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1.0 Introduction

This is a Design and Access Statement prepared by design-NA Architects in support of the application for householder planning permission at 1E Parsifal Road, London NW6 1UG on behalf of Mr Julien Leonard.

Permission is sought for a roof extension above the existing flat roof. The development property is one half of a pair of semi-detached two-storey properties and the design has been conceived under a unified design concept, although two separate applications will be submitted.

The purpose of the development is to create more living space for the growing families of the applicants as well as to improve the aesthetics of the existing buildings. The design access and statement aims to demonstrate that the proposed development is an enhancement to the building itself, the local area and will have no detrimental impact on the amenities of the neighbouring properties.



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Fig 1 Site location with site in red



Fig 3 Northeast elevation of 1E Parsifal Road

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design-NA architects



Fig 4 Roof space



2.0 **Project Summary**

1E and 1F are a pair of semi-detached brick-clad dwellings constructed in 1978 (Camden planning ref: 25466 (R). They have both since been extended and refurbished. 1F was permitted under application 2008/2273/P. 1E is currently being developed under permission 2014/1911/P.

Design-NA Architects have jointly appointed by both occupants in order that the design of both extensions appear harmonious when viewed as a pair. The proposed development is a zinc-clad, one-storey roof extension with a curved profile in plan and section to reduce bulk and reduce impact on visual privacy, overlooking, overshadowing to the neighbouring properties. Functionally, the extension will provide additional accommodation for the two growing families currently in residence.

The design has been developed with Camden design policies, core strategies and planning policies in mind. And we are confident that the proposal will enhance the massing and proportion of the existing building, whilst using a traditional material in an innovative and contemporary manner.

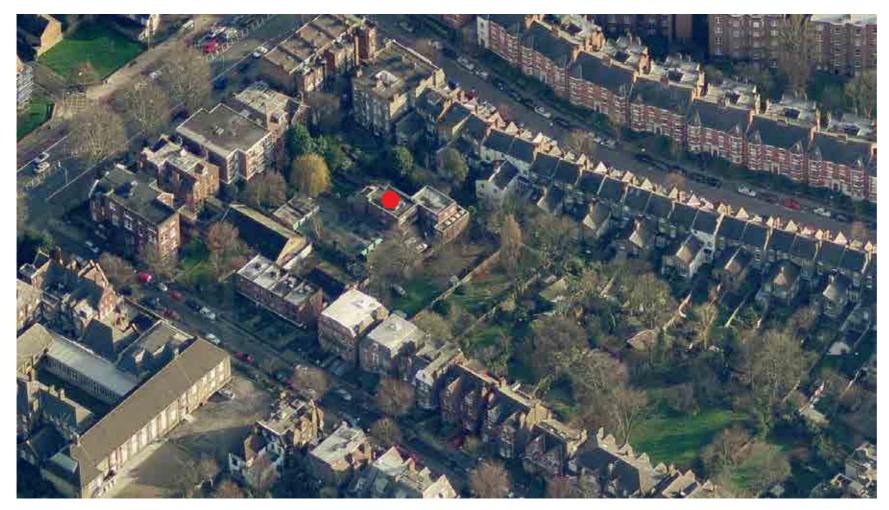


Fig 5 Aerial view of front of 1E Parsifal Road (shown by red dot)



3.0 Context Analysis

The site of 1E Parsifal Road lies in the Fortune Green Ward in the Borough of Camden. It is accessed off a private street off Parsifal Road, close to its junction with Finchley Road, which is a major arteriole road leading out of North London developed in 1826 as a turnpike road. The site lies in an area North of West Hampstead, South of Fortune Green and West of Hampstead proper and was developed from the late 19th Century onwards. It is an area of minor late Victorian terraces and mansion flats which in 1952 Pevsner witheringly described as "houses and streets [which] require no notice'".

The properties at 1A-1G Parsifal Road are dwelling houses developed in the back garden land to number 519-525 Finchley Road. The developments were carried out over a number of years, 521 Finchley Road was developed in 1966 following approval for planning consent ref F4/5/B/2006 for the erection of a four-storey block of flats and 14 garages at rear. These garages are presently adjoining 1E Parsifal Road.

1E and 1F Parsifal Road were developed along with the redevelopment at 525 Finchley Road, application ref F4/5/B/23531 in 1977-78. Planning permission was for the erection of a block of 13 flats, a terrace of 4 three-storey dwelling houses fronting Parsifal Road and 2 dwelling houses to the rear of the site.

The houses at 1E and 1F Parsifal Road were granted planning permission together in February 1978. They are built of red bricks and are almost detached accept for an original shared boundary at the South-West corner of approximately 2m which has since been extended to the current length of 3.8m.



Fig 6 Aerial view of the rear of 1E Parsifal Road (shown by red dot)



They were designed as two-storey family homes with traditional brickwork and block work cavity wall construction. Both were built on similar sized plots of approximately 7.5m wide and 45m long. The rear garden to 1E is slightly shorter at approximately 25m long as the fore court is needed for access to No.1F.

The original house has had an extension attached in 1984. Apart from that the interiors are largely unmodernised as the same family has been living in the property since it was built.

The site does not lie in a conservation area.

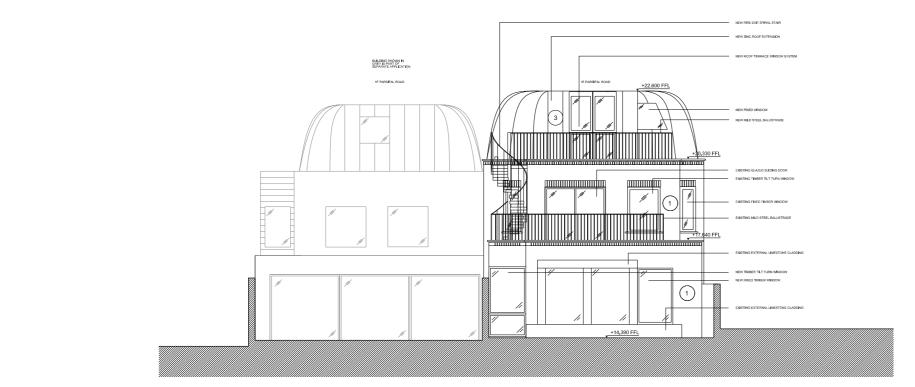


Fig 7 Proposed Northeast Elevation



Fig 8 View through neighbour on the northeast



Fig 9 View through neighbour on the southeast



4.0 Planning Policies

The following planning policies and planning documents guidance have been consulted during all stages of the design processes and in preparation of this document.

Camden Replacement Unitary Development Plan (adopted June 2006)

- Policies S1/S2
- Policies B1,B3 and B7
- Policies SD6

Camden Development Policies - Section 3, DP26

This has ensured that our proposals are in keeping with the borough policies and our design is sensitive and conforms to the planning guidelines.



