



3 WESLEYAN PLACE: HERITAGE STATEMENT

1.0 INTRODUCTION:

The main objectives of the report are to:

- To appraise the existing historic structures with a photographic schedule of features of historic interest**
- To prepare a statement setting out the impact of the proposed development on the historic building.**

Planning policy context:

The National Planning Policy Framework (NPPF 2012) states that those parts of the historic environment that have significance because of their historic archaeological, architectural or artistic interest are heritage assets. The NPPF aims to deliver sustainable development by ensuring that policies and decisions that concern the historic environment recognise that heritage assets are a non renewable resource, take account of the wider social, cultural, economic and environmental benefits of heritage conservation and recognise that intelligently managed change may sometimes be necessary if heritage assets are to be maintained for the long term. The NPPF requires applications to describe the significance of any heritage asset, including its setting that may be affected in proportion to the asset's importance and the potential impact of the proposal.

The NPPF aims to conserve England's heritage assets in a manner appropriate to their significance, with substantial harm to designated heritage assets (i.e. listed buildings, scheduled monuments) only permitted in exceptional circumstances when the public benefit of a proposal outweighs the conservation of the asset. The effect of proposals on non-designated heritage assets must be balanced against the scale of loss and significance of the asset but non designated heritage assets of demonstrably equivalent significance may be considered subject to the same policies as those that are designated. The NPPF states that opportunities to capture evidence from the historic environment, to record and advance the understanding of heritage assets and to make this publicly available is a requirement of development management. This opportunity should be taken in a manner proportionate to the significance of a heritage asset and to the impact of the proposal, particularly where a heritage asset is to be lost.

2.0 METHODOLOGY:

The site was photographed in March 2016 in order to inspect and appraise the building and compile a photographic record. The exterior elevations on all three sides were considered, together with the ground and first floor levels, in order to fully understand the development of the building.

The photographic recording was carried out using a Digital SLR 350D camera and included all external views and internal shots with detailed images taken where necessary. External lighting and weather conditions were good at the time of the survey. A scale was used wherever possible and flash was employed for internal shots. A pictorial index of the digital photography and selected colour plates are included below.

3.0 THE SITE

The proposed development is residential and is located at 3 Wesleyan Place, NW5 1LG. The development proposal involves some minor internal alterations to the rear closet wing (non original) as well as the



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replacement of a number of rotten windows with conservation grade timber framed windows. Also, the replacement of a non original door into the closet wing from the side passage with a sash window as well as the replacement of rotten windows and a door in the closet wing with steel framed doors and windows. To the rear elevation, it is proposed to replace an un-original uPVC door with a timber framed sash window. The property is a Georgian era Grade II listed building and is situated within the Dartmouth Park Conservation Area.

4.0 OVERVIEW:

The Grade II listed house forms the end of terrace to three houses constructed in circa 1810 as part of a speculative residential development. Although from the front elevation the house retains much of its original historic character and appearance, the rear facades and closet wing extensions have been altered piecemeal in the 20th century. The interior, while retaining its early plan layout has been modernised extensively.

5.0 DESCRIPTION OF THE SITE & HISTORIC BACKGROUND

Wesleyan Place lies within the Borough of Camden, close to Hampstead Heath and lies near a number of other Georgian streets such as Mortimer Terrace, Grove Terrace and Little Greene Street.

The immediate area comprises a truncated horse shoe cul-de-sac with Mortimer Terrace and Wesleyan Place dating from 1805 - 1810. A number of Victorian houses also form Wesleyan Place and a 1990's neo Georgian pastiche style development – Apostle's Lodge lies to the west of Wesleyan Place. The area forms part of the Dartmouth Park Conservation Area.

No. 3 is part of a small terrace of four houses constructed as a unified architectural range on the north side of Wesleyan Place, although in reality, only numbers, 1, 2 & 3 are Georgian. No 1 A, while appearing very similar was actually built in the Victorian era.

