

37 Museum Street



Red line denotes demise line for this Listed Building Planning Application.

Vault to be brushed down of dirt and debris and to be left as existing for use as coffee shop seating.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

Victorian wallpaper complete with dadochair rail to all walls within coffee shop 'Lounge' area.

Smokeless wood burning stove to be installed into chimney breast and new lining installed within flue.

New slate hearth to be installed in front of wood burning stove.

New Victorian timber fireplace surround to be installed.

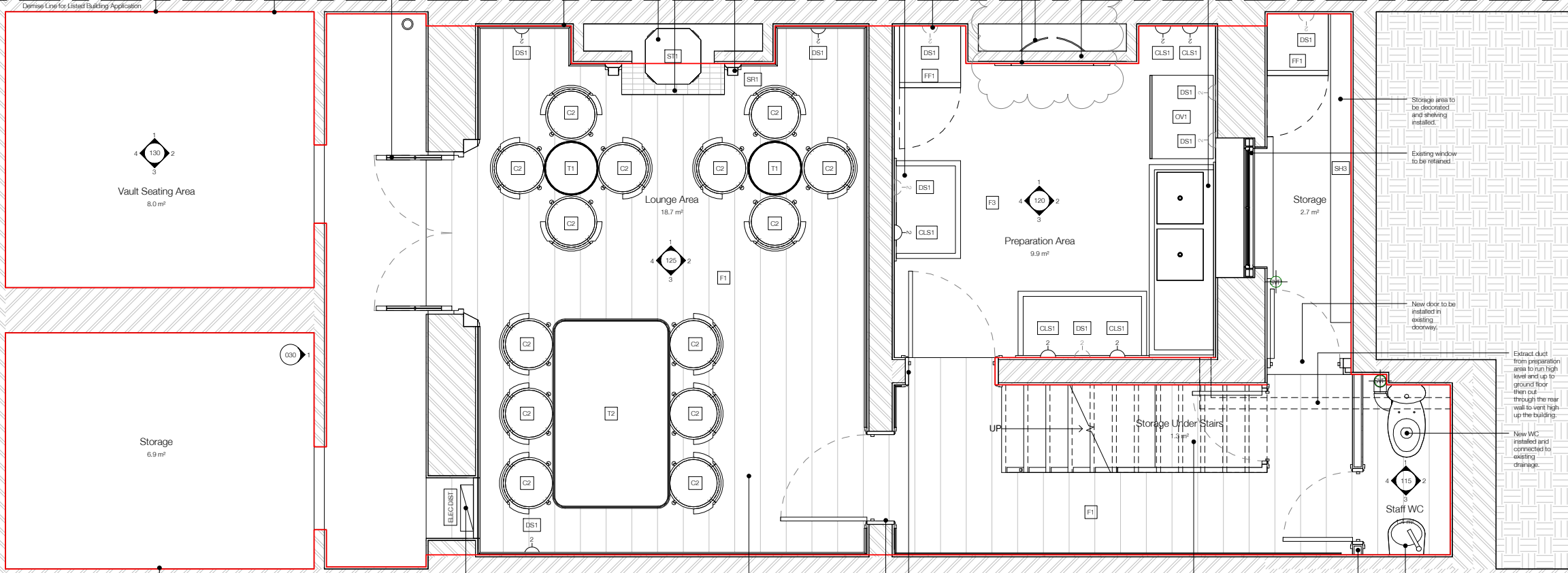
Freestanding stainless steel kitchen units to be positioned within preparation area.

All electrical fixtures (sockets and switches) and cabling to be surface mounted where possible. Cabling to be contained within surface mounted trunking.

Existing mantle surround and grate retained.

Chimney breast to be used at lower ground level.

Freestanding stainless steel kitchen units to be positioned within preparation area.



Vault to be brushed down of dirt and debris and to be utilised as storage for the coffee shop.

Existing electrical services to be retained in this location and to be enclosed for public safety.

Current laminate flooring to be removed and original oak flooring to be revealed and protected with a high quality glass varnish. If original flooring is non-existent then new wood flooring is to be installed to lower ground floor public areas.

Existing doors to be retained and decorated to a high quality finish.

Existing original lower ground staircase to be retained and repaired. To be finished with glass varnish to match flooring.

New partition and door installed to form lower ground WC for use for staff use only.

New basin installed and connected to existing drainage.

39 Museum Street

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The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting Out - Dimensions should be checked on site, use above ground levels unless otherwise stated.

Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.

Building Control - Where there is a PLANNING PERMITTED DEVELOPMENT, the client / contractor will ensure that the project is completed in accordance with the Building Regulations. Clearing Applications will need to be negotiated with Building Control as per Approved Document L1B Construction of Walls and Floors.