Fig 10 Proposed roof extension

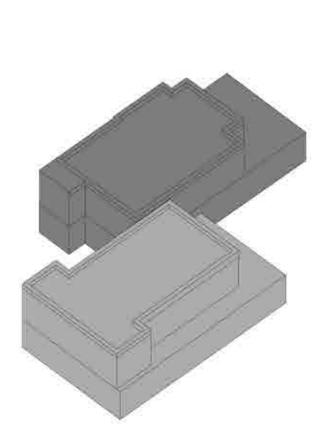


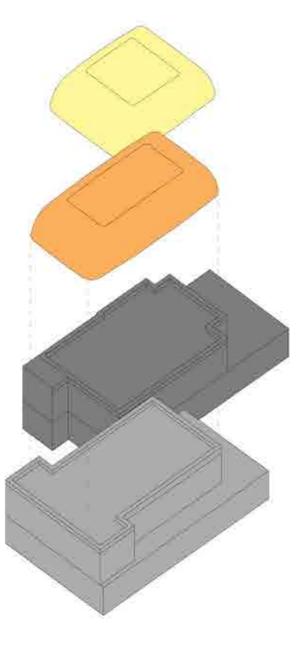
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5.0 Design Proposal

5.1 Design Rationale / Approach

1F Parsifal Road was refurbished under the design of William Tozer Architects in 2008. Design-NA Architects were appointed to oversee the current refurbishment of 1E with a design that respects the materiality and massing of the works to 1F. The current proposals are an extension of that design philosophy and is judged to be in-keeping with the contemporary aesthetics of the property.





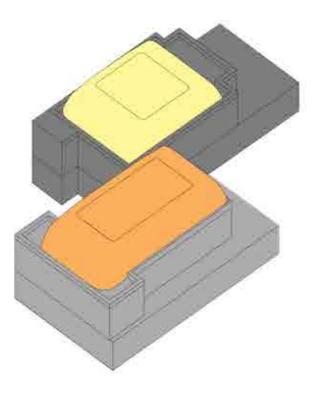


Fig 11 Existing isometric

Fig 12 Proposed volumes exploded isometric

Fig 13 Proposed volume isometric

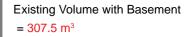


5.2 Scale and Massing

The scale and massing of a roof extension development must be considered carefully in order to mitigate the impact on views and skylines. The new extension is considered to be a modern mansard roof, with a carefully considered curvature that softens its outline.

The height of the extension has been kept to a minimum and is very much lower than the properties on Parsifal Road itself as well as the ones on Lyncroft Gardens and Finchley Road.

1E Parsifal Road



Roof Extension = 57.02 m³

DESIGN AND ACCESS STATEMENT JUNE 2015 JULIEN LEONARD

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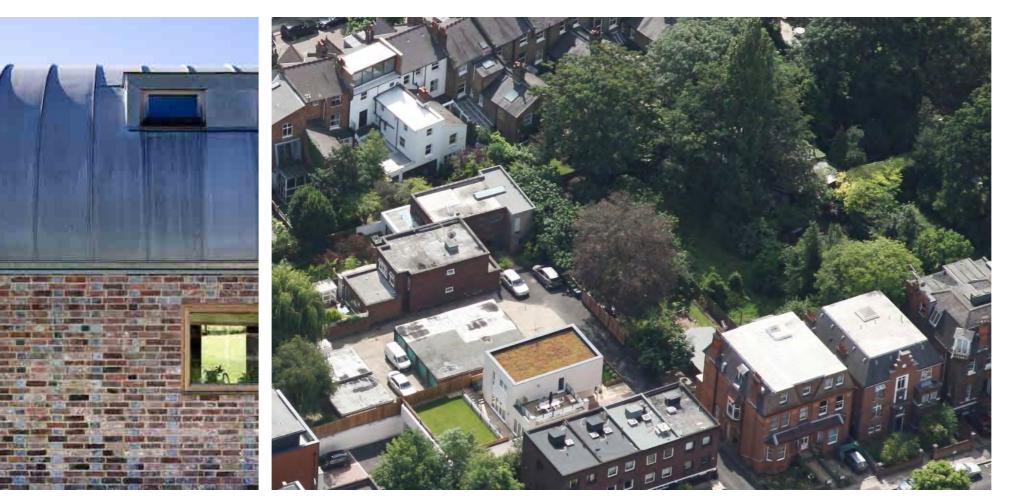


Fig 14 Zinc roof

Fig 15 Mansard roof on Parsifal Road





5.3 Appearance

The roof extension is zinc-clad. Zinc has been used widely in Europe since the 18th century as the roofing material whilst can still be used innovatively and sustainably. Zinc is 100% recyclable material, durable, waterproof, resistant to corrosion as well as degradation under UV radiation. It is also cost effective. It is popular both in traditional and contemporary design and its malleability makes it well-suited to curved forms such as the one proposed here.

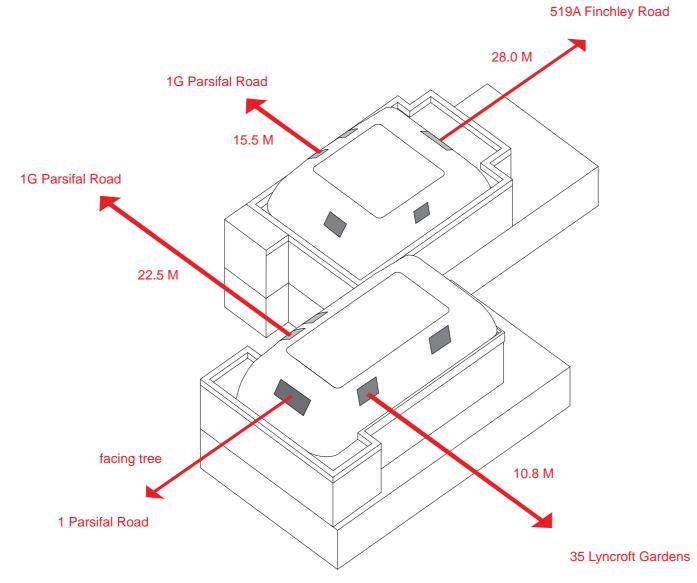


Fig 16 Diagram shown distance between properties



6.0 Access

There is no change to the access to the property.

Obscured fixed window

Openable window

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7.0 Appendix A - Drawings



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10m 20m 30m 40m 50m 60m 70m 80m 90m 100m110m120m130m14

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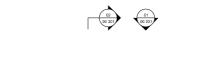
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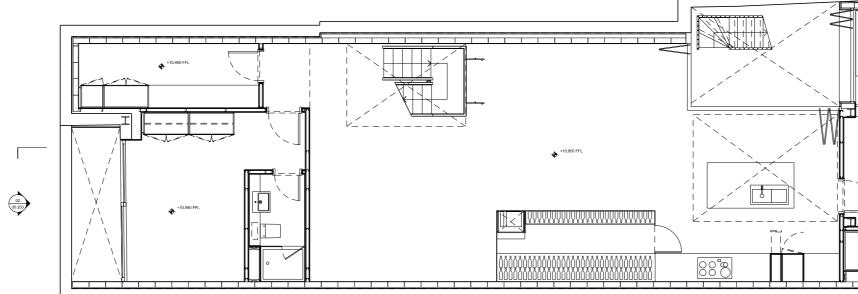
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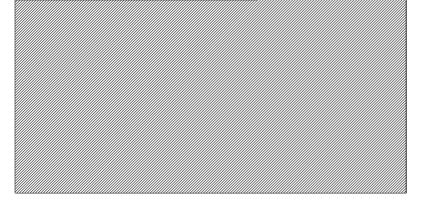
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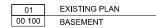
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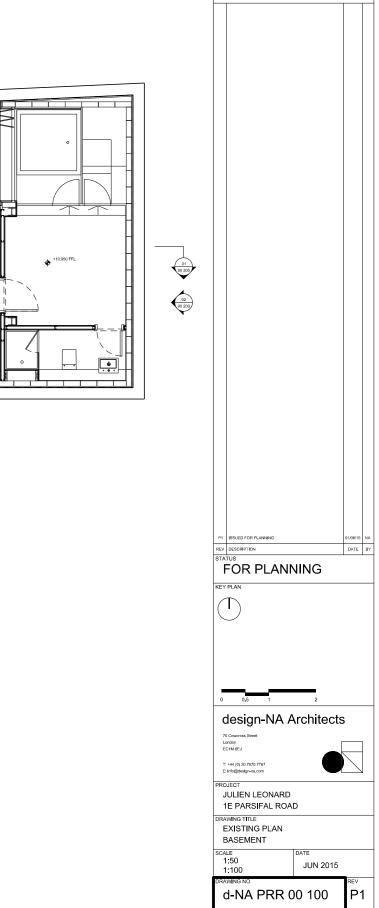