All four buildings, 1A, 1, 2 & 3 were listed on the 14th of May 1974 and the English Heritage Building ID for this group is 478543.

A description of the street is included in the Dartmouth Park Conservation Area Appraisal and Management Statement which was adopted by the council on 22nd of January 2009

7.23 Wesleyan Place *The road slopes gently down towards Mortimer Terrace and forms an attractive enclave on the west side of Highgate Road. Nos. 1A, 1, 2 & 3 (listed) are an early 19th century terrace of stuccoed two-storey houses with decorative elements including pilasters, cast iron balconies at first floor windows and fanlights. John Keats lived here briefly. The remainder of the north side relates in scale to the listed terrace. The south side has two properties from the mid 19th century; both are yellow stock brick but differ in design. The three storey and two storey buildings sit comfortably together. The granite setts of the street have been retained.*

Views

- Long views along Highgate Road
- Views of Grove Terrace and the green
- View of the west elevation of the former Baptist Chapel from Gordon House Road (obscured by trees in the summer)



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Negative features

- *Unsympathetic replacement windows*
- *Unsympathetic shopfronts including signage and blinds (however in many cases the original fascia and pilasters survive.*
- *Satellite dishes (especially on Denyer House)*
- *Petrol station on Highgate Road*
- *Advertising hoardings on eastern wall under the railway bridge.*
- *Unsympathetic repairs*
- *Hoarding on College Lane opposite Denyer House*

6.0 THE BUILDING - LAYOUT HISTORY RELEVANT TO THIS APPLICATION

The information available was via historic maps of the area as well as a precedent planning application from 1980. The historic maps of the area show the boundary line of the original building constructed at some point between 1800 - 1810. An map from 1800, figure 05, shows Wesleyan Place as undeveloped open space. However, a map from 1810, figure 01, shows Wesleyan Place in existence.

The original building appeared to only consist of the main body of the house. Please see figure 01 from the map from 1810. 3 Wesleyan Place sits surrounded by fields to the north and west.

In the map from 1868, the map is drawn more basically but also does not appear to show any closet wing appended to the building, fields are still shown to the west of Wesleyan Place.

However, in 1893, figure 03, the closet wing is now shown on the ordnance survey map along with an outhouse and some other small structures in the rear courtyard.

Therefore it can be surmised that the closet wing extension was constructed at some point in the Victorian era between 1868 and 1893.

As indoor toilets / bathrooms were not in use in private residential dwellings in London until the 1920's, one can surmise the the closet wing extension would have housed an additional bedroom. As shown in the outhouse on the historical plans, the toilet would have been housed in the courtyard. Of note, the outhouse shed building at no. 2 Wesleyan Place, is likely to reflect a mirror image of the outhouse that once lay in no. 3 Wesleyan Place.

It can be assumed that as per the plans, that the rear courtyard / garden was accessed via the side passage. There is no evidence that a door was created other than the front door for accessing the building until the 1960's / 70s when the building was crudely subdivided. On the other two buildings, no. 1 & 2 Wesleyan Place, there has also only ever been one entrance to the building.

It appears from the 1980 planning application that the building pre-1980 was subdivided into 2 flats, with the first floor flat accessed via the original front door and the ground floor flat accessed via new door placed



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underneath the stairs from the side passage. 3 steps would have been made from this door to reach the hallway of the house. A partition wall divided the ground floor hallway and created the boundary between the two flats.

The 1980 application sought to return the house to a single family home. The 1980 application shows the closet wing extension at ground and first floor levels comprising of a bedroom and bathroom.

In the 1980 planning application, approval was granted to fill in the non original doorway underneath the stairs and replace it with a small window. Approval was granted for a new door into the kitchen from the side passage.

Since moving to the house in 2014, this door has never been used as it is bolted shut for security reasons and is not necessary. The previous owners also told us that since they took ownership in the early 1990s, the door had never been used either.