Planning Permitted Development - Where there is a PLANNING PERMITTED DEVELOPMENT, the client / contractor will ensure that the project is completed in accordance with the approved Planning Conditions and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications, audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, hot water and waste disposal, mains water gas or electric meter and meter positions, cabling (power), wiring conduit positions, service ducts/risers and access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and easements are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and easements are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date
1	Issue for Planning Application	10/10/2023
2	Issue for Construction	10/10/2023
3	Issue for Construction	10/10/2023

PLANNING

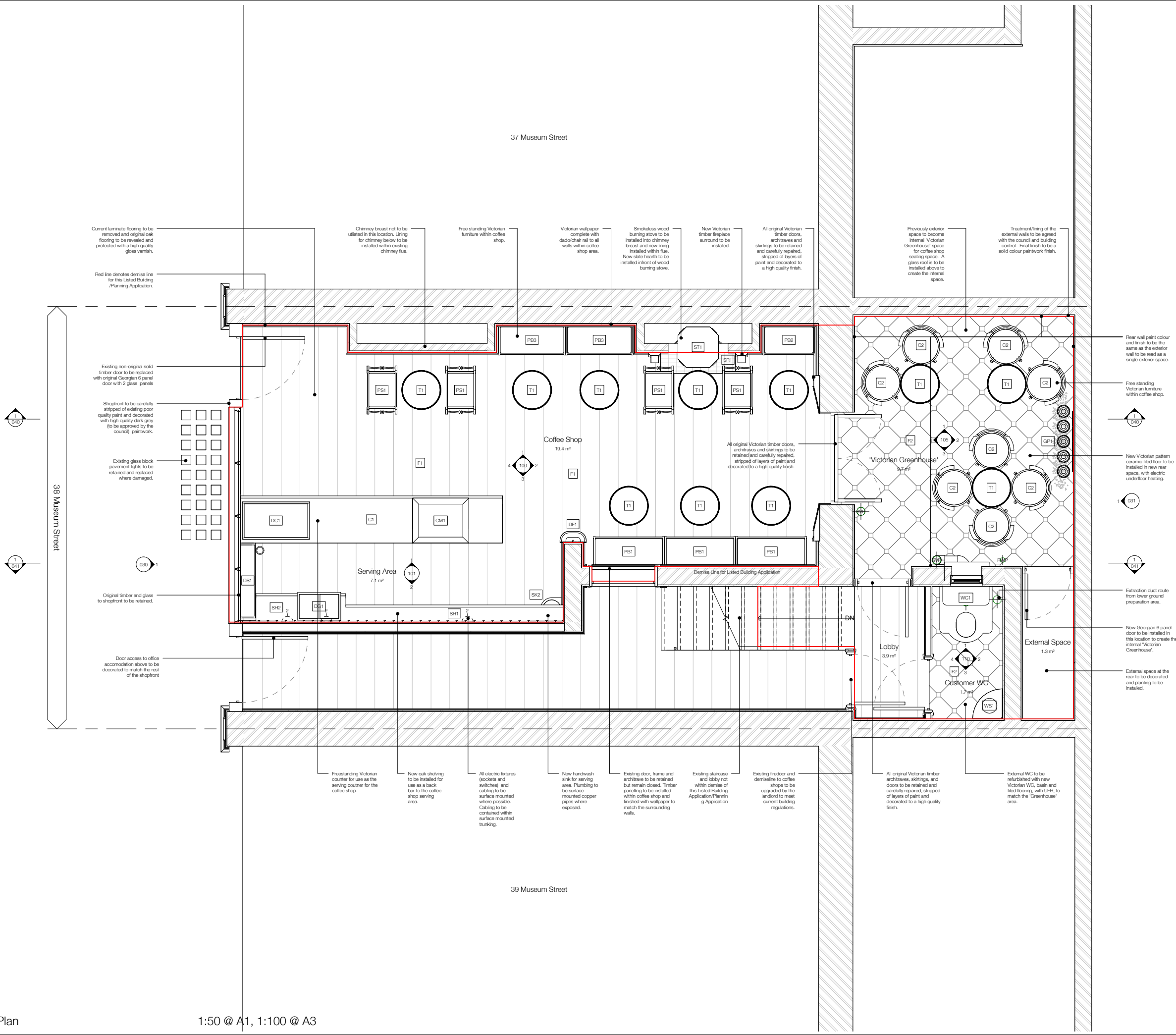
TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: Crown@Ground
Drawing: Plan
Scale: 1:50 @ A1, 1:100 @ A3
Drawing No: 009
Revision: C

37 Museum Street

39 Museum Street



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APPROVALS - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting Out - All dimensions should be checked on site, use above ground levels unless otherwise stated.

Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction methods only.

Building Control - Where there is an on-going Architect's appointment the client or contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control on an Approved Drawing (All Construction of Full and Power).

Party Walled Development - Where there is an on-going Architect's appointment: The client or contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

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Level Markers - The client is responsible for identifying and addressing matters priority that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

Current laminate flooring to be removed and original oak flooring to be revealed and protected with a high quality glass varnish.

Red line denotes demise line for the Listed Building / Planning Application.

Existing non-original solid timber door to be replaced with original Georgian 6 panel door with 2 glass panels.

Shopfront to be carefully stripped of existing poor quality paint and decorated with high quality dark grey (to be approved by the council) paintwork.

Existing glass block pavement lights to be retained and replaced where damaged.

Original timber and glass to shopfront to be retained.

Door access to office accommodation above to be decorated to match the rest of the shopfront.

Chimney breast not to be utilised in this location. Lining for chimney below to be installed within existing chimney flue.

Free standing Victorian furniture within coffee shop.

Victorian wallpaper complete with dado chair rail to all walls within coffee shop area.

Smokeless wood burning stove to be installed into chimney breast and new lining installed within flue. New slate hearth to be installed in front of wood burning stove.

New Victorian fireplace surround to be installed.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

Previously exterior space to become internal 'Victorian Greenhouse' space for coffee shop seating space. A glass roof is to be installed above to create the internal space.

Treatment/fining of the external walls to be agreed with the council and building control. Final finish to be a solid colour paintwork finish.

Rear wall paint colour and finish to be the same as the exterior wall to be read as a single exterior space.

Free standing Victorian furniture within coffee shop.

New Victorian pattern ceramic tiled floor to be installed in new rear space, with electric underfloor heating.

Extraction duct route from lower ground preparation area.

New Georgian 6 panel door to be installed in this location to create the internal 'Victorian Greenhouse'.

External space at the rear to be decorated and planting to be installed.

Freestanding Victorian counter for use as the serving counter for the coffee shop.

New oak shelving to be installed for use as a back bar to the coffee shop serving area.

All electric fixtures (sockets and switches) and cabling to be surface mounted where possible. Cabling to be contained within surface mounted trunking.

New handwash sink for serving area. Plumbing to be surface mounted copper pipes where exposed.

Existing door, frame and architrave to be retained but remain closed. Timber panelling to be installed within coffee shop and finished with wallpaper to match the surrounding walls.

Existing staircase and lobby not within demise of the Listed Building Application / Planning Application.

Existing freedor and demeraine to coffee shops to be upgraded by the landlord to meet current building regulations.

All original Victorian timber architraves, skirtings, and doors to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

External WC to be refurbished with new Victorian WC, basin and tiled flooring, with UFI, to match the 'Greenhouse' area.

No.	Description	Date
1	Issue for client approval	10/10/2023
2	Issue for client approval	10/10/2023
3	Issue for client approval	10/10/2023
4	Issue for client approval	10/10/2023