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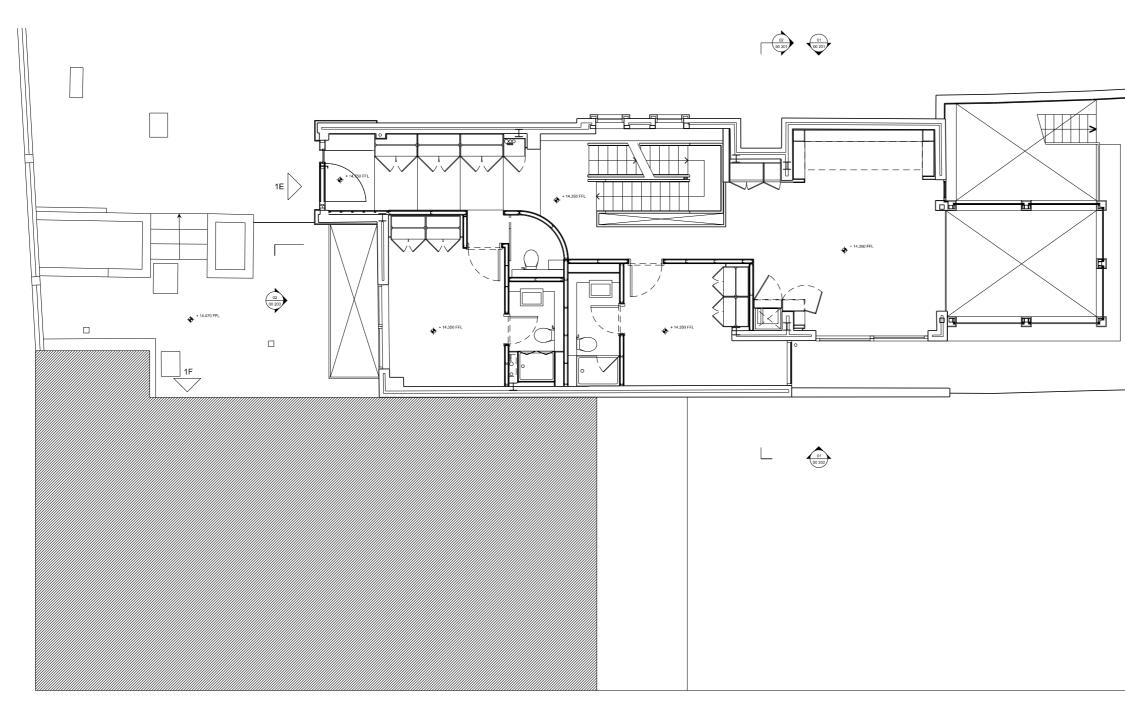


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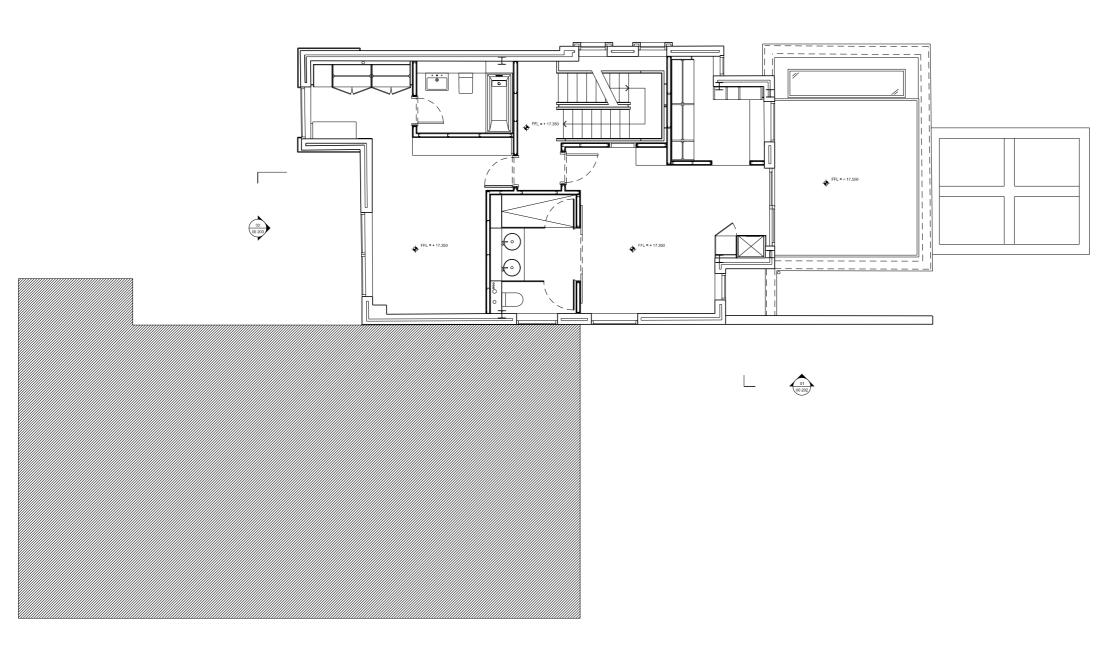


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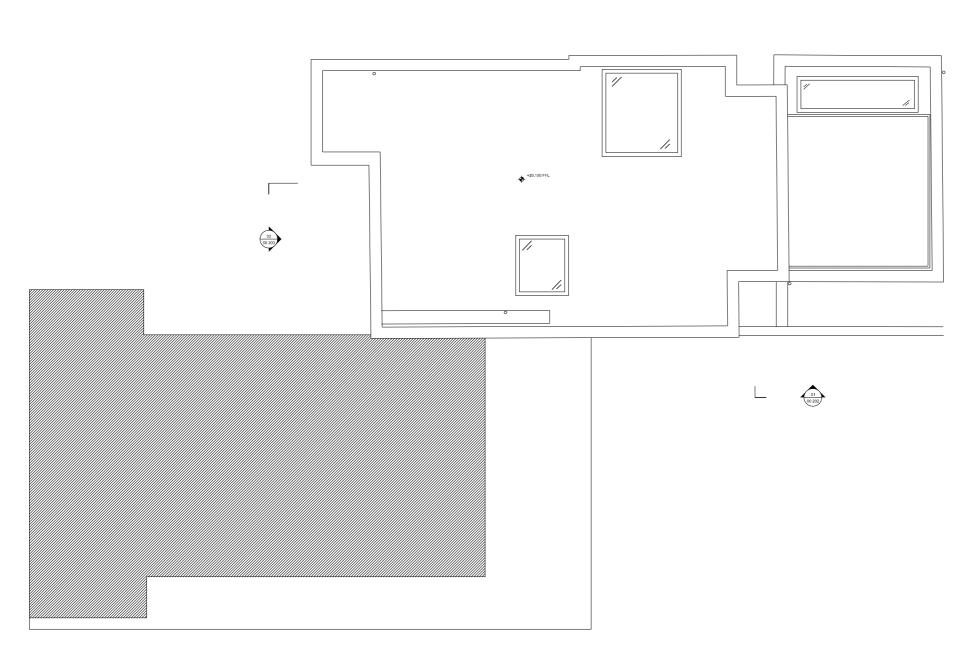