7.0 PROPOSALS:

The proposals for this listed building application involve:

At ground floor level:

A door set back on the closet wing, set back from the main front elevation which was created after a 1980 planning application is proposed to be replaced with a timber framed sash window. The door has not been used at any point in the last 20 years as advised by the previous owner who owned the building from the early 1990s until the current owners took ownership in 2014. The original layout of the house when it was built in 1805 did not have the closet wing. The side passage simply connected to the rear garden. When the closet wing extension was erected in the Victorian period, no door existed into the house other than the main entrance.

To the rear of the property in the main body of the house, on the north elevation it is proposed to replace a uPVC door with a Georgian detailed timber framed sash window, in keeping with what it appears would have originally been there. One can see that this is the case at no. 2 Wesleyan Place.

In the closet wing, there is currently an assortment of irregularly located and sized windows and a door which is it proposed to at ground floor level replace with a set of delicately detailed steel framed windows and doors. The detailing of these new doors and windows is to closely match the mullion and transom layout of Georgian windows.

Of note is that the current configuration of the closet wing is not what was originally built. This is shown by the use of a concrete lintel over the door as well as the clear infill of bricks below the window to the south side of the courtyard showing that it was once a doorway. Please see photos in Appendix B.

At first floor level:

Set back from the main front elevation, a small, rotten casement window that was formed in the 1980s is proposed to be replaced with a slightly larger timber framed sash window to match the one proposed at



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ground floor level.

At first floor level in the closet wing looking onto the courtyard, a rotten, timber casement window is proposed to be replaced with a like for like sized and located new timber framed sash window with a matching window to lie on the other end of the elevation. This new arrangement of windows and the door will form a symmetrical elevation which still maintains the original style and features of the original building but will allow adequate lighting to the stairwell / hallway of the house which is currently very dark. Of note is that when the house was originally constructed in the 1800's it would likely have had a window illuminating the stairwell which was lost when the closet wing extension was added. This new window seeks to provide lighting that would have originally been part of the design of the building.

Due to the rationalising of the drainage inside the building, the unattractive plastic set of pipes including the SVP are to be removed. The existing plastic rainwater pipe is to be replaced with a cast iron heritage style downpipe. The SVP will now run internally exiting on the flat roof of the closet wing. Please see drainage drawings.

8.0 IMPACT ASSESSMENT

Closet Wing Extension overlooking 3 Wesleyan Place's side passage on the front elevation of the building

The proposals seek at the front of the building, in the small area where the closet wing extension looks onto the side passage to replace the existing small rotten casement window at first floor level with a timber framed sash window, more in keeping with the age of the building.

At ground floor level below this window, it is proposed to remove the 1980's pine varnished glazed door with a matching timber framed sash window to the one proposed at first floor. The door was not part of the original design of the building, as discussed previously, it was an addition in the 1980's. The door has never been used for many years as evidenced by speaking to the previous owners who lived in the property from the 1990s.

These changes will be positive to the frontage of the building, the existing window and door are of poor quality and not in keeping with the Georgian / Victorian features of the building. The area is not very visible from the street and can only be viewed from the western side of the house, however, where visible they will create a more attractive and sympathetic improvement to the overall appearance of the house as viewed from the street.

Main house rear Elevation

The rear elevations of no. 1 and 2 Wesleyan Place have timber framed sash windows and ground and first floor levels facing onto the rear courtyards as noted from the drawings of the previous planning applications lodged for these buildings.

The proposal for 3 Wesleyan Place seeks to replace the uPVC door on the rear elevation with a timber framed sash window. Internally, this allows for greater flexibility of use of the room behind it as well as representing an improvement to the rear elevation. A new Georgian style traditional timber framed sash window will be



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more sympathetic to the rest of the Georgian exterior and in keeping with what would have been the original rear elevation.

Closet wing extension rear elevation

The Victorian era closet wing extension was constructed as an addition to the main building at least sixty years after the original building was built sometime between 1868 and 1893, as per the maps of the area shown in Appendix A - figures 02, 03

The appearance of this elevation is poor with an unsymmetric arrangement of un original windows most of which are rotten and leaking.