PLANNING

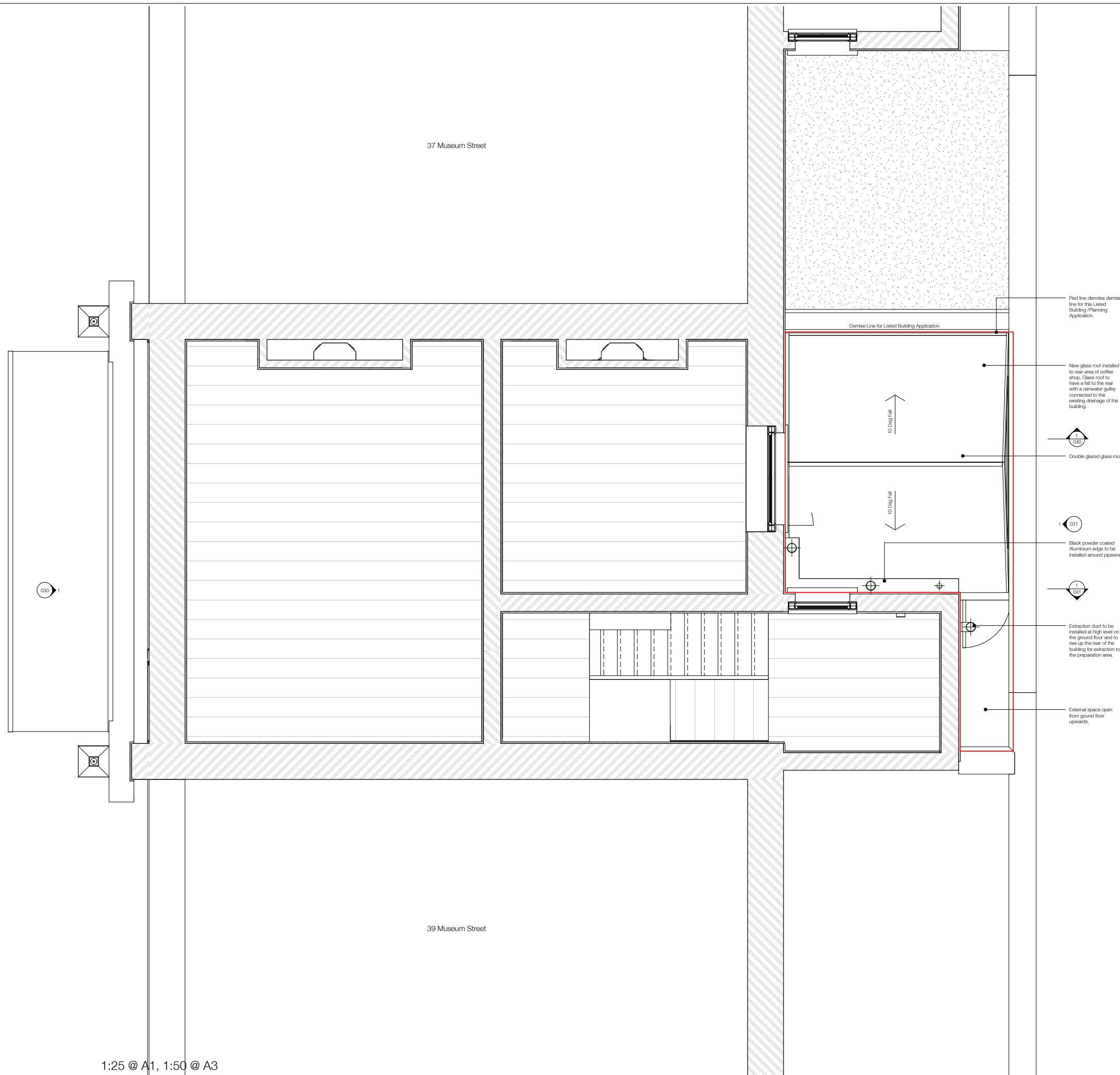
TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: Ground
Drawing: Plan
Scale: 1:50 @ A1, 1:100 @ A3
Drawing No: 010
Revision: B

37 Museum Street

39 Museum Street



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Dimensions and Setting Out - Should be checked on site, use above dimensions as a guide only.

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Building Control - Where there is an on-going Architect's appointment the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Fall and Power.

Party Walled Development - Where there is an on-going Architect's appointment: The client / contractor will ensure that the project is completed in accordance with the approved Planning, drainage and fire requirements for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, main water gas or electric meter and meter positions, cabling pipework, wiring conduit positions, service ducts/voids or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and easements are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and easements are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

- Fixed line denotes demise line for this Listed Building / Planning Application.
- New glass roof installed to rear area of coffee shop. Glass roof to have a fall to the rear with a rainwater gully connected to the existing drainage of the building.
- Double glazed glass roof
- Black powder coated Aluminum edge to be installed around pipework
- Extraction duct to be installed at high level on the ground floor and to rise up the rear of the building for extraction to the preparation area.
- External space open from ground floor upwards.