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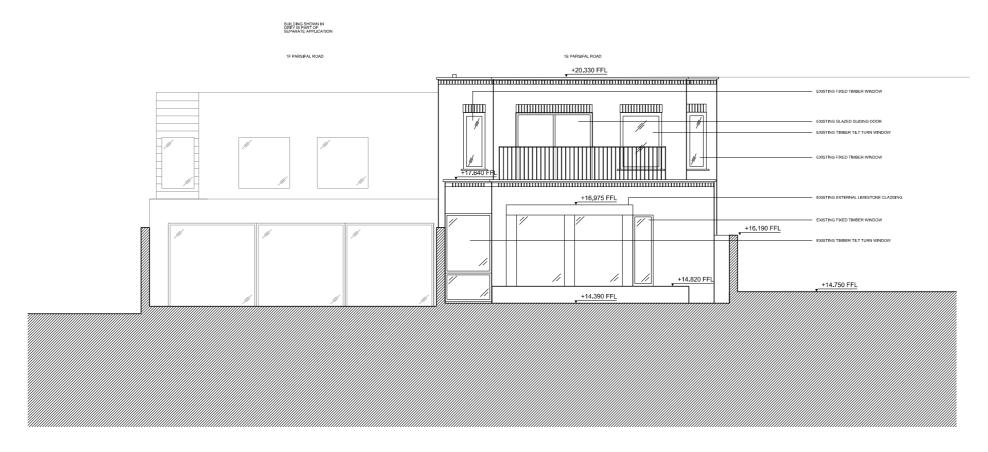


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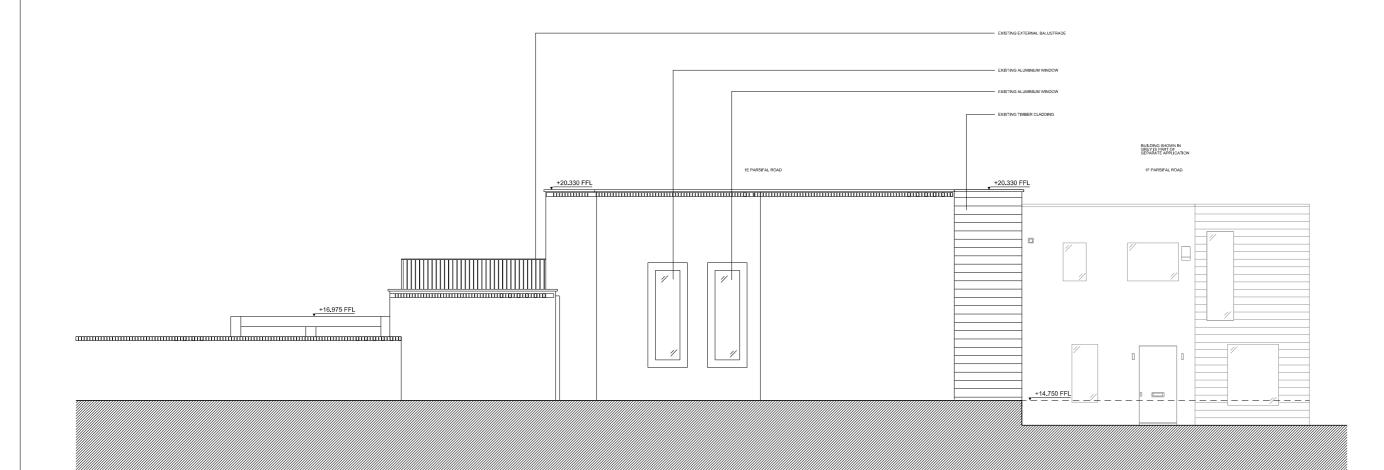
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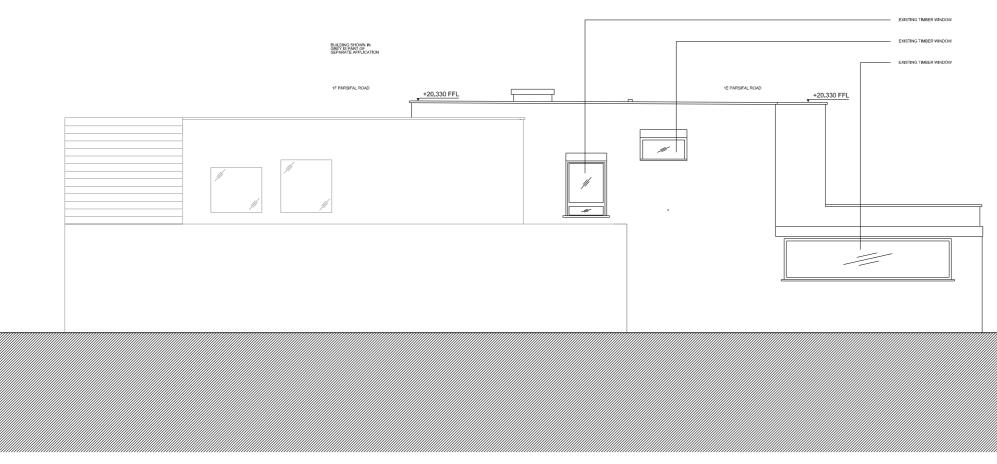
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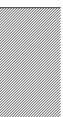
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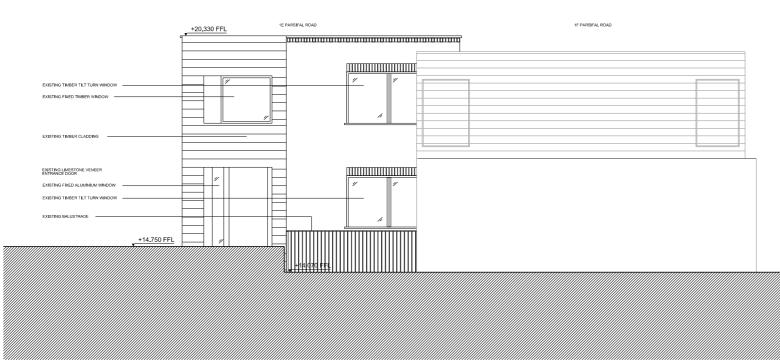


