
47 DOUGHTY STREET, W1CN 2LW

DESIGN & ACCESS STATEMENT

19.02.2016



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1 Introduction

Introduction

1.1 The Project

TG-Studio have been appointed to submit Planning and Listed Building Consent applications seeking permission for the: Additions and internal and external alterations including rear extension at basement level, replacement of rear extension at ground floor level and rebuilding with increased height and depth of the rear closet wing.

The proposal involves the demolition of the existing conservatory at the rear and the erection of a new, modern and lightweight ground floor extension. It is proposed to partly demolish the existing 1930s closet wing and erect a new closet wing, with increased height and depth, to match no. 46's extension in size and scale.

Minor internal alterations throughout the house are also proposed. Most recently, planning permission was granted for the erection of a glazed rear extension at ground floor level to replace an existing earlier extension and minor internal alterations (Approval 2014/1345/P).

All the proposed works will be detailed in this statement.

This Design and Access statement is to be read in conjunction with the following supporting documents:

- Heritage Statement by Heritage Collective Ltd.
- Archaeological Desk-Based Assessment by Archaeology Collective Ltd.
- Basement Impact Assessment by Eastwood & Partners Ltd.
- Construction Management Plan by Kias Services Ltd.

2 Doughty Street – The Site

Doughty Street

2.1 Site location and context

No. 47 Doughty Street is located mid-way along a row of late Georgian terrace houses. The property is comprised of 5 storeys including a basement and dormered mansard.

The terrace is located towards the southern end of Doughty Street in Bloomsbury, in close proximity to Grays Inn Road and is a very good example of a uniform terraced street of the period. The house is Grade II listed. The property sits next to the near-identical Dickens House museum at no's 48 & 49.

The closet wing was rebuilt in the 1930s and there was a covered wine store at basement level where the current light well is located. In addition, partitions within the main body of the building have been removed and altered throughout the 20th century.

The property is within the jurisdiction of London Borough of Camden and the development proposals are subject to the provisions of the Camden Core Strategy (2010-2015) and Camden Development Policies 2010.

The property is located in Holborn within the Covent Garden Ward and also falls within the Bloomsbury Conservation Area.

2.2 Archaeology

TG Studio engaged Archaeology Collective to perform a desk-based assessment of the site and its surroundings. The findings of this report concluded that the potential of finding any pre-historic remains on the site were low. There is however a high probability of finding re-used stone walling of medieval origin within the pavement vaults.

On the basis of the available evidence, it is advised that any further work could be adequately dealt with by the imposition of a watching brief, to be carried out to identify the extent of previous disturbance and the survival of possible archaeological deposits. Due to the extent of previous disturbance across the application site, it is unlikely that any archaeological remains present would survive in a condition worthy of preservation in-situ and consequently this work can be safely secured by a suitably worded condition attached to the consented application.



 Site within red boundaries
47 Doughty Street, WC1N 2LW



Doughty Street

2.3 Planning history

The planning history dates back to 1988. The relevant applications are set out below.

2014/1345/P

Erection of glazed rear extension at ground floor level following demolition of existing ground floor rear extension to single dwelling house. Granted **06-05-2014**.

2010/0482/L

External and internal alterations, including erection of glazed rear extension at ground floor level following demolition of existing ground floor rear extension and minor internal alterations to single dwelling house (Class C3). Granted **20-04-2010**.

2010/0474/P

Erection of glazed rear extension at ground floor level following demolition of existing ground floor rear extension to single dwelling house (Class C3).Granted **20-04-2010**.

2007/1833/L

Works associated with the erection of a replacement conservatory at ground floor rear elevation following the removal of the existing, the replacement of windows, the installation of two rooflights and various internal alterations. Granted **28-06-2007**.

2007/1831/P

Alterations to the dwelling (Class C3 Use) including the erection of a replacement conservatory at rear ground floor level following the removal of the existing, the replacement of windows and the installation of two rooflights. Granted **28-06-2007**.

LS9704454

Submission of details of new doors, pergola, walkway, roof treatment and external landscaping pursuant to additional condition 3 (b) & (c) of listed building consent granted on the 20th February 1997 (Reg.No.LS9604342), as shown on drawing numbers AV05 and AD/22, 23, 24, 25, 26, 27, 29, 30, 32, 33, 34, 35, 36 & 37. Granted **17-07-1997**.

LS9604342

Internal alterations and amendments to rear extension, as shown on drawing Nos: 9644/SV01, SV05, AL01, AV05, AV06. Granted **20-02-1997**.

8870041

Works of alteration and restoration including demolition of outhouse and vault as shown on drawings numbered 354/11A 12A 13B 14A 15A 16A and 17A.Granted **04-05-1988**.

3 Existing drawings & photographs

Existing drawings & photographs

3.1 Exterior photographs



Front view of no. 47 Doughty St.



Rear extension of no.47 Doughty St.



Rear ground floor extension of no. 47.



Rear ground floor extension of no. 47.



Rear wall of the historical building of no. 47.



Rear view of no. 47 Doughty St.

Existing drawings & photographs

3.1 Exterior photographs



View of the rear extension of no. 46 Doughty St.



View of the rear extension of the Dickens Museum at no. 48 & 49 Doughty St.



View of the ground floor extension to no. 47 Doughty St.



View of the light well to the rear of no. 47 Doughty St.



View of the rear patio of no. 47.