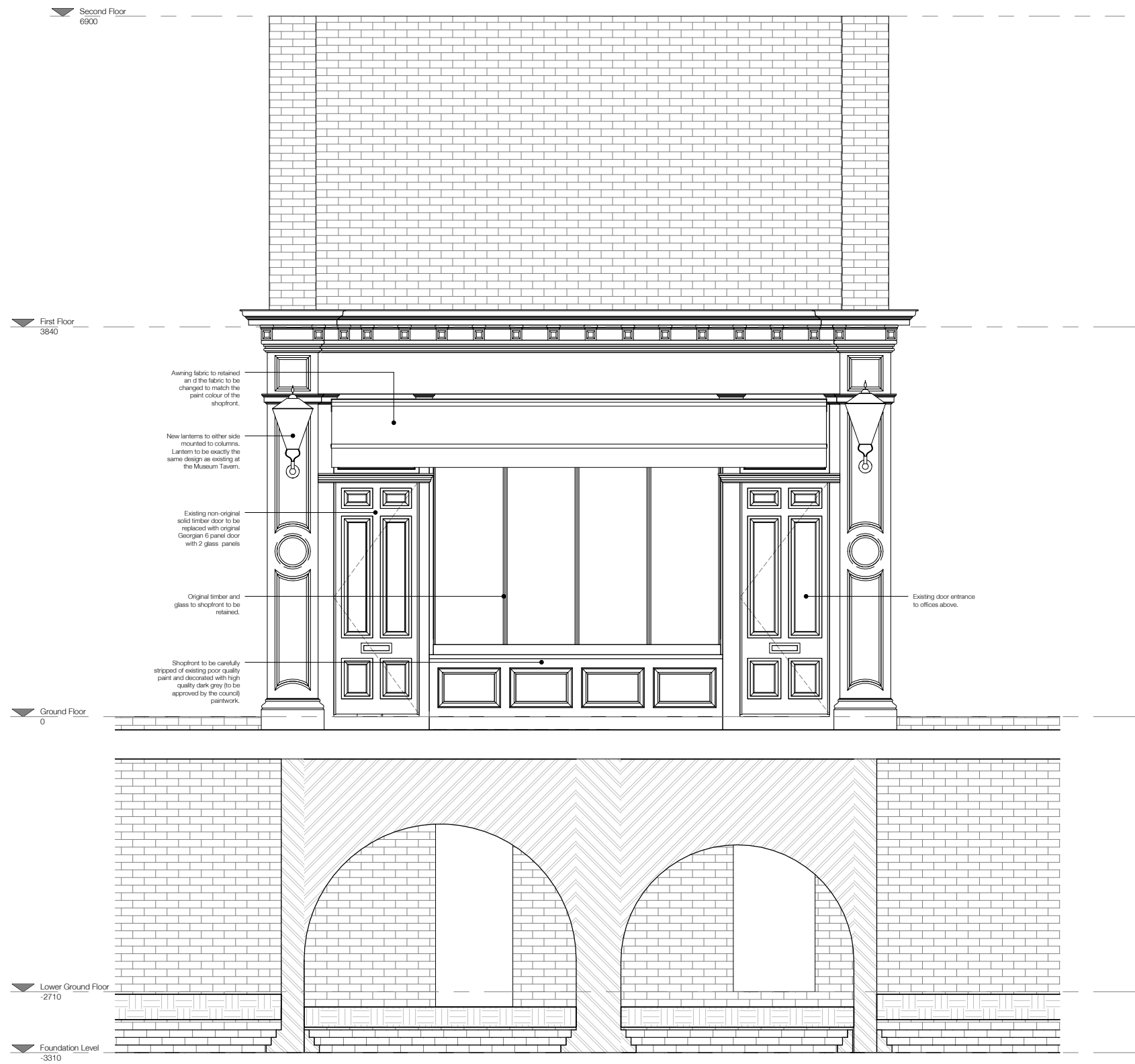
No.	Description	Date
1	Issue for comment	10/10/2023
2	Issue for comment	10/10/2023
3	Issue for comment	10/10/2023

PLANNING

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: First
Drawing: Plan
Scale: 1:25 @ A1, 1:50 @ A3
Drawing No: 011
Revision: C