Evidence that many piecemeal changes have been made to the elevation is apparent by the obvious brick infills; below the southern most window at ground floor level it appears that a doorway was infilled, a concrete lintel over the doorway to the north is evidence that a new doorway was placed here (which from the 1980 planning application existing ground floor plan, figure 07, now a doorway at this time was evidently a window with the doorway most likely sitting to the southern end of the closet wing extension) as well as from what appears to be the infill of a small window on the southern side of the closet wing at the first floor level (figure 14)

The proposal seeks to replace the existing un original casement window from the 1980s at first floor level on the northern end of the elevation with a new timber framed sash window of the same size and in the same location. This will be an improvement to the historic appearance of the building.

To the southern end a matching symmetrical window to the replacement window is proposed in order to provide natural light to the dark stairwell and hallway behind. This area would have originally benefitted from natural light from a window that would have looked out onto what would have been an empty courtyard originally. This window would have been removed to accommodate the closet wing extension in the Victorian era.

At ground floor level, it is proposed to replace the windows and doors with a single section of high quality conservation grade windows and a door which take their detailing from Georgian windows and doors' dimensions and appearance. The use of steel in these doors means that very thin transom and mullions can be achieved and in their black finish will match the overall appearance of the current elevation but with an improved appearance and one which will be robust to wet weather. Please see Figure 28 for photographs of similar examples of these doors.

The courtyard is currently very difficult to access due to the location of the door at the northern end of the kitchen and as a result is rarely used. The new windows and doors would create a better relationship between the two areas, allowing better views of the courtyard as well as allowing more light into the dark kitchen / dining area.



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Unlike many modern conversions, the proposals for the windows and doors from the kitchen onto the courtyard does not seek to use the full width of the elevation and respectfully and subserviently sit centred with a large portion of wall on either side.

In addition to these changes, it is proposed to remove the ugly large plastic set of pipework which includes the SVP and connecting waste water pipes from the bath and toilet. Due to the internal reconfigurations, these pipes will run in some small boxwork in the internal back wall and will then connect into the existing drainage system underneath the kitchen floor accessed via a pipe in the downstairs wc. It is proposed to replace the existing plastic rainwater pipe and gutter with a high quality conservation grade cast iron downpipe and gutter.

Overall, the intention is to carefully preserve the historic character of the closet wing extension and to vastly improve its overall appearance with high quality conservation grade new windows and doors in order to allow the house to also function as a warm, light filled family home.



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APPENDIX A

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Fig 01. Excerpt from Plan of the Hamlet of Kentish Town and its Vicinity 45A - 1810



Fig 02. Ordnance Survey Map 1868



Fig 03. Ordnance Survey Map 1893-95



Fig 04. Ordnance Survey Map 1890's - 1920s

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Fig 05: Topographical map of the country twenty miles round London 1800
Approximate area where Wesleyan Place lies shown circled in green. This tallies with the Kentish Town panorama showing that no streets off the main road yet existed.

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Fig 06. Excerpt from Kentish Town Panorama

Kentish Town Panorama by James Frederick King in 1851

This was drawn as a nostalgic memory of his childhood in Kentish town. He was born in 1781 and the panorama shows his memory of the area in the 1890's as a boy. In this excerpt from the panorama showing the western side of the Highgate road, Wesleyan Place did not yet exist. Wesleyan chapel lies on the site where there is currently an estate agent. Wesleyan Place currently runs to the right handside of where the chapel used to be.