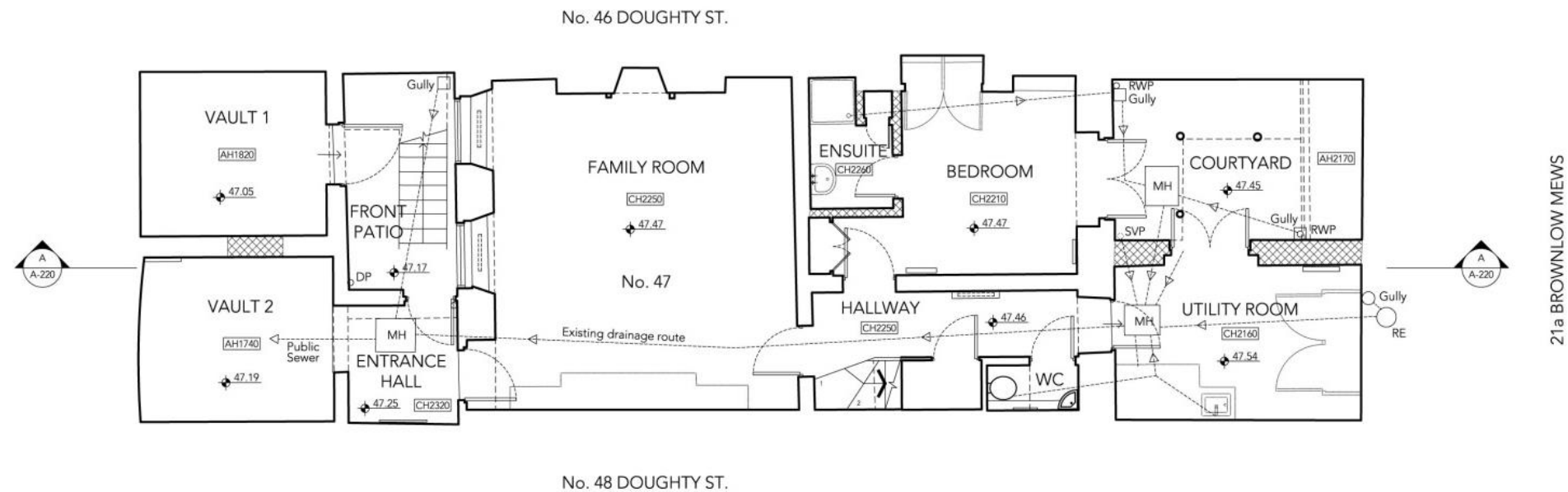
3.2 Existing basement plan

The plan of the basement is largely intact with the exception of a modern en-suite to the rear bedroom. There have been minor alterations to the rear light well involving the installation of modern single glazed patio doors.

There are two existing vaults under the pavement.

There is a non original screed floor to the pavement vaults and the entrance hall. There is non original brick paving throughout which is covered by vinyl in the front room and carpet in the bedroom.

The basement retains replica timber sash windows to the front. The architraves, door frames and door leafs throughout are approximations of the period details. The basement’s skirting is not original. There are no cornices or mouldings at basement level. The staircase and under stairs cupboards are historic.



Existing & demolition basement plan

LEGEND	
	Existing structures
	Structures to be demolished

3.3 Existing basement photographs



Basement stair to ground floor level.



Basement stair & balustrade detail.



Basement hallway.



Basement front room.



Basement rear room's en-suite shower room.



Pavement vault.



View from basement rear room towards courtyard.



Basement rear room.

3.4 Existing ground floor plan

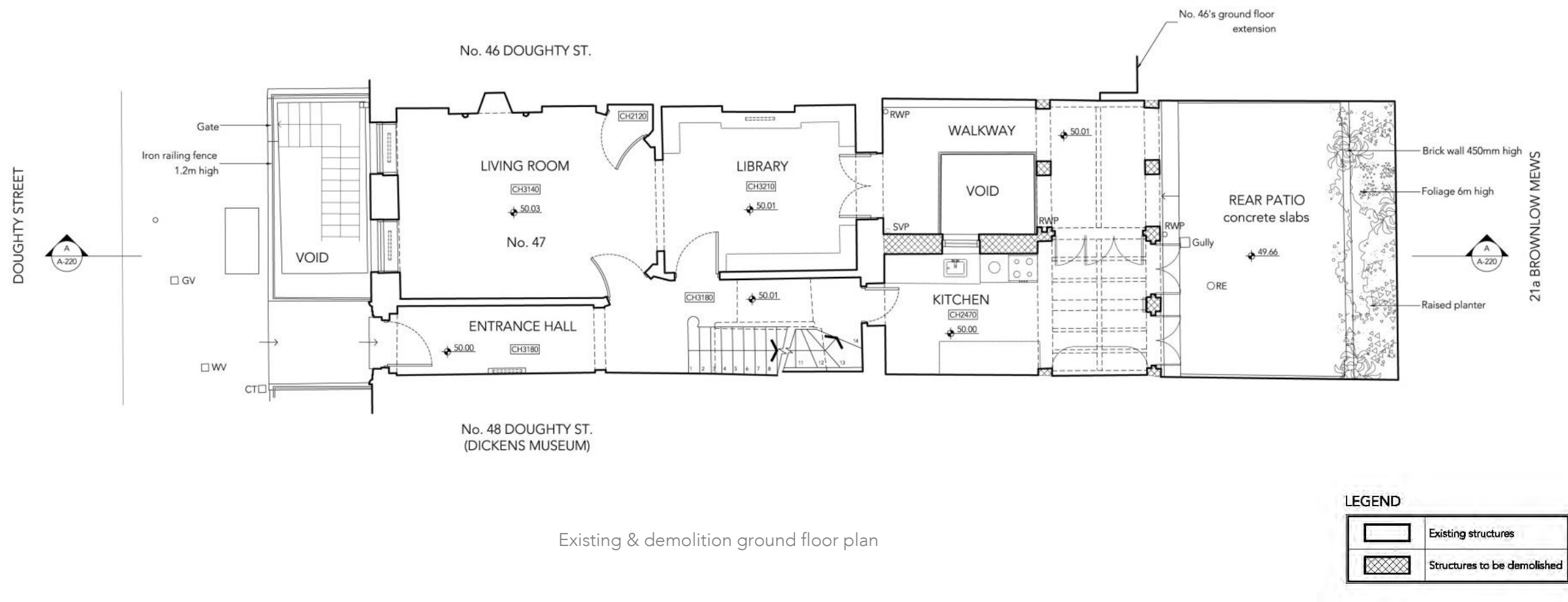
At ground floor level the traditional entrance hall as well as the layout of the front and rear room is retained enhancing the historical plan. There is an existing conservatory extension to the rear of the property.