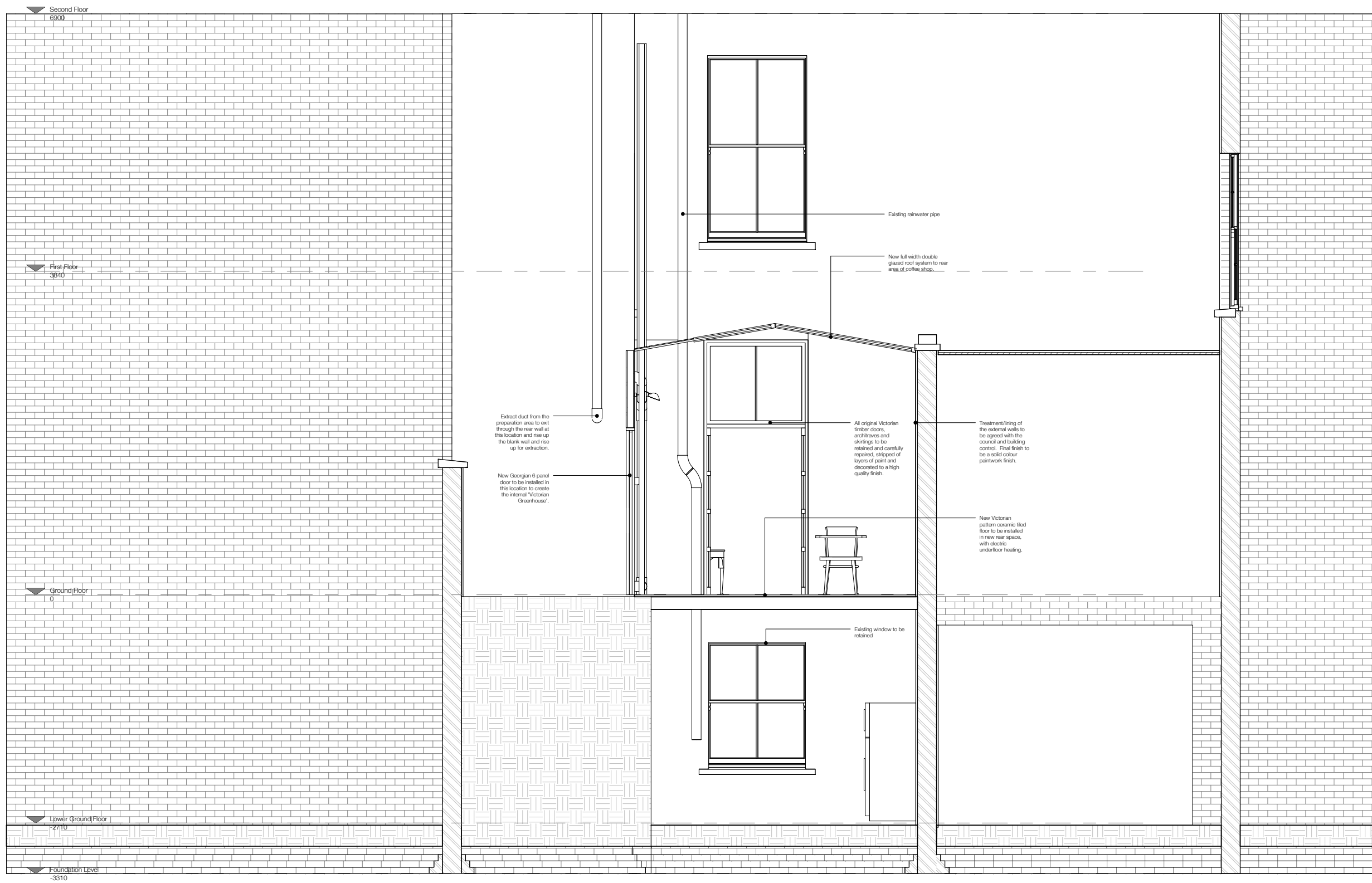
Architectural Information - The level of detail shown on the drawings is relative to the description of a PLANNING PERMITTED DEVELOPMENT APPLICATION.
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Dimensions and Setting Out - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is a planning application, the client / contractor will have directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control on an Approved Document L1B Completion of Full and Power.
Party Walled Development - Where there is a planning application, the client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning / comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications / audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, ceiling / pipework, wiring conduit positions, service ducts/membranes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.
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Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

TIM GREATREX
 ARCHITECT
 Third Floor, 22-27 The Oval, E2 9DT
 Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Elevation
 Scale: 1:25 @ A1, 1:50 @ A3
 Drawing No: 030
 Revision:

Architectural Information - The level of detail shown on the drawings is relative to the description of PLANNING PERMITTED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Costing, Contract or Construction) without subsequent checking / development by others.
Dimensions and Setting Out - All dimensions should be checked on site, see above.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is a PLANNING PERMITTED DEVELOPMENT application, the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Construction of Walls and Floors.
Planning Permitted Development - Where there is a PLANNING PERMITTED DEVELOPMENT application, the client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning / comfort cooling) are not to be taken as final. They are for information only and do not constitute a design. For all services, the contractor is to liaise with the relevant service providers to confirm the positions, service ductwork and access levels for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
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No.	Description	Date

PLANNING

Notes:
 1. Do not build from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Elevation
 Scale: 1:25 @ A1, 1:50 @ A3
 Drawing No: 031
 Revision: A