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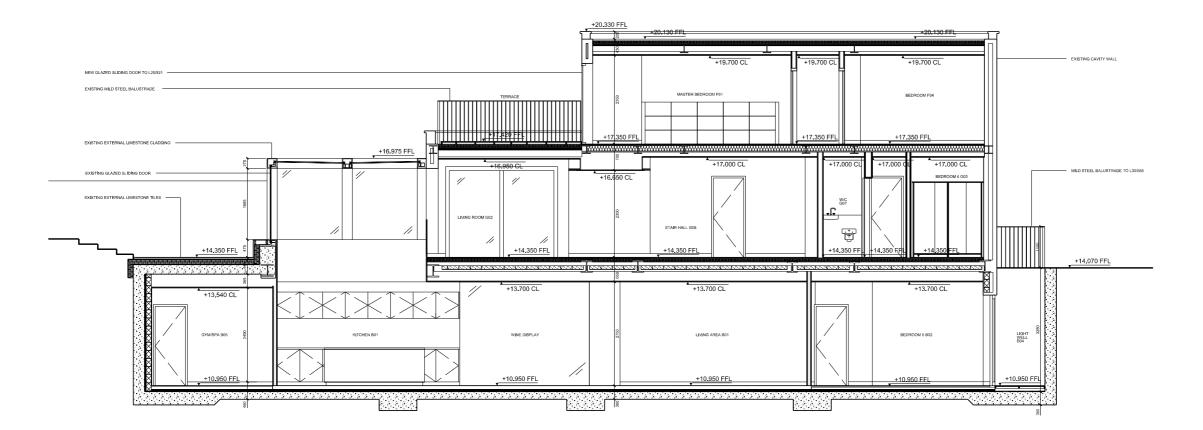


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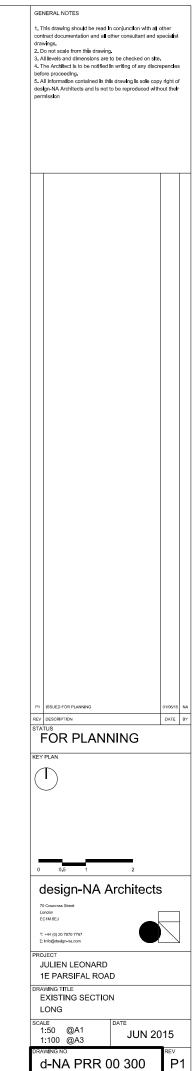


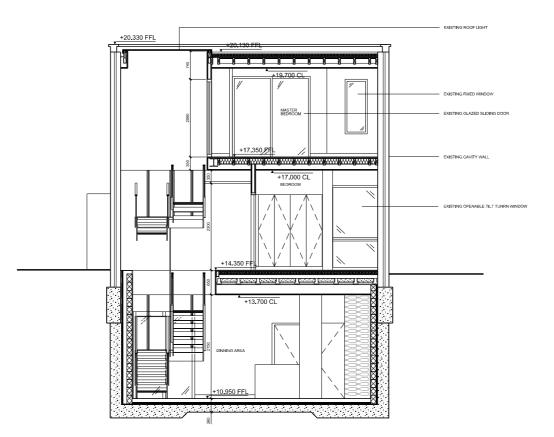
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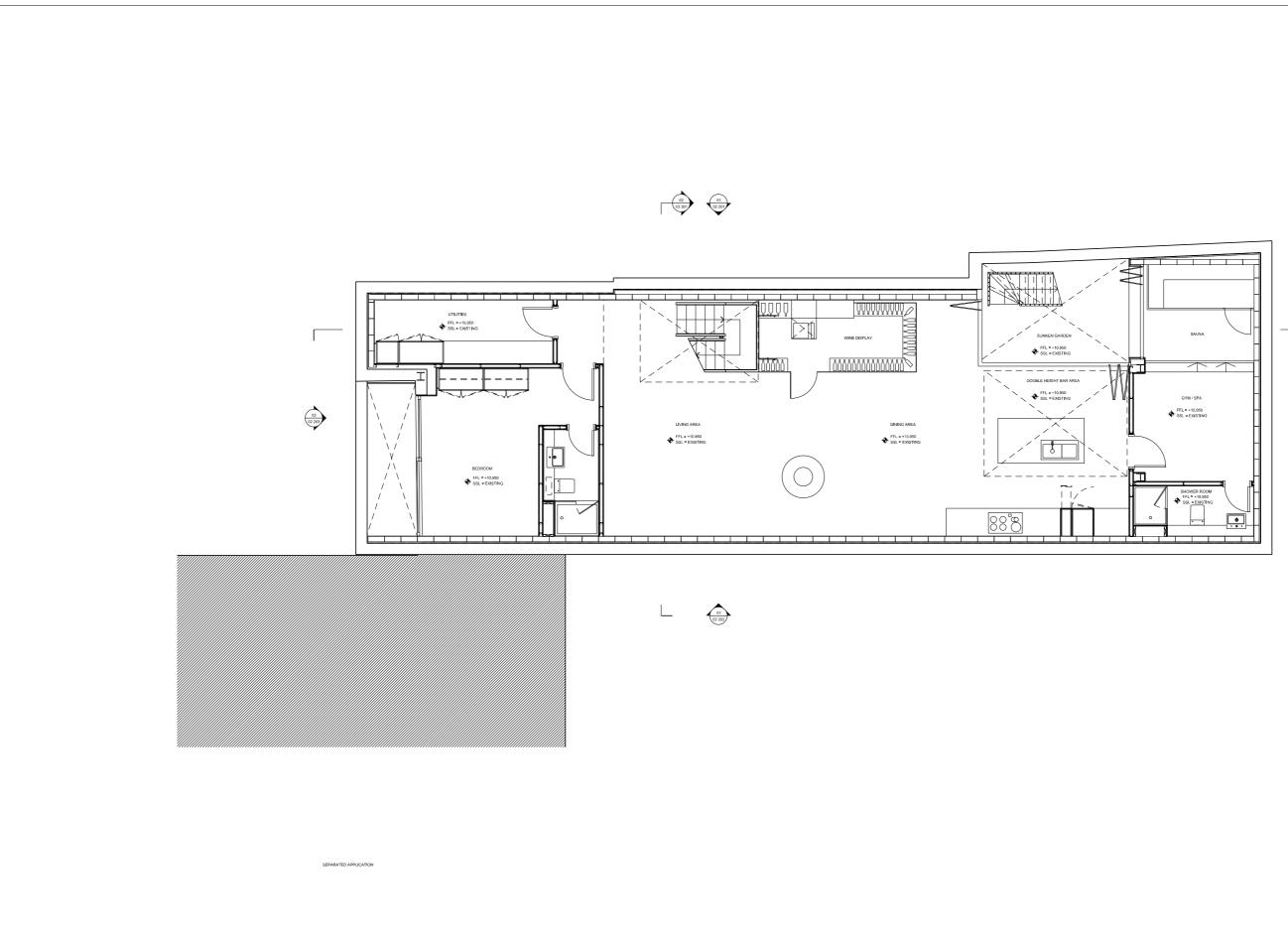