There is modern timber flooring throughout the front and rear rooms which has been covered by carpet. Original stone flooring in the entrance hall and kitchen has been removed and replaced by vinyl flooring on plywood sustrate.

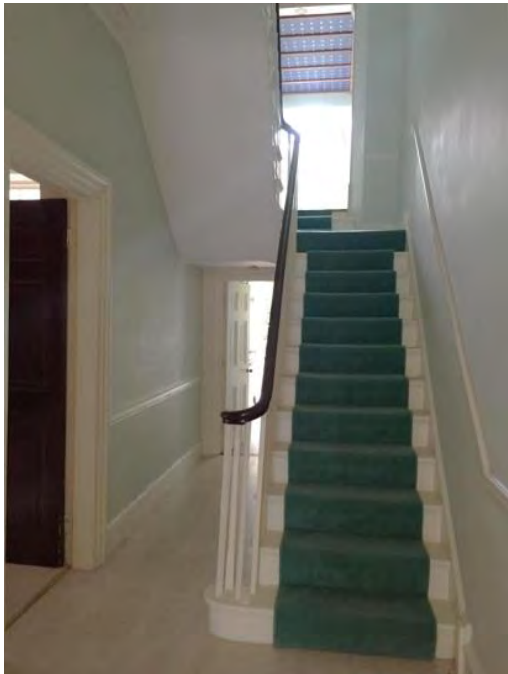
The ground floor retains replica timber sash windows (replaced in the 1980s) to the front of the property. Shutters and shutter boxes appear to be original. The glazed door to the rear of the house retain the original door frame and architrave.

The curved doors in the front room are likely to be original.

The fireplace is a modern replica. The cornices throughout this floor appear to be approximations of the period items.



3.5 Existing ground floor photographs



Ground floor hallway and stair to first floor.



Ground floor hallway towards the entrance door.



Main entrance door.



Ground floor front room.



Ground floor front room.



Existing modern timber flooring in the front room.



Existing vinyl flooring on plywood substrate in the entrance hallway.



Ground floor front room towards the rear room.



Ground floor rear room.

3.6 Existing first floor plan

At first floor level the plan of the front and rear room is retained enhancing the historical layout. There is historic timber flooring throughout.

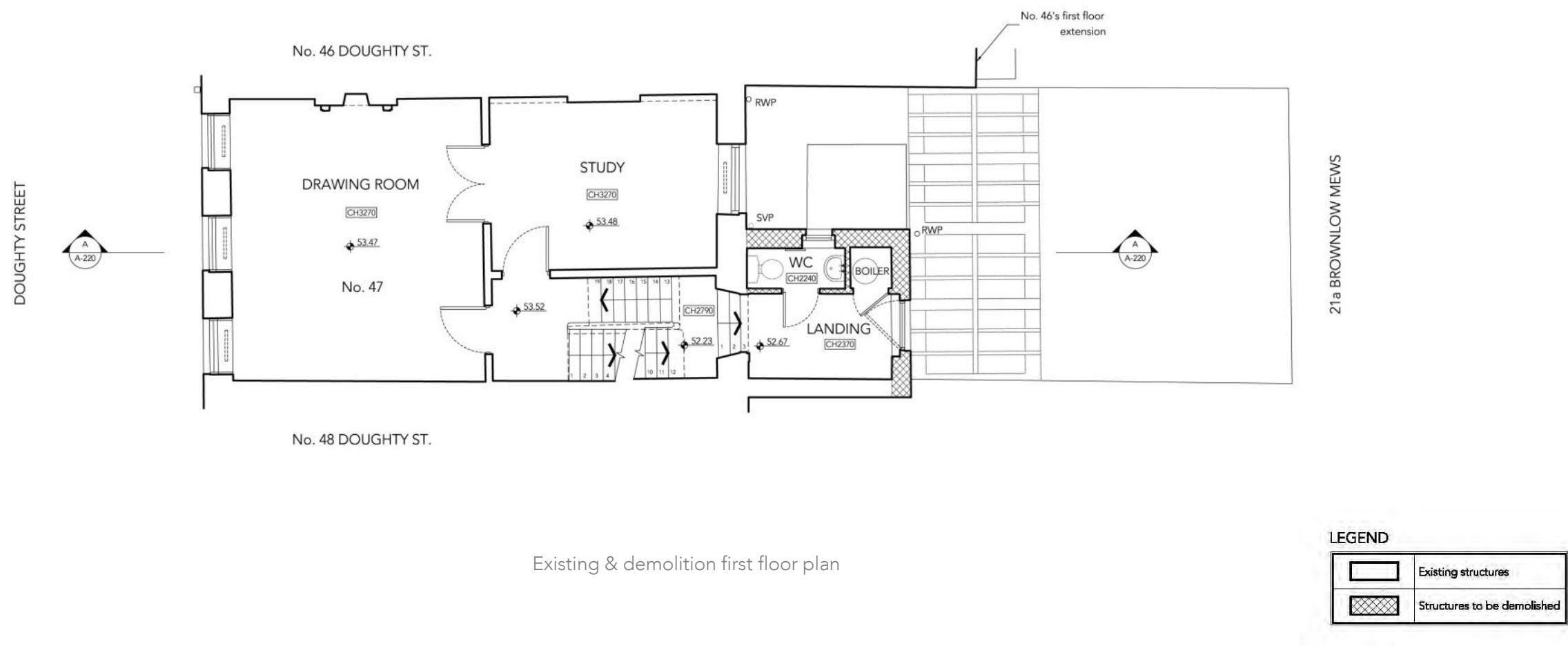
The first floor level retains replica timber sash windows (replaced in the 1980s) to the front and rear of the property, with original shutters and shutter boxes surviving.