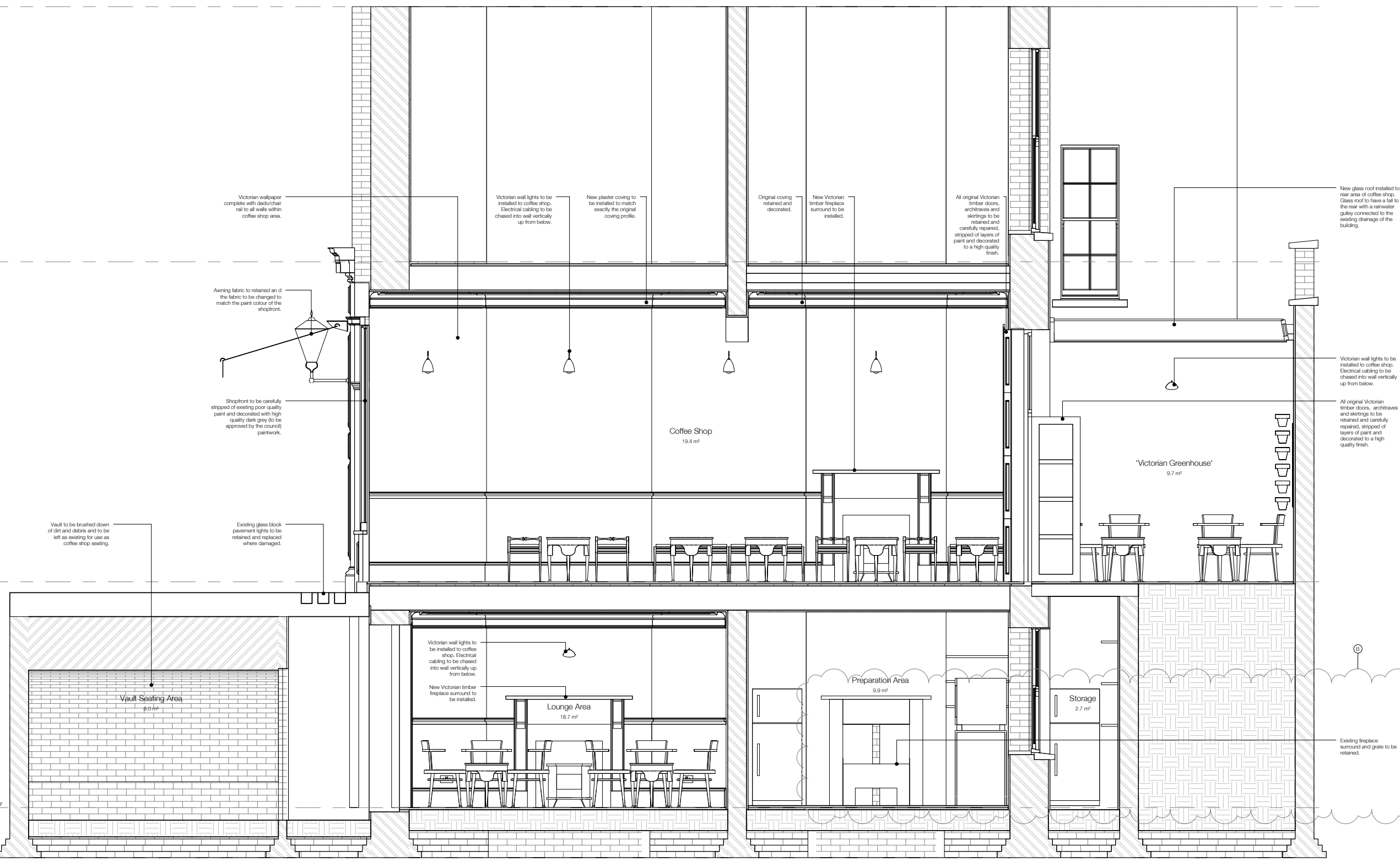
Second Floor
6900

First Floor
3840

Ground Floor
0

Lower Ground Floor
-2710

Foundation Level
-3310



Architectural Information - The level of detail shown on the drawings is relative to the description of a PLANNING/PROPOSED DEVELOPMENT APPLICATION.
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Building Control - Where there is a planning application, the client/the contractor will ensure that the project is completed in accordance with the Building Regulations. Clearing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Full and Power.
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Victorian wallpaper complete with dado chair rail to all walls within coffee shop area.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

New plaster coving to be installed to match exactly the original coving profile.

Original coving retained and decorated.

New Victorian timber fireplace surround to be installed.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

New glass roof installed to rear area of coffee shop. Glass roof to have a fall to the rear with a rainwater gully connected to the existing drainage of the building.

Awning fabric to be retained and the fabric to be changed to match the paint colour of the shopfront.

Shopfront to be carefully stripped of existing poor quality paint and decorated with high quality dark grey (to be approved by the council) paintwork.

Vault to be brushed down of dirt and debris and to be left as existing for use as coffee shop seating.

Existing glass block pavement lights to be retained and replaced where damaged.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

Vault Seating Area
8.0 m²

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

New Victorian timber fireplace surround to be installed.