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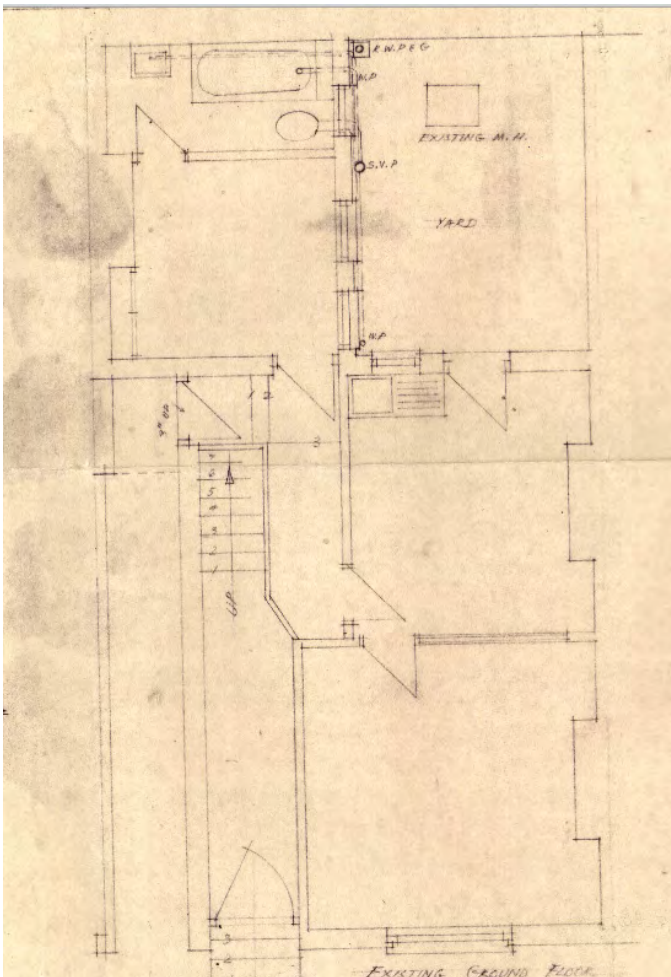