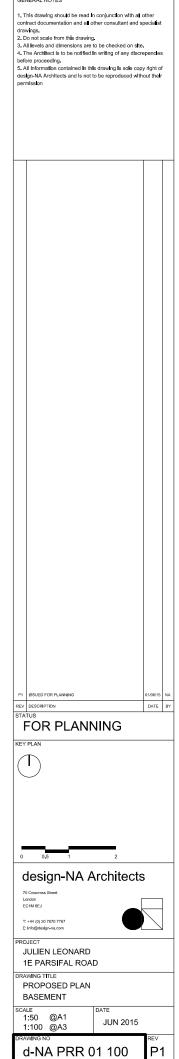
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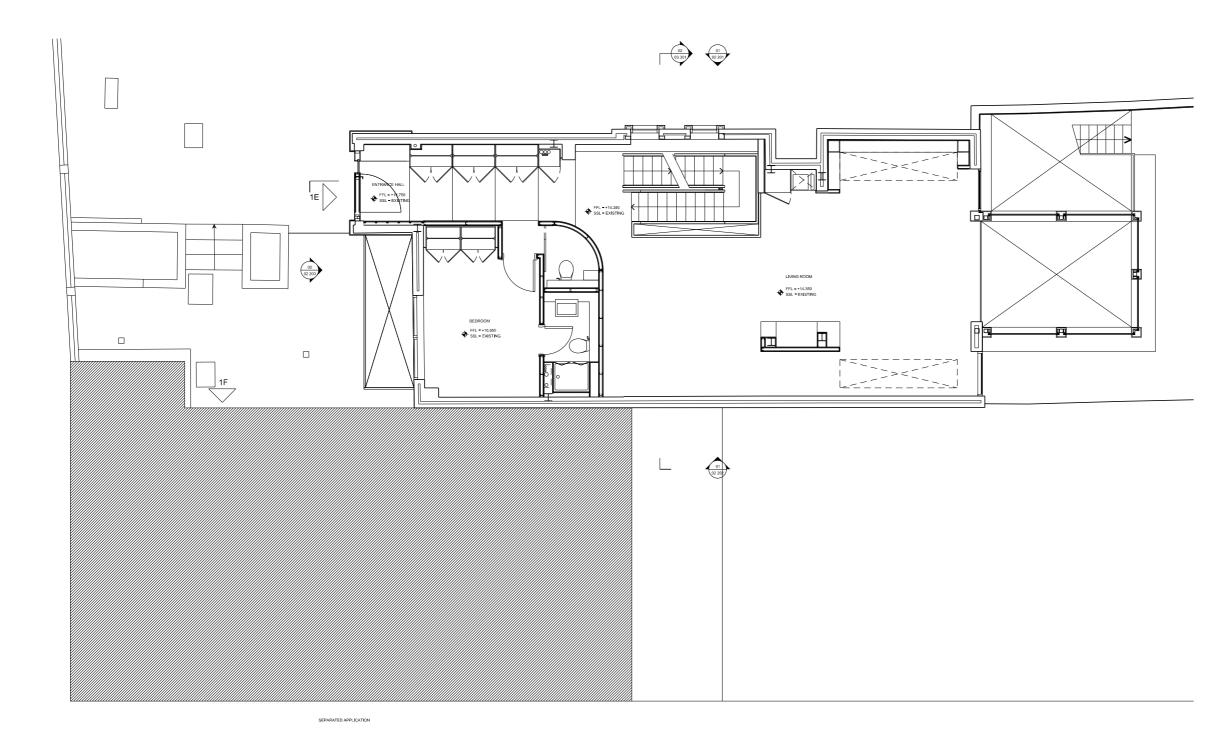
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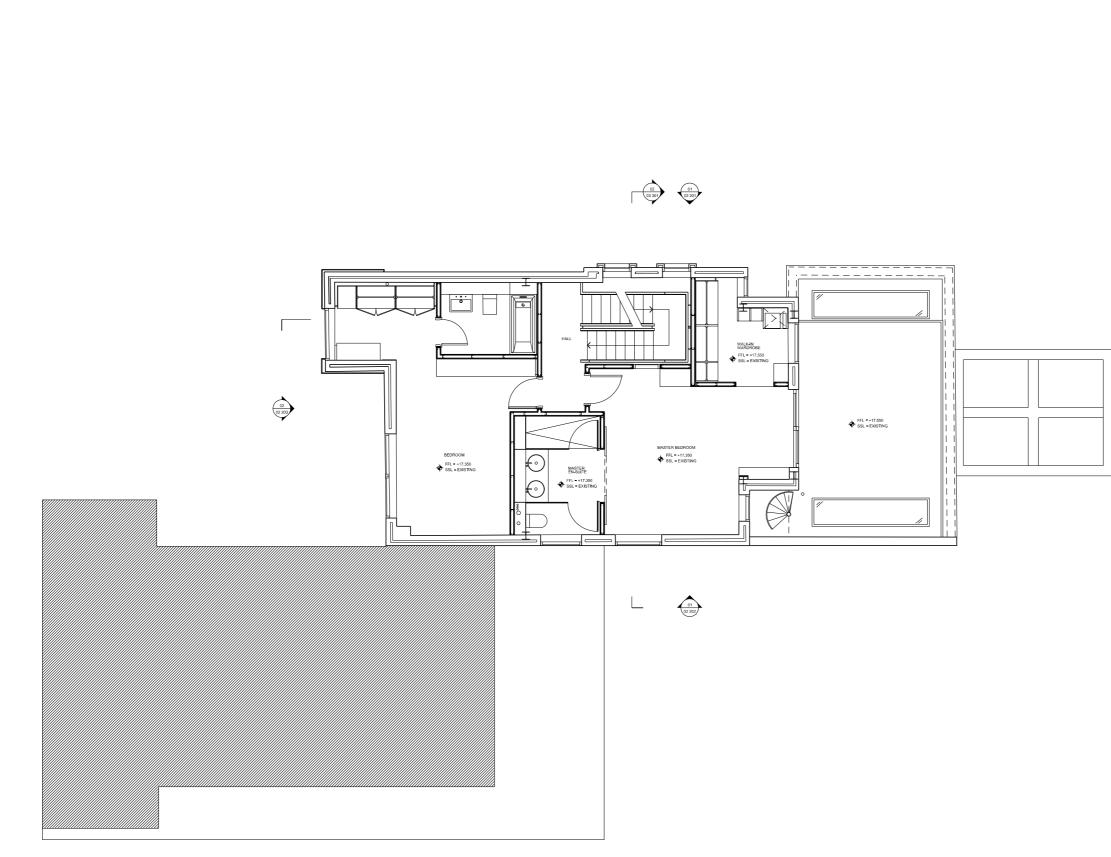
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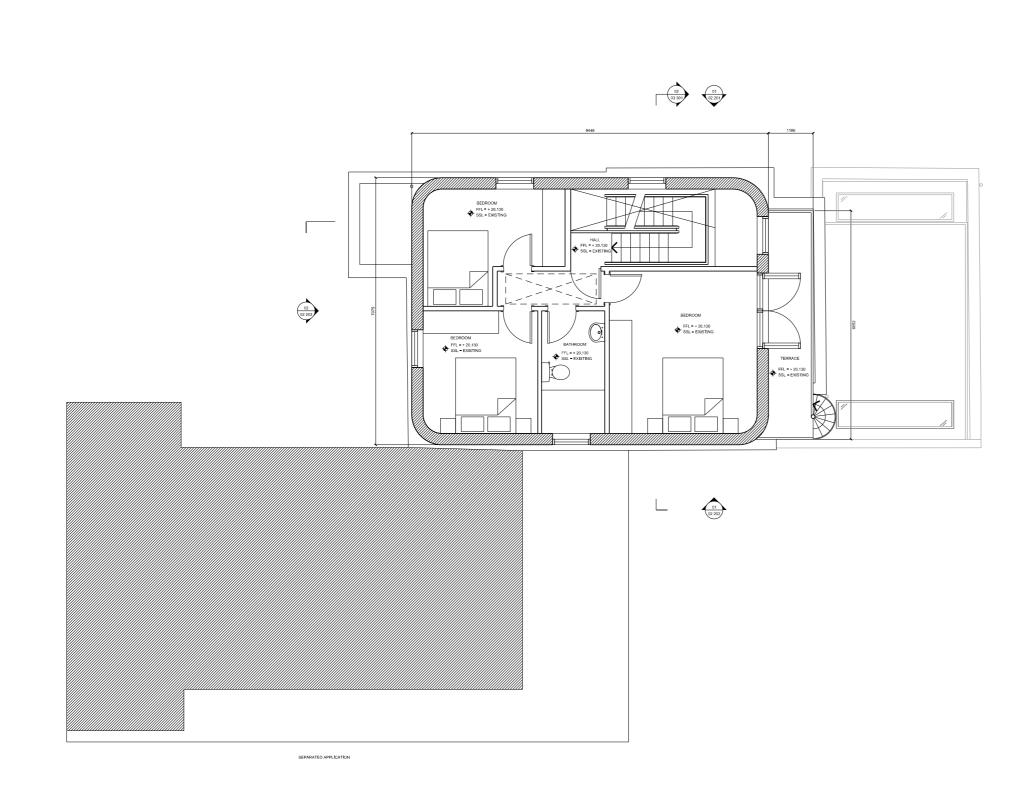
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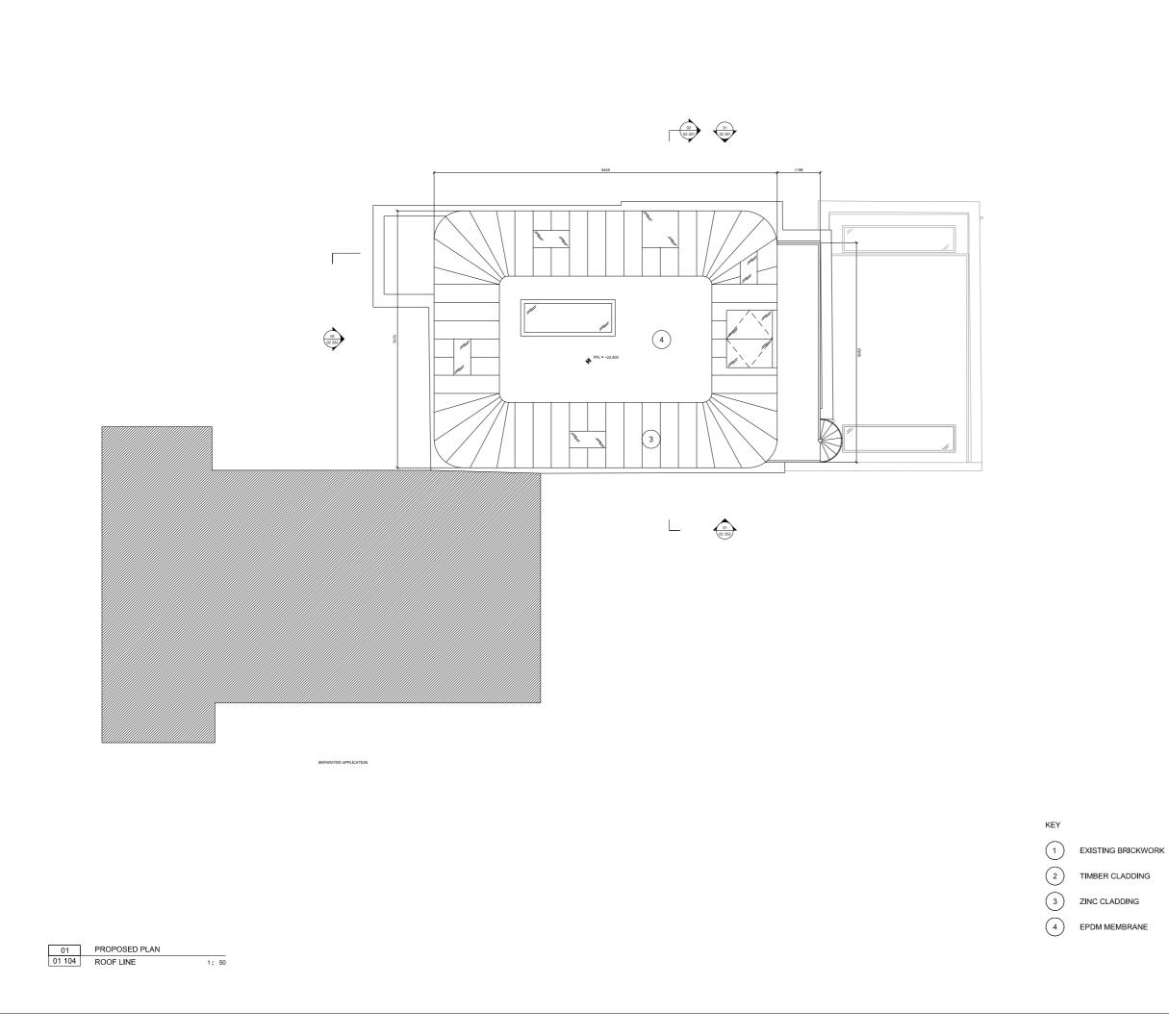




