

Design and Access Statement

**17 The Mount Square
London
NW3 6SX**

Proposed Development-

New first floor partitions to alter internal layout

New stair

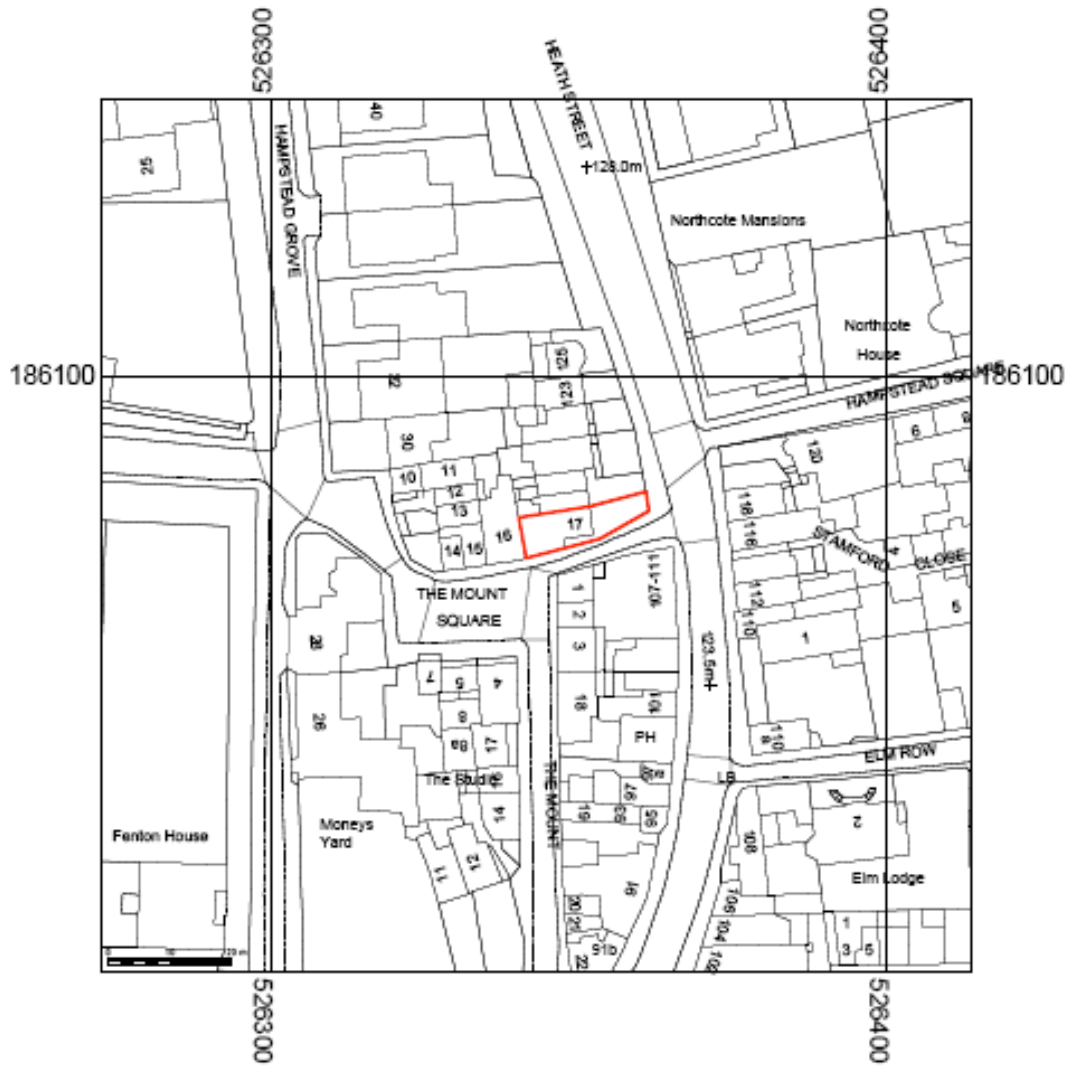
New WC to ground floor

New shelving either side of the chimney breast to the ground floor

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Location Plan



Existing Property

The property at 17 The Mount Square is a single-family residential dwelling. The property is located on the corner of The Mount and Heath Street and falls within the Hampstead Conservation Area.