Fig 07. Existing Ground Floor - From 1980 Planning Application

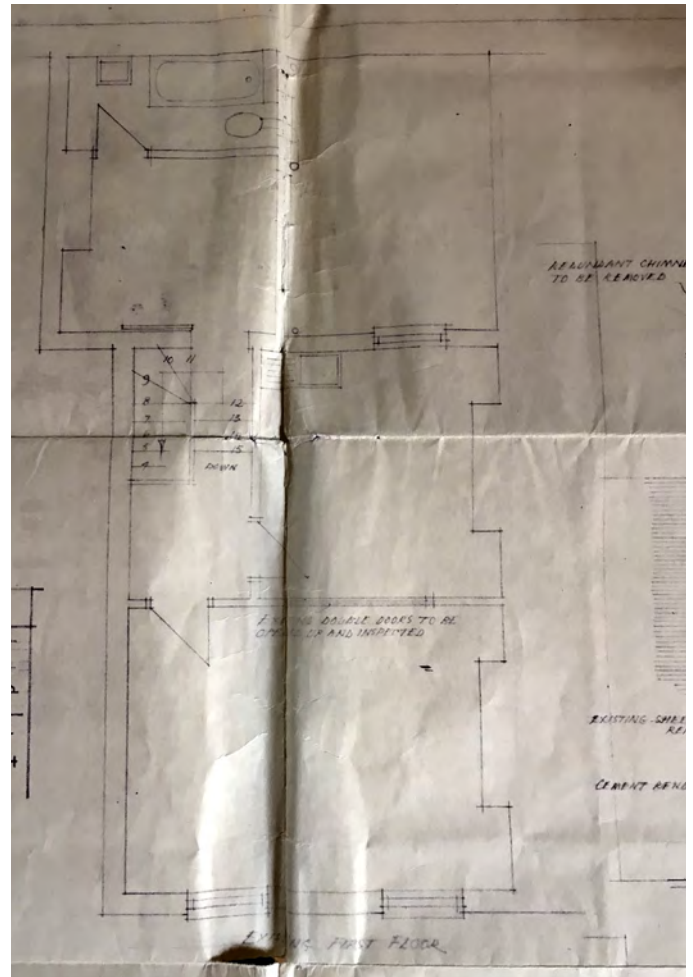


Fig 08. Existing First Floor- From 1980 Planning Application

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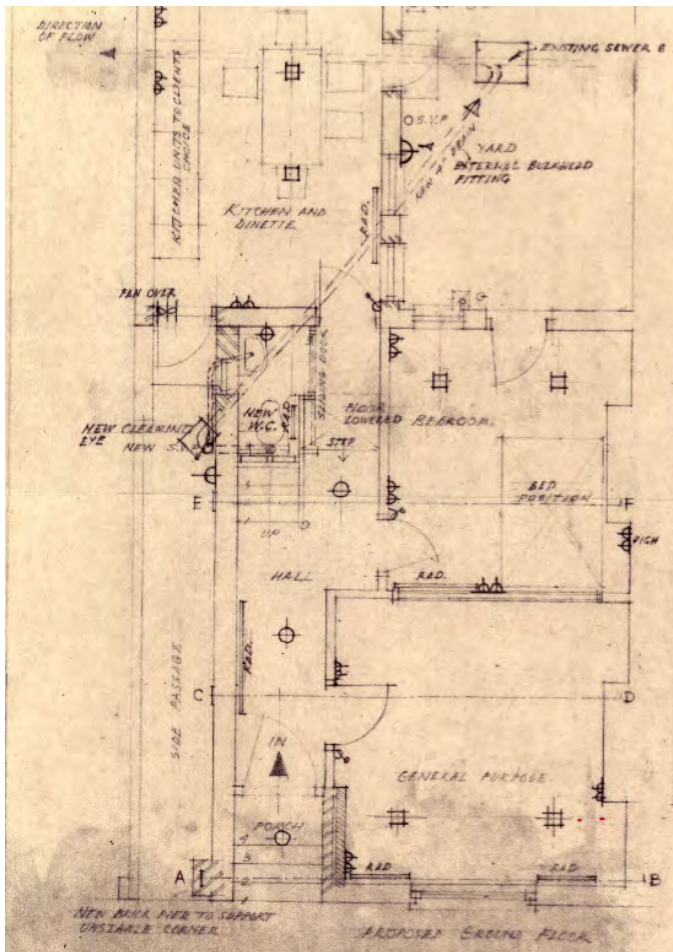


Fig 09. Proposed Ground Floor- From 1980 Planning Application

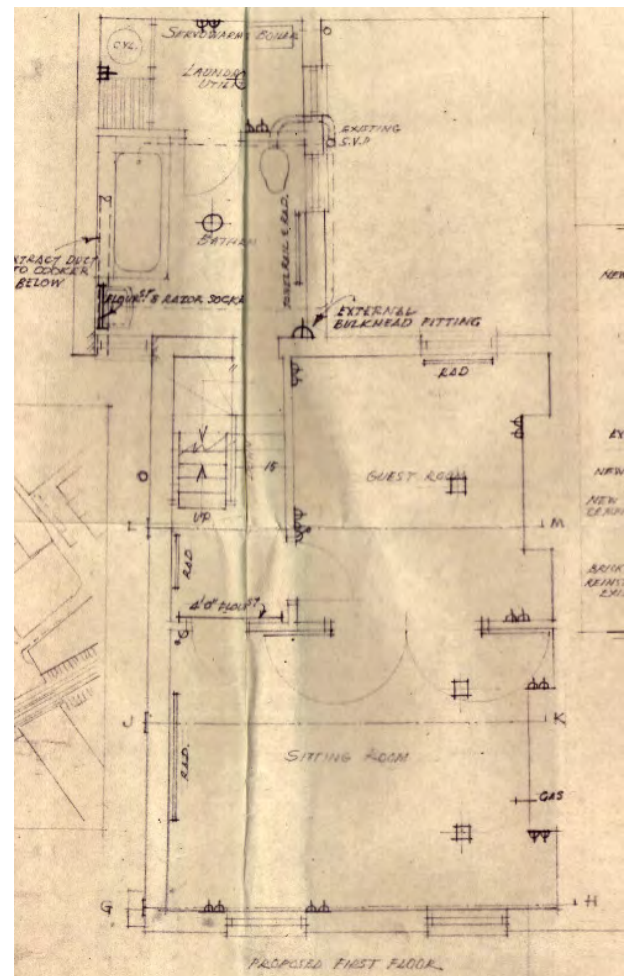


Fig 10. Proposed First Floor- From 1980 Planning Application



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Fig 11. Closet wing extension elevation to the rear - Note concrete lintel over the doorway, indicating that it was not inserted in Victorian times.