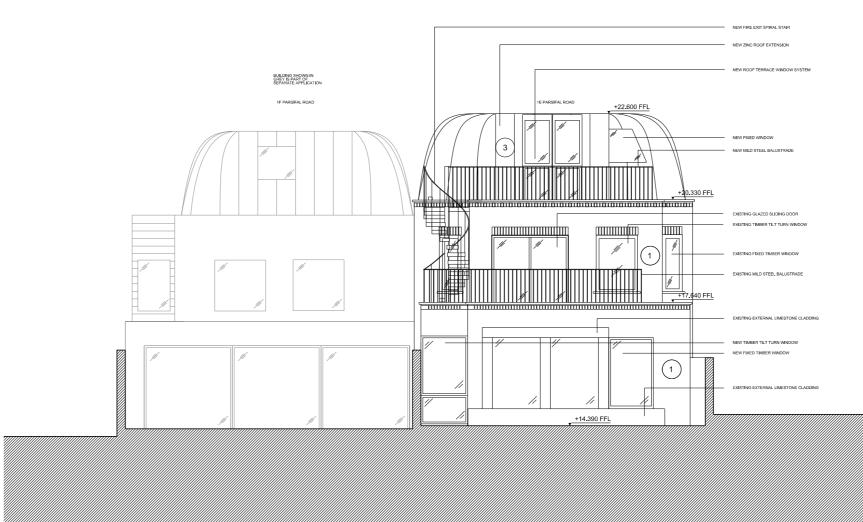
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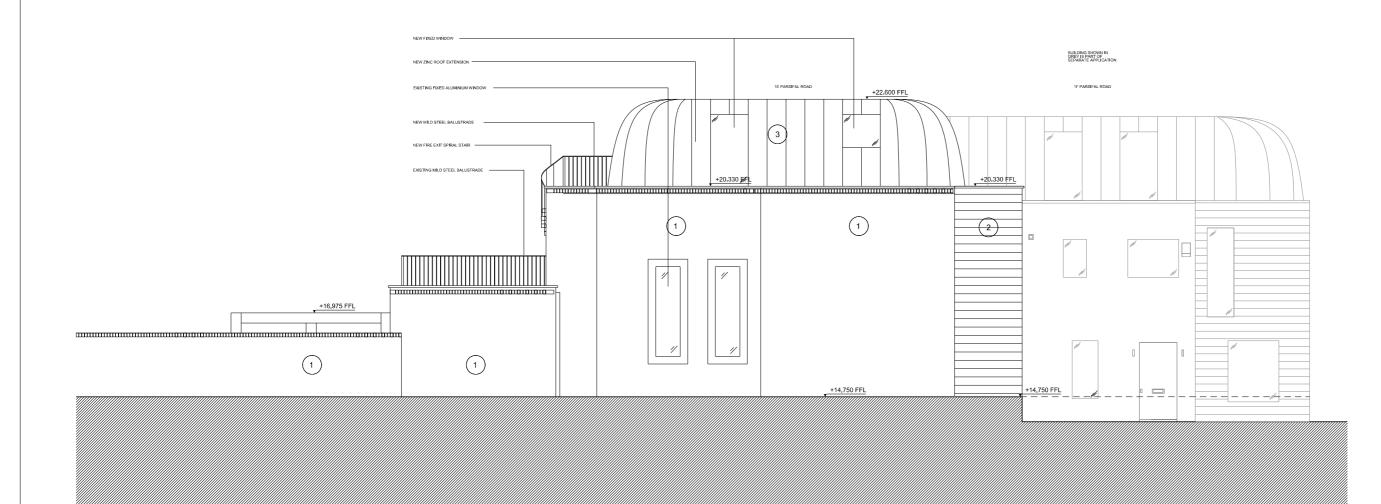
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01 PROPOSED ELEVATION 02 200 NORTHEAST 1: 50