Lounge Area
18.7 m²

Preparation Area
9.9 m²

Storage
2.7 m²

Existing fireplace surround and grate to be retained.

No.	Description	Date

PLANNING

Notes:
 1. To be made from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
 ARCHITECT
 Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Section
 Scale: 1:25 @ A1, 1:50 @ A3
 Drawing No: 040
 Revision: B

Second Floor
6900

First Floor
3840

Ground Floor
0

Lower Ground Floor
-2710

Foundation Level
-3310



New glass roof installed to rear area of coffee shop. Glass roof to have a fall to the rear with a rainwater gully connected to the existing drainage of the building.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

Original coving retained and decorated.

Existing door, frame and architrave to be retained but remain closed. Timber panelling to be installed within coffee shop and finished with wallpaper to match the surrounding walls.

New plaster coving to be installed to match exactly the original coving profile.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

Victorian wallpaper complete with chair rail to all walls with coffee shop area.

Awning fabric to be retained and the fabric to be changed to match the paint colour of the shopfront.

Shopfront to be carefully stripped of existing poor quality paint and decorated with high quality dark grey (to be approved by the council) paintwork.

All electric fixtures (sockets and switches) and cabling to be surface mounted where possible. Cabling to be contained within surface mounted trunking.

Vault to be brushed down of dirt and debris and to be left as existing for use as coffee shop storage.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

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Archaeological & Ecological - The client will ensure that any notices and easements are obtained before work commences.
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No.	Description	Date

PLANNING

Notes:
1. To be made from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
ARCHITECT
Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: n/a
Drawing: Section
Scale: 1:25 @ A1, 1:50 @ A3
Drawing No: 041
Revision: A



055 Proposed Facade External View

NTS

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Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, comfort cooling, air extract installations, entry phone systems, intruder alarm systems, telecommunications audio or TV systems including satellite or cable, boiler/water control or meter flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, ceiling placement, wiring conduit positions, service ducts/terminals or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.
Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in order where information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. All drawings from this drawing set onwards to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 055
 Revision: A



056 Proposed Coffee Shop Internal View

NTS

Architectural Information - The level of detail shown on the drawings is relative to the completion of a PLANNING/PERMITTED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract, or Construction) without subsequent checking/development by others.
Dimensions and Setting Out - Should be checked on site, see above.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is an on-going Architect's appointment the client/the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control on an Approved Drawing List/Completion of Full and Power.
Planning/Permitted Development - Where there is an on-going Architect's appointment: The client/the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, comfort cooling, air extract installations, entry phone systems, intruder alarm systems, telecommunications, audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, ceiling placement, wiring conduit positions, service ducts/membranes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and easements are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and easements are obtained before work commences.
Existing Information - A specialist measured/topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters of priority that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date
1	Issue for approval	20/10/2024
2	Issue for construction	20/10/2024

PLANNING

Notes:
 1. All levels from the drawing are shown to be finished or site by the contractor unless otherwise stated.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 056
 Revision: B



057 Proposed Victorian Greenhouse View

NTS

Architectural Information - The level of detail shown on the drawings is relative to the description of a PLANNING/PROPOSED DEVELOPMENT.
DISCLAIMER - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking/development by others.
Dimensions and Building Out - should be checked on site, use above.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is not an on-going Architect's appointment the client/the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Construction of Walls and Floors.
Planning/Permitted Development - Where there is not an on-going Architect's appointment: The client/the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications outlets or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling elements, wiring conduit positions, service ducts/membranes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents are obtained before work commences.
Existing Information - A specialist measured/topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date
1	Issue for approval by the client	20/10/2024
2	Issue for approval by the client	20/10/2024

PLANNING

Notes:
 1. All work shall be in accordance with the Building Regulations unless otherwise stated.
 2. The client is responsible for obtaining all necessary permissions and consents.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 057
 Revision: B



058 Proposed Lounge Internal View

NTS

Architectural Information - The level of detail shown on the drawings is relative to the completion of a PLANNING/PERMITTED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking/development by others.
Dimensions and Building Out - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is not an on-going Architect's appointment the client or contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Client/Architects will need to be negotiated with Building Control on any Approved Document/Full Completion of Full and Power.
Planning/Permitted Development - Where there is not an on-going Architect's appointment: The client or contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications outlets or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling equipment, wiring conduit positions, service ducts/trunkings or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents are obtained before work commences.
Existing Information - A specialist measured/topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. Do not scale from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.
TIM GREATREX
 ARCHITECT
 Third Floor, 22-27 The Oval, E2 9DT
 Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 058
 Revision: