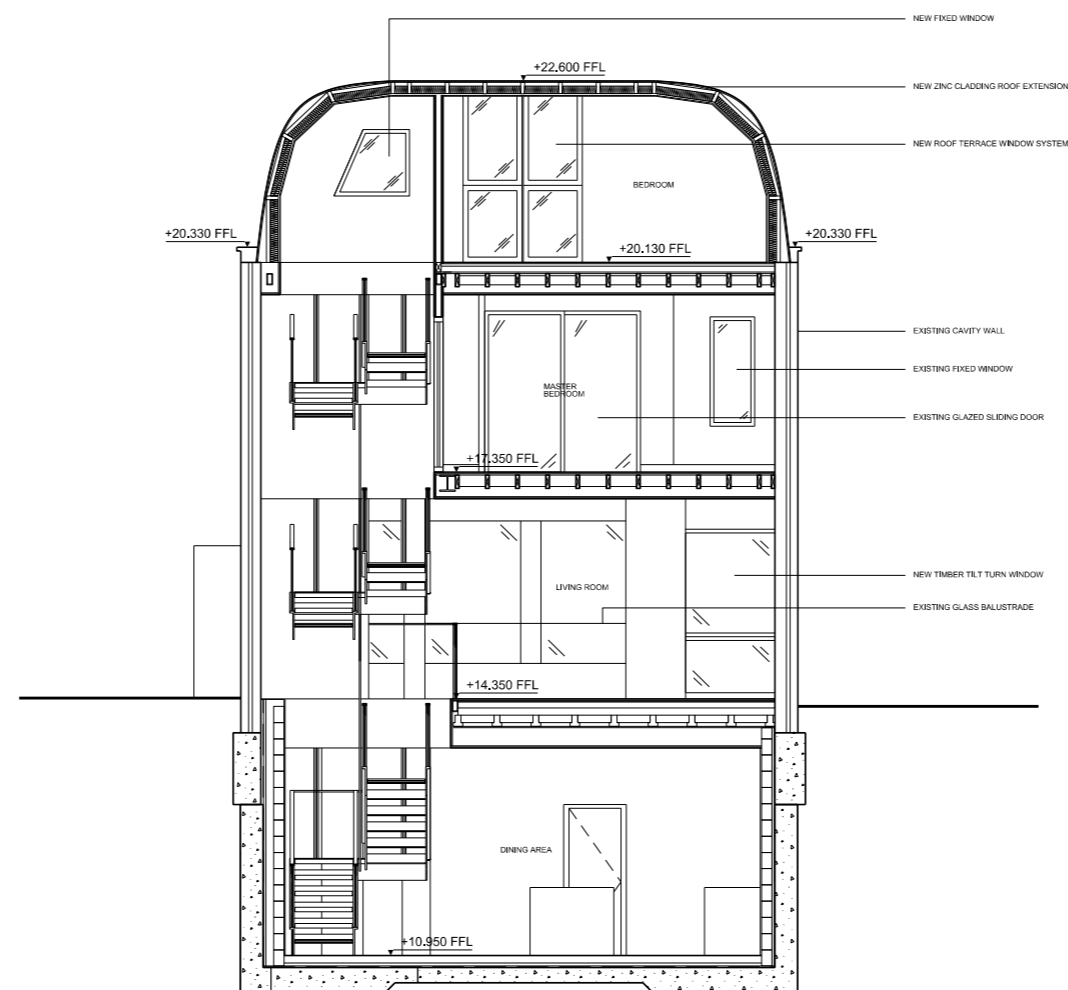
DATE
 JUN 2015

DRAWING NO. **d-NA PRR 03 300** REV **P1**

01 PROPOSED SECTION
 03 300 LONG 1: 50

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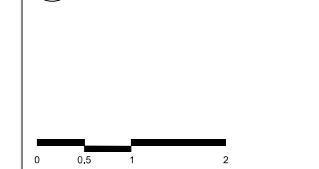
01	PROPOSED SECTION
03 301	CROSS

1 : 50

P1	ISSUED FOR PLANNING	01/06/15	NA
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 EC1M 6EJ
 T: +44 (0) 20 7870 7767
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DRAWING TITLE
PROPOSED SECTION
 CROSS

SCALE	DATE
1:50 @A1	JUN 2015
1:100 @A3	

DRAWING NO	REV
d-NA PRR 03 301	P1

8.0

Appendix B - Material



Fig 17 Zinc Cladded Roof



Fig 18 Zinc Cladded Building



Fig 19 Zinc Mansard Roof