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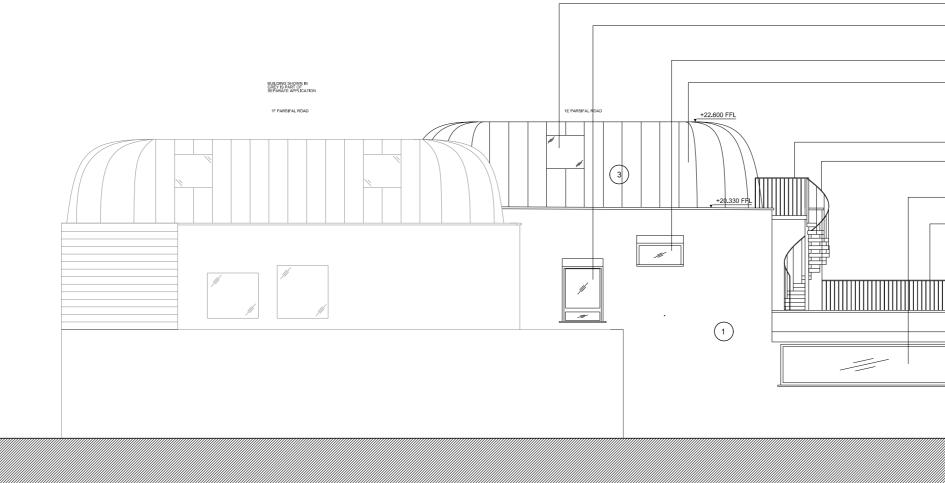
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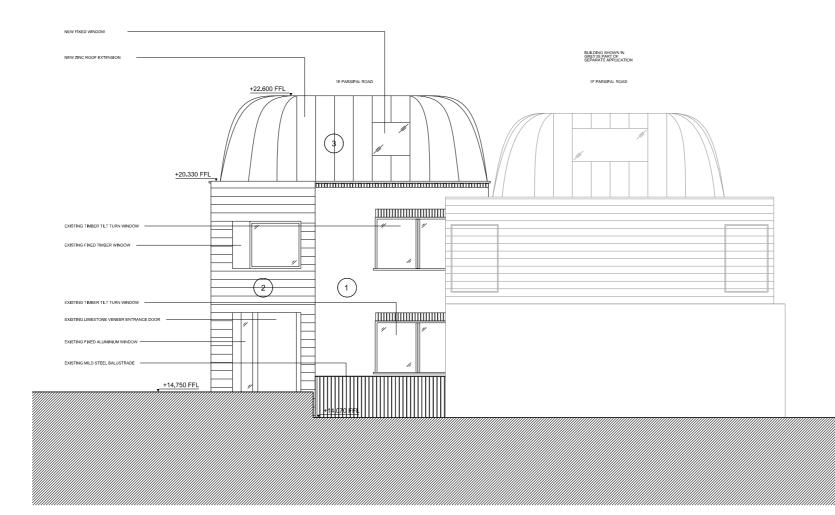
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01 PROPOSED ELEVATION 02 202 SOUTHEAST 1: 50

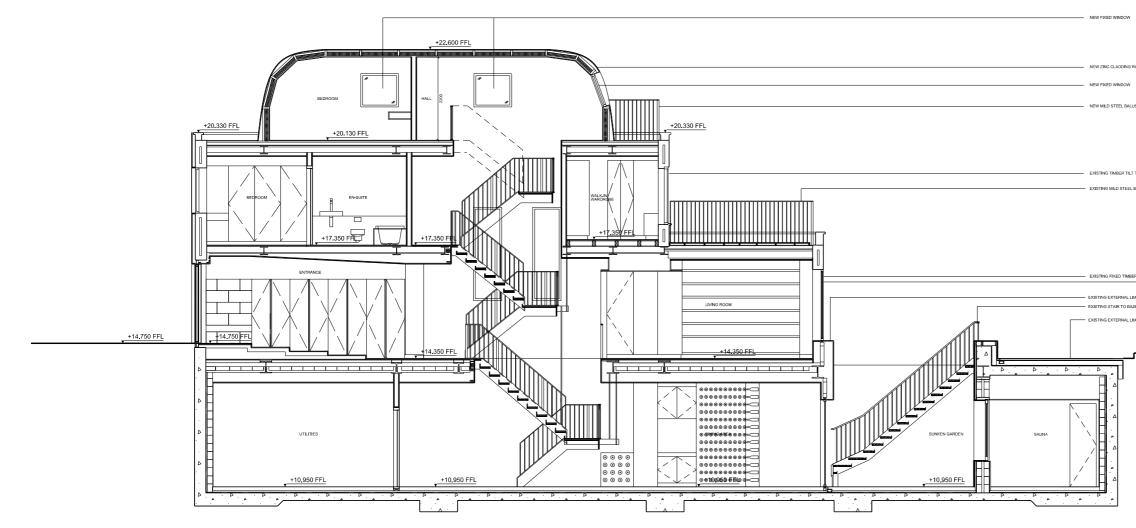
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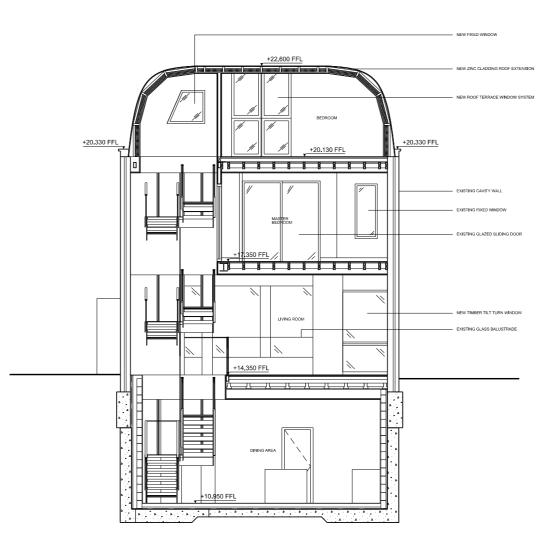
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- 3 ZINC CLADDING
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01 PROPOSED ELEVATION 02 103 SOUTHWEST 1: 50

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8.0 Appendix B - Material







Fig 17 Zinc Cladded Roof

Fig 18 Zinc Cladded Building

Fig 19 Zinc Mansard Roof

London Stock Brick to match existing



DESIGN AND ACCESS STATEMENT JUNE 2015 JULIEN LEONARD

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