Heritage Statement-

The property is grade II listed (list entry number- 1379002) as one among a terrace of six listed houses in the group. The description of the listing from Historic England is as follows:

“Group of 6 terraced houses. No.17 forms part of No.113 Heath Street (qv). Nos 12 & 13: late C18. Multi-coloured stock brick with tiled roofs. 2 storeys. 1 window each. Doorways linked by bracketed hoods; No.12, part-glazed door, No.13, panelled; blocked overlights. Recessed sashes, ground floor being grouped with and linked to doorways. Nos 14 & 15: late C18, refronted mid C20 in Georgian style. Yellow stock brick with plain band at 2nd floor level. Tiled roof. 3 storeys 2 windows. Central entrances with cambered red brick arches. Cambered red brick arches to recessed sashes. No.16: late C18, refronted mid C20 in Georgian style. Yellow stock brick with shaped brick band above 1st floor sashes. Tiled roof with dormers and projecting eaves with stepped brick brackets at angles. 2 storeys and attic. 3 windows. Round-arched red tiled entrance with recessed doorway having part-glazed door. Cambered brick arches to flush sashes with exposed boxing. No.17: late C18. Multi-coloured stock brick with slated roof. 2 storeys 2 windows. Segmental brick arches to recessed casements. INTERIORS: not inspected”.

The property at number 17 has been altered internally previously and original fabric has been removed prior to the latest alterations.

Original fabric that has been previously removed prior to the latest works is as follows:

Previously replaced:

Ceilings had been replaced with plasterboard during a previous refurbishment in the 1980s to the ground and first floors.

Floor finishes had been covered over with engineered timber floorboards above the original boards.

Additionally to the above, the application 2005/4732/L was granted to install a plasterboard partition to divide the middle room to the first floor to create a separate bedroom accessed from a corridor.

Boxing in of the cupboard in the living room and shelves either side of the chimney breast had also been previously undertaken.

Existing Site Photos



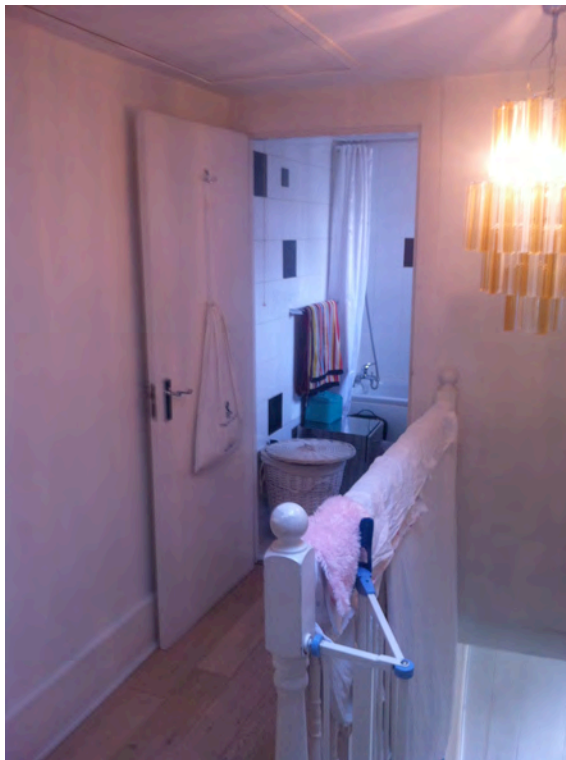
Existing Front Elevation from The Mount Square



Existing Side Elevation



Existing Stair from Dining Area



Existing Landing at First Floor



Existing Cupboards in Living Room



Existing Corridor at First Floor

Proposed Development (Undertaken)

The work has been undertaken prior to the application being submitted. The application is therefore retrospective. Advice has been received from the planning officer John Nicholls and referred to a Conservation Officer at Camden Council who has stated in his email dated 02nd March 2016, "my opinion and that of my colleague are that these works are considered to be acceptable".

New first floor partitions to alter the Internal layout

The partition wall approved under application 2005/4732/L has been removed to the first floor corridor/ middle bedroom. New walls have been installed to provide new access to the front bedroom and to create a WC and shower room off the bedroom. The new walls do not affect the original fabric of the building. The planning officer John Nicholls has provided feedback and has stated that "the dividing up of the space by the use of further partitions is no worse than the existing".

A new wall has also been constructed to block off the existing door to the Bathroom from the Landing with a new door opening installed between the rear Bedroom and the Bathroom to create an ensuite. To create the door opening no original plasterboard has been removed and the studwork adjusted.

New stair

The existing stair was removed as it had become unsafe and unstable due to rot and the failure of some of the treads. The new stair has been constructed to match the existing in timber treads and risers.

New WC to Ground Floor

A new WC has been installed to the ground floor. New timber studwork walls with plasterboard linings have been installed. These elements do not affect the original fabric of the property. The planning officer John Nicholls has again stated that he has no objections to the WC.

New shelving either side of the chimney breast to the Ground Floor

The non-original shelving units either side of the chimney breast to the Ground Floor have been removed and replaced with new shelving that does not affect the original fabric. John Nicholls has again stated that he has no objections to the shelving.

Proposed Site Photos



Partitions to First Floor



New Stair to Match the Existing



New Shelves to Chimney Breast, Ground Floor

Appendix

Listed Building Impact Schedule

ELEMENT	REF	LOCATION	DESCRIPTION OF EXISTING	STATUS	PROPOSED WORKS	IMPACT
EXTERIOR						
Masonry walls, external		Front, side facades	Brickwork, painted render	Original	None	None
Roof Covering		Tiled roofs	Later Addition	Later Addition	None	None
Roof Covering		Flashings	Lead	Later Addition	None	None
Windows		Front, side facades	Timber framed windows	Original	Repaired and decorated	None
Window cills		Front, side facades	Painted stone cills	Original	Repaired and decorated	None
Steps		Entrance	Stone steps and landing	Original	None	None
Door		GF Front door	Timber front door	Original	Repaired and decorated	None
Door		GF Side Door	Timber framed, glazed door	Later Addition	Repaired and decorated	None

ELEMENT	REF	LOCATION	DESCRIPTION OF EXISTING	STATUS	PROPOSED WORKS	IMPACT
GROUND FLOOR						
Ceiling lining	R1- CL1	Dining	Plasterboard ceiling	Later addition	None	None
Ceiling lining	R2- CL2	Living	Plasterboard ceiling	Later addition	None	None
Ceiling lining	R3- CL3	Kitchen	Plasterboard ceiling	Later addition	None	None
Masonry partitions	/	Ground floor	Masonry	Original	None	None
Stud partition	/	Ground floor	Non existing	N/A	N/A	None
Floor lining (boards)	R1- FL1	Dining	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R2- FL2	Living	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R3- FL3	Kitchen	Engineered timber floor boards	Later addition	New floor boards	None
Cornice	/	Ground floor	None existing	N/A	N/A	None
Door (internal)	R1- D1	Dining	Timber framed, glazed door	Later addition	Repaired and decorated	None
Door (internal)	R2- D2	Living	Timber framed, glazed door	Later addition	Repaired and decorated	None
Skirting	/	Ground floor	Timber skirting	Later addition	None	None
Joinery	R1- J1	Dining	Cupboard and shelves	Later addition	Removed	None
Joinery	R1- J2	Dining	Doors below stair	Later addition	Removed and replaced	None
Joinery	R2- J1A	Living	Cupboard and shelves	Later addition	Removed and replaced	None
Joinery	R2- J1B	Living	Cupboard and shelves	Later addition	Removed and replaced	None
Stair	R1- SF1	Dining	Timber treads and risers	Later addition	Removed and replaced as existing	None

ELEMENT	REF	LOCATION	DESCRIPTION OF EXISTING	STATUS	PROPOSED WORKS	IMPACT
FIRST FLOOR						
Ceiling lining	R4- CL4	Bedroom	Paneled	Later addition	None	None
Ceiling lining	R5- CL5	Bedroom	Plasterboard ceiling	Later addition	Plasterboard ceiling repairs	None
Ceiling lining	R6- CL6	Bedroom	Plasterboard ceiling	Later addition	None	None
Ceiling lining	R7- CL7	Bathroom	Plasterboard ceiling	Later addition	Plasterboard ceiling repairs	None
Ceiling lining	R8- CL8	Landing	Plasterboard ceiling	Later addition	None	None
Ceiling lining	R9- CL9	Corridor	Plasterboard ceiling	Later addition	Plasterboard ceiling repairs	None
Stud partition	R4- WL4	Bathroom/ Bedroom	Plasterboard studwork wall	Later addition	New door opening	Removed, non original fabric
Stud partition	R5/9- WL5	Corridor/ Bedroom	Plasterboard studwork wall	Later addition	Plasterboard studwork wall	Removed, non original fabric
Stud partition	R5/9- WL6	Corridor/ Shower Room	Plasterboard studwork wall	New element	Plasterboard studwork wall	New, not affecting original fabric
Stud partition	R5/9- WL7	Corridor/ WC	Plasterboard studwork wall	New element	Plasterboard studwork wall	New, not affecting original fabric
Stud partition	R7/8- WL8	Landing/ Shower Room	Plasterboard studwork wall	New element	Plasterboard studwork wall	New, not affecting original fabric
Floor lining (boards)	R4- FL4	Bedroom	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R5- FL5	Bedroom	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R6- FL6	Bedroom	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R7- FL7	Bathroom	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R8- FL8	Landing	Engineered timber floor boards	Later addition	New floor boards	None
Floor lining (boards)	R9- FL9	Corridor	Engineered timber floor boards	Later addition	New floor boards	None
Cornice	/	First floor	None existing	N/A	N/A	None
Door (internal)	R6- D3	First floor, Bedroom	Timber framed, vertical panel door	Later addition	Door relocated	None
Door (internal)	R8- D4	First floor, Landing	Timber framed, flush door	Later addition	Door relocated	None
Door (internal)	R9- D5	First floor, Corridor	Timber framed, vertical panel door	Later addition	Door relocated	None
Skirting	/	First floor	Timber skirting	Later addition	None	None

Access for All

The proposal is the refurbishment and extension of the existing house.

Within the constraints of an existing building the works to the house have been designed to allow ease of accessibility and use. The design complies as follows with the 16 Lifetime Homes Standards:

01 Car Parking

Cars will be able to stop outside the property in the Square.

02 Access from car parking

Access from the car to the front door is direct.

03 Approach

Access from the car to the front door is direct.

04 External Entrances

The entrance is illuminated by overhead lights as existing.

05 Communal Stairs

There is no communal stair within the building.

06 Doorways and Hallways

Any new internal doors have a minimum 700mm clear opening width.

07 Wheelchair accessibility

Access to the house is via existing steps without the inclusion of a lift. A lift is not possible due to the constraints of the pavement to the front of the property.

08 Living Room

A living room features on the entrance level of the house.

09 Bed space at ground floor

All bedrooms are located on the upper floors. A bed space could be provided in the future in the ground area if required.

10 WC at ground floor

A new WC has been provided on the entrance level.

11 Bathroom walls

New walls in the bathrooms have been constructed with timber stud plywood and plasterboard finish that would be capable of supporting adaptations such as handrails.

12 Lift

The inclusion of a future lift within the building is not possible.

13 Main Bedroom

Bedrooms and bathrooms are located on the first floor.

14 Bathroom Layout

The bathroom is of a reasonable size and could be adapted in the future for access requirements.

15 Window Specification

Sliding sash windows are as existing.

16 Fixtures and Fittings

New switches, sockets, ventilation and service controls will be as existing.