Fig 12. Rear elevation showing uPVC door to be replaced



Fig 13. Detail from closet wing extension elevation to the rear: note concrete lintel over the door indicating that it is a new addition



Fig 14. Detail from closet wing extension Evidence of a brick arch from an infilled window from a previous time



Fig 15. Detail from closet wing extension elevation to the rear showing previously infill of doorway - note new bricks below window

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Fig 16. Closet wing extension as viewed from the front elevation



Fig 17. Closet wing extension as viewed from the western side of the front elevation



Fig 18. Closet wing extension not visible from straight view of the front elevation of the house



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Fig 19. Ground Floor: Internal view of the closet wing extension looking onto the courtyard

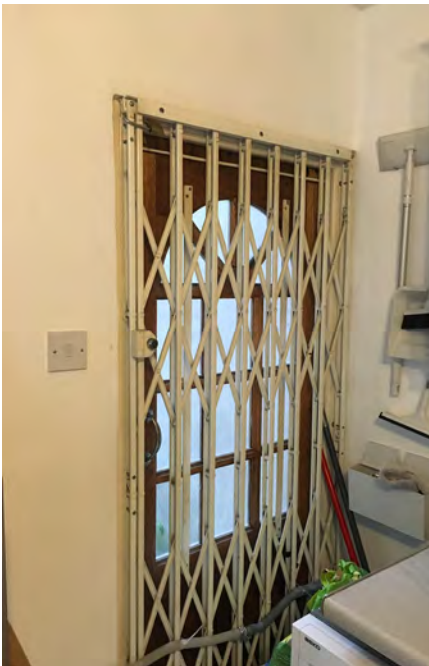


Fig 20. Ground Floor Internal view of the door in the closet wing extension looking out onto the side alley

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Fig 23. First Floor Internal view of the window in the closet wing extension looking out over the side passage

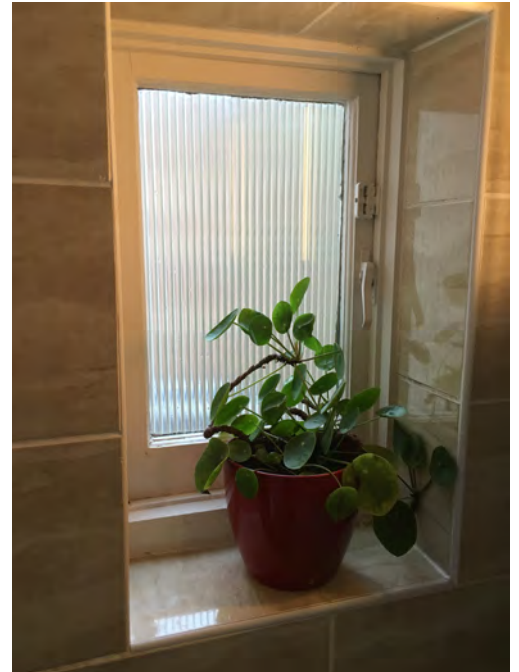


Fig 24. First Floor Internal view of the window in the closet wing extension looking out over the side passage



Fig 25. First Floor Internal view of the window looking out over the courtyard from the closet wing extension



Fig 26. First Floor Internal view of the area where a new window onto the courtyard is proposed



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Fig 27. Proposed closet wing extension elevation

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Fig 28. Examples of steel framed doors in historic buildings where a relationship with an outdoor courtyard is required