The doors to the front and rear rooms on this level are original features with frames and architraves surviving.

The fireplace to the front room is a historical feature of interest.

The ceiling plasterwork in the rear room appears to be original.

In the front room, the plasterwork is a modern replica.



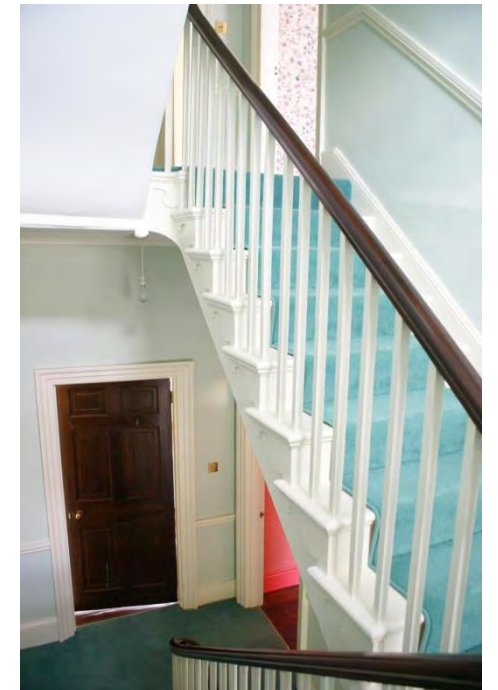
3.7 Existing first floor photographs



First floor front room.



First floor front room.



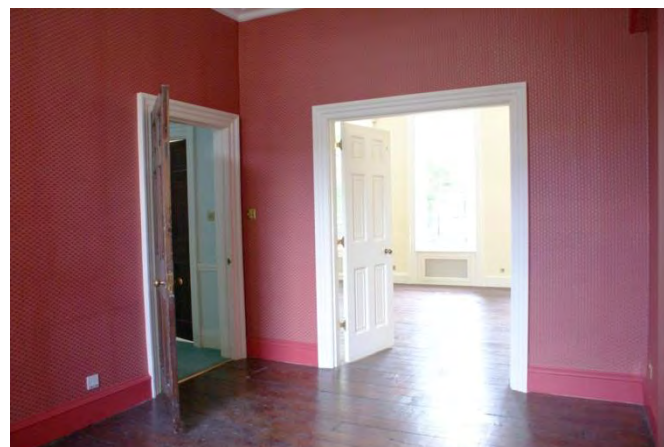
First floor staircase.



First floor front room fireplace.



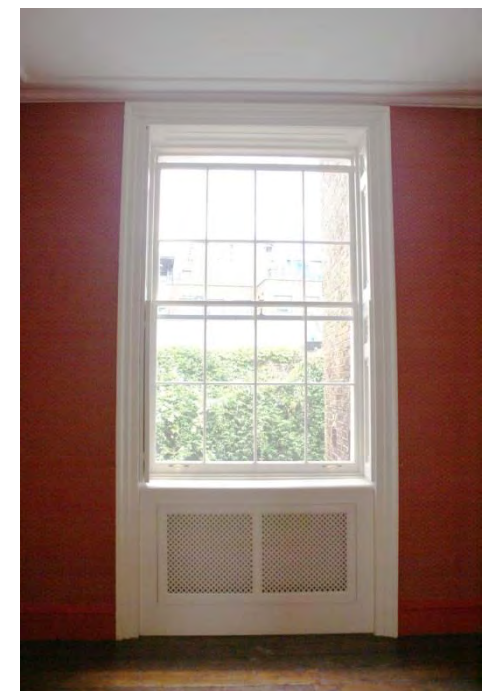
First floor front room cornice detail.



First floor rear room.



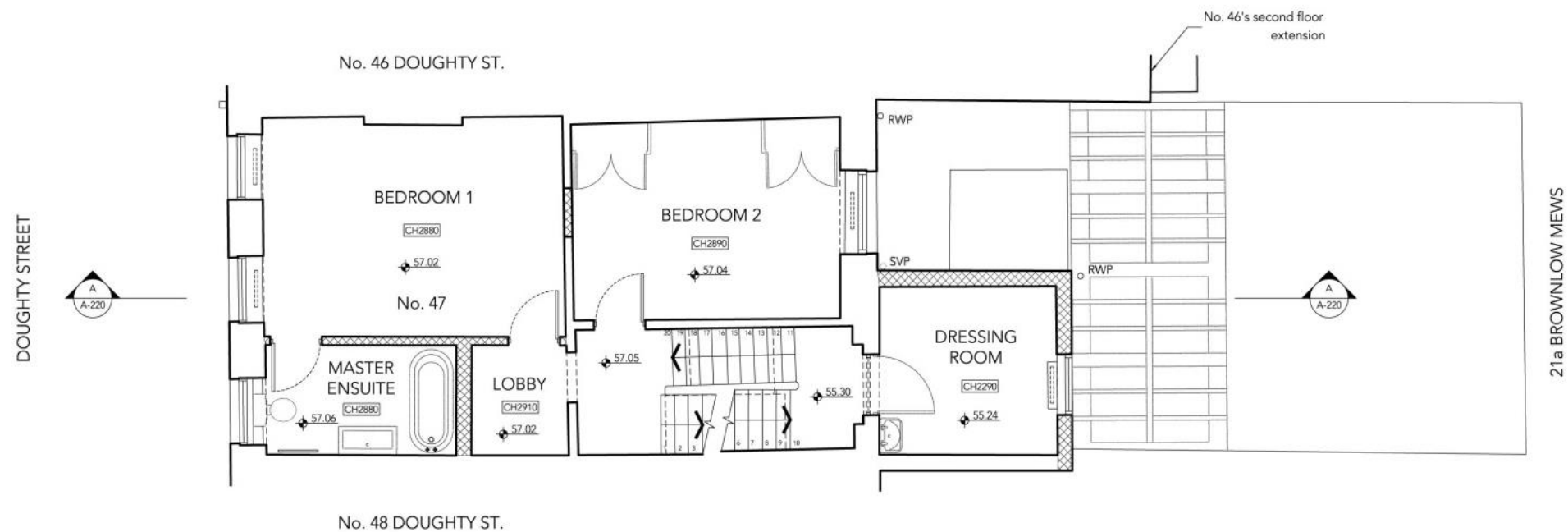
First floor rear room cornice detail.



First floor rear room window detail.

3.8 Existing second floor plan

At second floor level, the plan is mainly intact with the exception of the en-suite bathroom. Initially constructed as a bedroom in 1934, it was converted in the 1990's for use as a bathroom. The second floor retains replica timber sash windows to the front and rear of the property with the original shutters surviving including the frames and architraves. All internal doors are modern replicas. The ceiling plasterwork to the rear room is approximation of the period detail. The front room appears to have had a lowered ceiling installed and contains no cornicing. The fireplace in the front room has been sealed.



Existing & demolition second floor plan

LEGEND

	Existing structures
	Structures to be demolished

3.9 Existing second floor photographs



Second floor front room.



Second floor front room with view towards en-suite bathroom.



Second floor staircase.



Second floor front room's en-suite bathroom.



Second floor rear room.



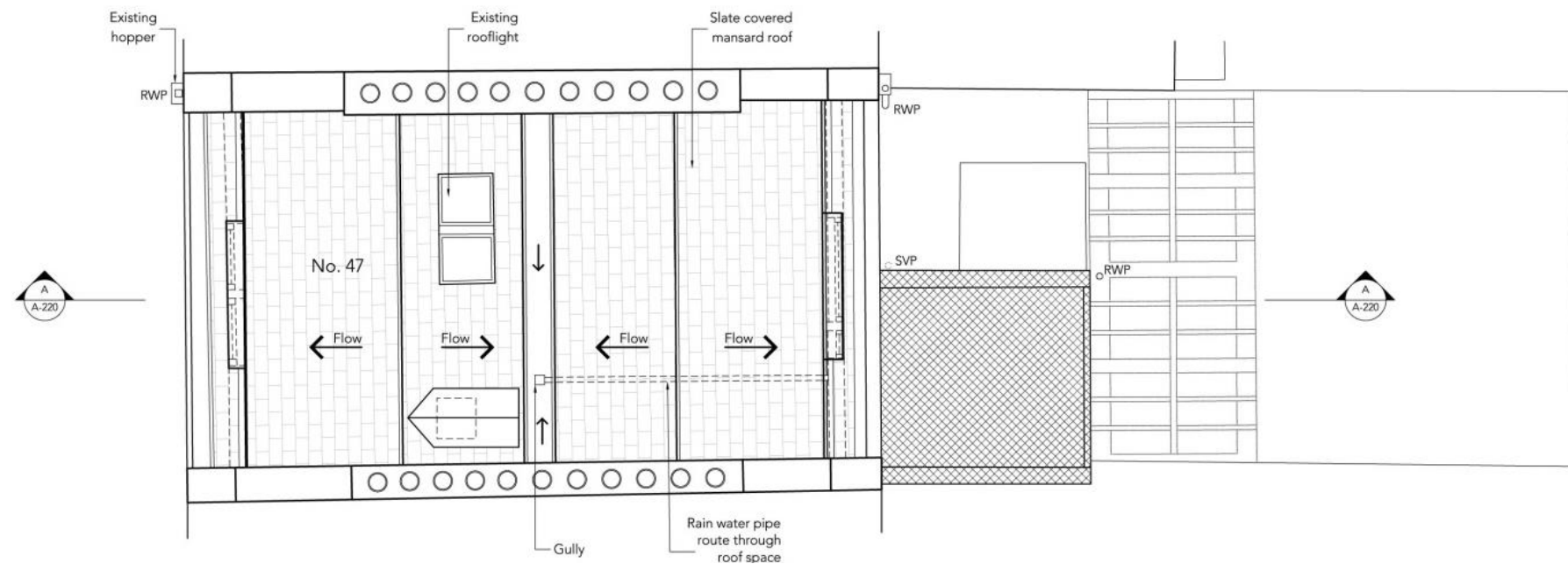
Second floor rear room.

3.10 Existing third floor & roof plan

The third floor plan has been partly altered over time by insertion of new partitions. The bathroom's ceiling has been partly opened and a roof light has been installed. Timber flooring has been covered with carpet in the bedrooms, bathroom & laundry space. There are modern timber framed hinged windows to the front and rear dormers and no original features remain. In the roof level there is an existing wooden hatch leading from the loft space into the roof. The mansard roof is covered with slate.



Existing & demolition third floor plan



Existing & demolition roof plan

LEGEND	
	Existing structures
	Structures to be demolished

3.11 Existing third floor photographs



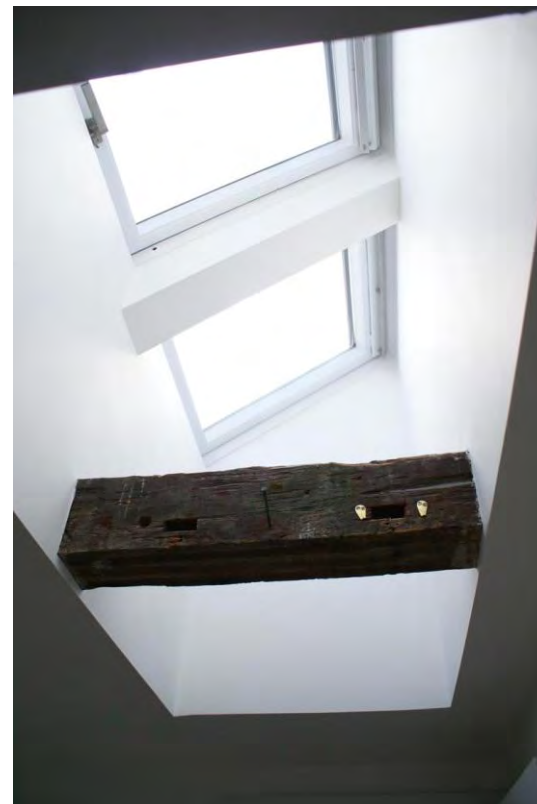
Third floor rear bedroom.



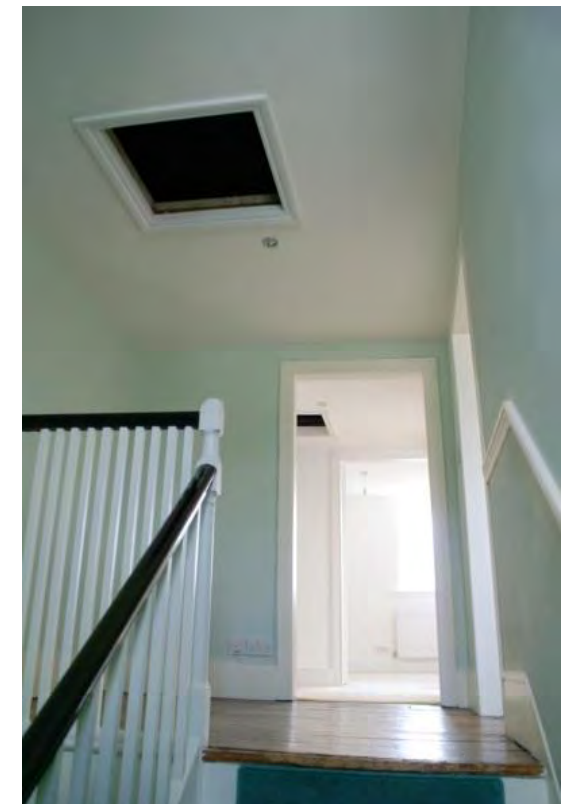
Third floor front bedroom 4 viewing towards bedroom 3.



Third floor bathroom.



Third floor bathroom roof light.



Third floor landing with access hatch to the loft space.

3.12 Existing front elevation



Existing front elevation

3.13 Existing rear elevation



Existing rear elevation

3.14 Existing section



Existing section

4 Approved application (ref. 2014/1345/P)

Approved application (ref. 2014/1345/P)

4.1 Approved floor plans

Permission was granted in 2014 to lower the existing pavement vault floors for use as a wine storage area in addition to minor internal rearrangements and the enclosure of the rear courtyard to form an additional bedroom in the basement.

At ground floor level, approval for a larger, simplified extension to infill the existing light well was granted.

Full width sliding glass doors opening on the terrace were also approved on this level.

There were no significant alterations proposed to the first floor level.

On the second floor level the approved alterations included the removal of the existing ensuite at the front of the property and the installation of a new bathroom and walk-in closet at the rear, linking to the new master bedroom.

At the third floor level it was proposed to remove a non original partition, increasing the floor space of the front bedroom.

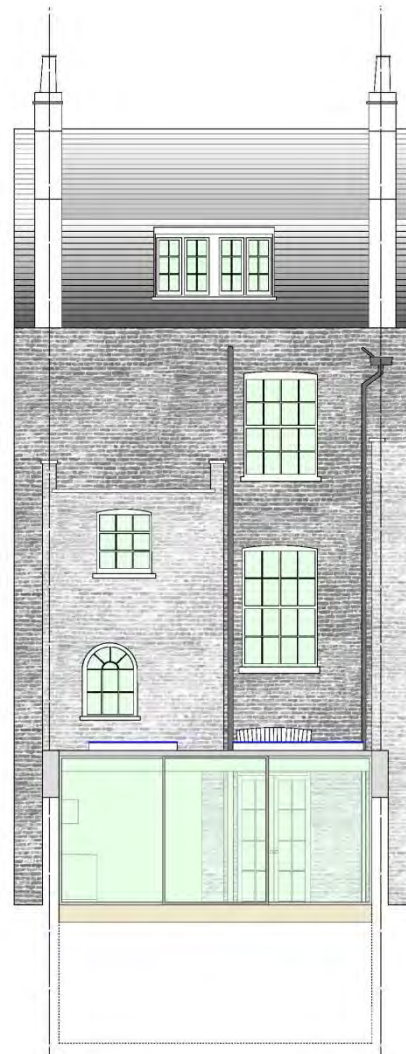
This application was granted permission on 06-05-2014.



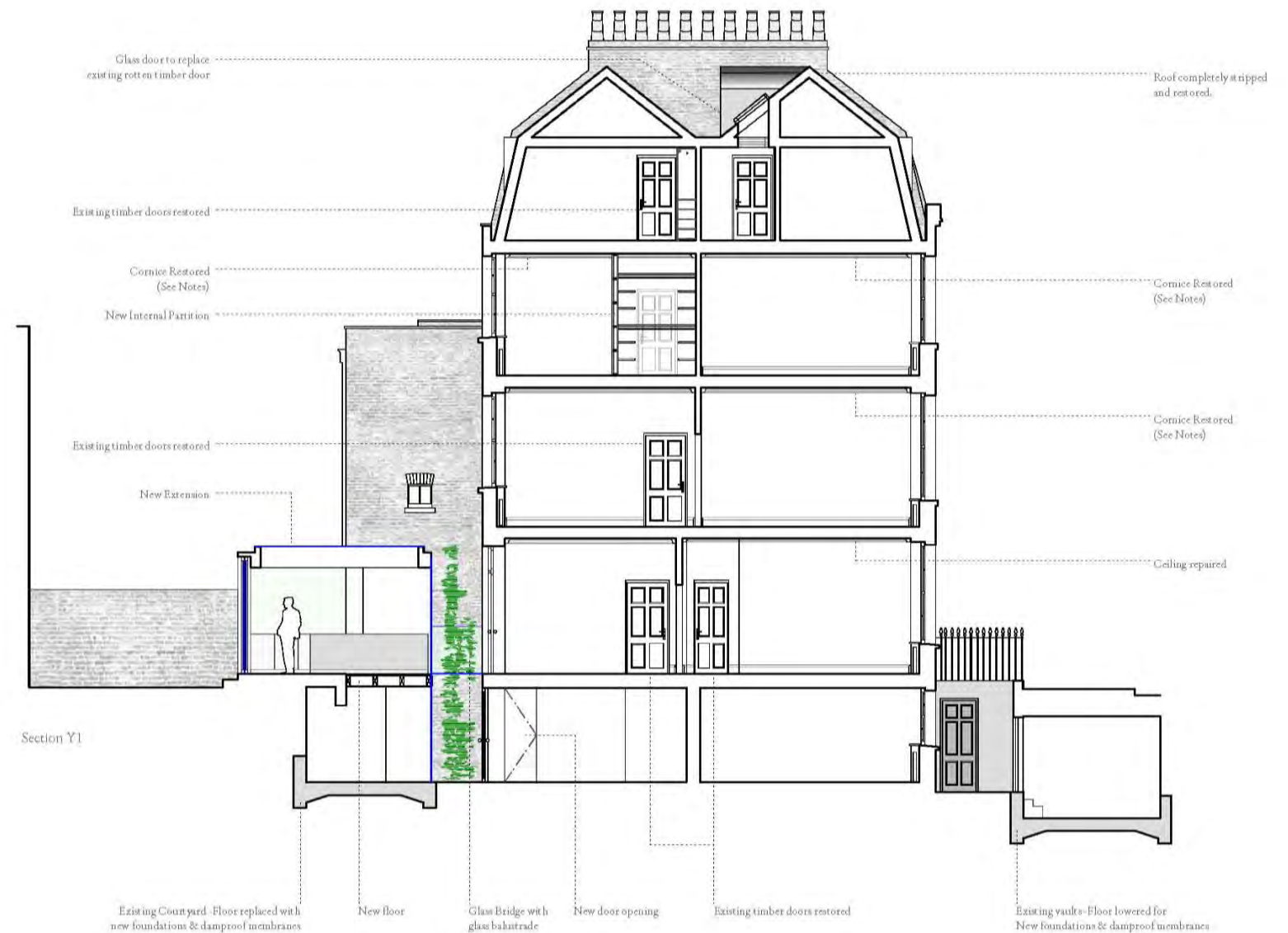
Approved floor plans for no. 47 Doughty St.
of planning permission ref. 2014/1345/P.

Approved application (ref. 2014/1345/P)

4.2 Approved elevation and section



Approved rear elevation
Planning permission ref. 2014/1345/P



Approved section
Planning permission ref. 2014/1345/P

5 Design proposal

Design proposal

5.1 Proposed Basement Plan

At the basement level it is proposed to lower the floor of the existing pavement vaults, in line with the previously approved application (ref. 2014/1345/P). New foundations are proposed as well as tanking for waterproofing. The vaults are to be linked via a new doorway. A new utility room is proposed in the space as well as a storage room which will house a boiler. A vent for the boiler into the front patio is proposed.

The form and layout of the basement floor mainly remains as existing with the exception of removing the non original partitions which form the en-suite shower room. The rear room of the original building is proposed to be divided into two separate rooms serving as a shower room and storage. The existing WC under the stair is to be retained.

The rear part of the basement is proposed to be extended across the rear patio with the floor lowered and tanked for waterproofing. The new basement extension has been moved away from the original building, in order to fully retain the existing rear wall of the host building.

To further enhance the sense of separation between the original building and the new basement extension, an external courtyard adjacent to the original rear wall of the host building is proposed. The floor level of the courtyard is proposed to be the same as the new rear extension. The proposed scheme ensures that the existing footplate and structure of the listed building are not directly affected by the proposals.

A new cast iron balustrade will be installed to the existing glazed doors in the rear room.

The plan form of the basement reinforces the layout of the upper floors by introducing a footprint of the closet wing in the form of a lightweight partition.

Existing timber sash window joinery to the front and rear elevations are to be refurbished and re-painted.



Design proposal

5.1 Proposed Architectural Features to Basement

FIREPLACE

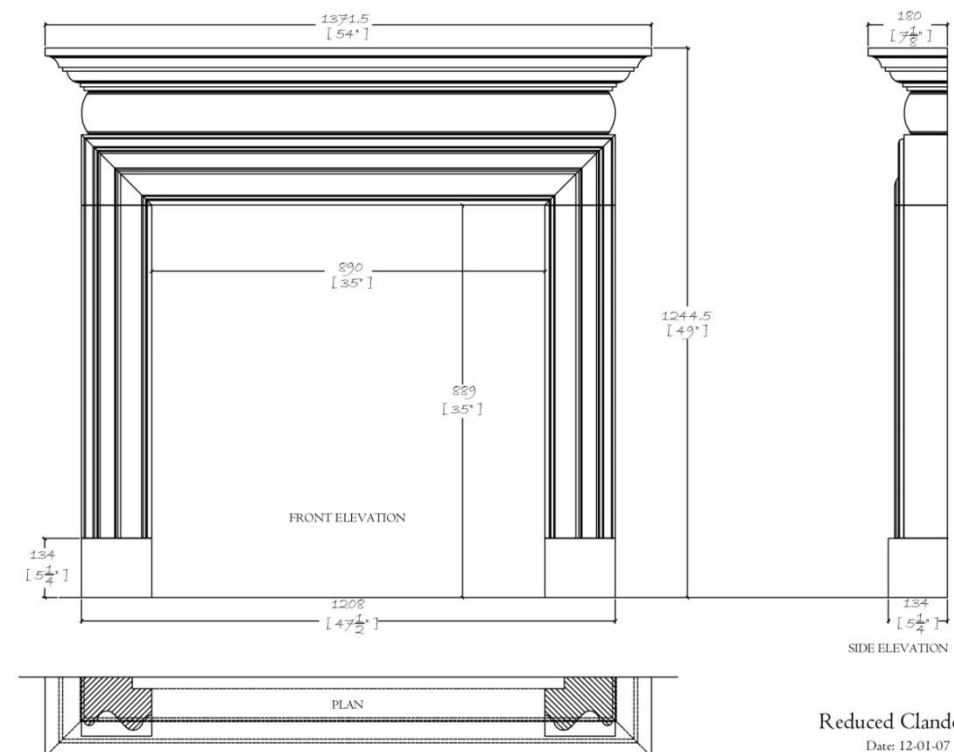
A new fireplace surround with new grating and hearth is proposed to the front room. The proposed fireplace is a Reduced Clandon Bolection model from Chesney's and is authentic to the age of the building. It is curved in limestone and based on a design from the early 18th century.



Existing fireplace to the front room to be replaced.



Proposed fireplace - Reduced Clandon Bolection from Chesney's.



Reduced Clandon Bolection
Date: 12-01-07 Scale 1:10
DRAWING NO.12653rI

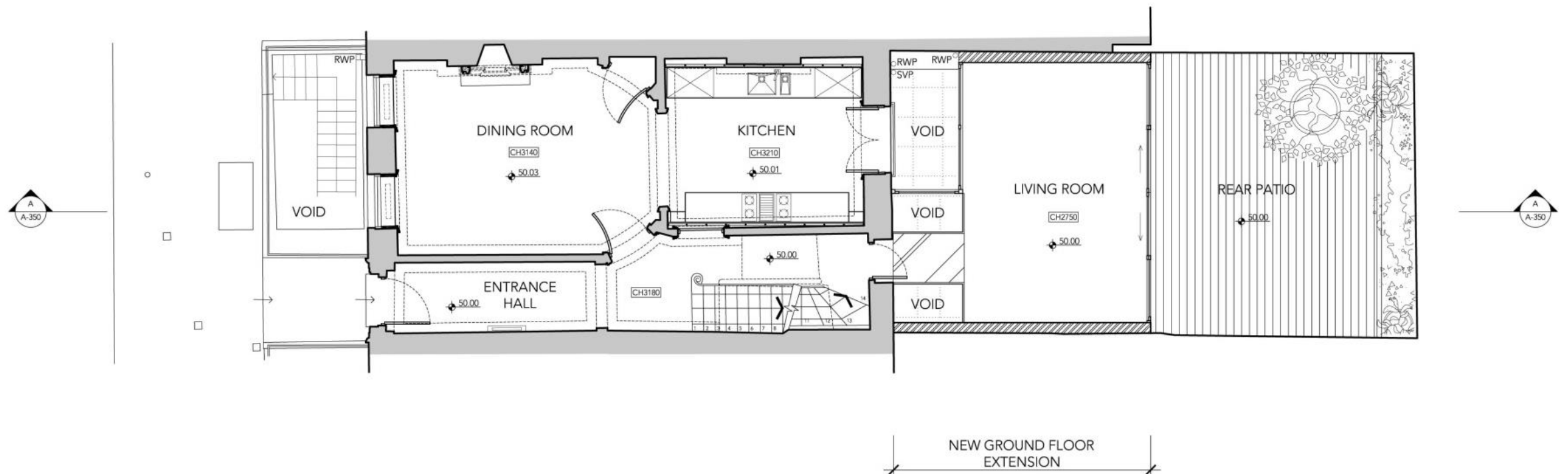
Design proposal

5.2 Proposed Ground Floor Plan

At ground floor level the traditional plan of the property is retained enhancing the historical layout. It is proposed to locate the kitchen in the rear room of the historical building. The existing conservatory is to be replaced with a new, modern extension with full width aluminium framed, double glazed sliding doors leading to the rear patio. The external courtyard at basement level continues up to the ground floor level enhancing the sense of separation between the host building and the new extension. A new cast iron balustrade will be installed to the existing glazed doors to the proposed kitchen. A glass bridge with voids on both sides overlooking the basement will link the host building with the new extension.

Existing timber sash window joinery throughout including shutters is to be retained, refurbished and re-painted.

The curved doors are to be retained, refurbished and re-painted. The door between the hallway and the proposed kitchen is to be closed shut and boarded over as a reversible alteration. This will ensure that no harm will be made to the door leaf, frame and architrave (refer to dwg. no A-343 for detail).



Proposed ground floor plan

Design proposal

5.2 Proposed Architectural Features to Ground Floor

FIREPLACE

A new fireplace surround with new grating and hearth is proposed to the front room. The proposed fireplace is the Laverton model from Chesney's and is authentic to the age of the building.

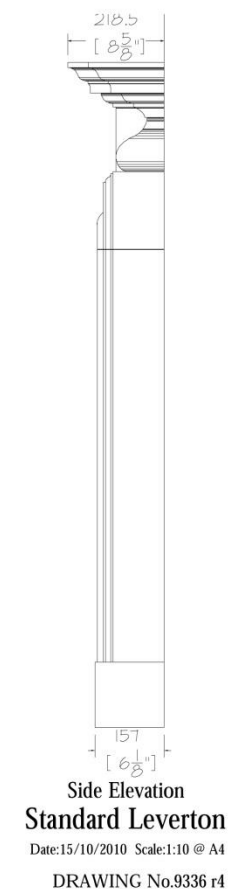
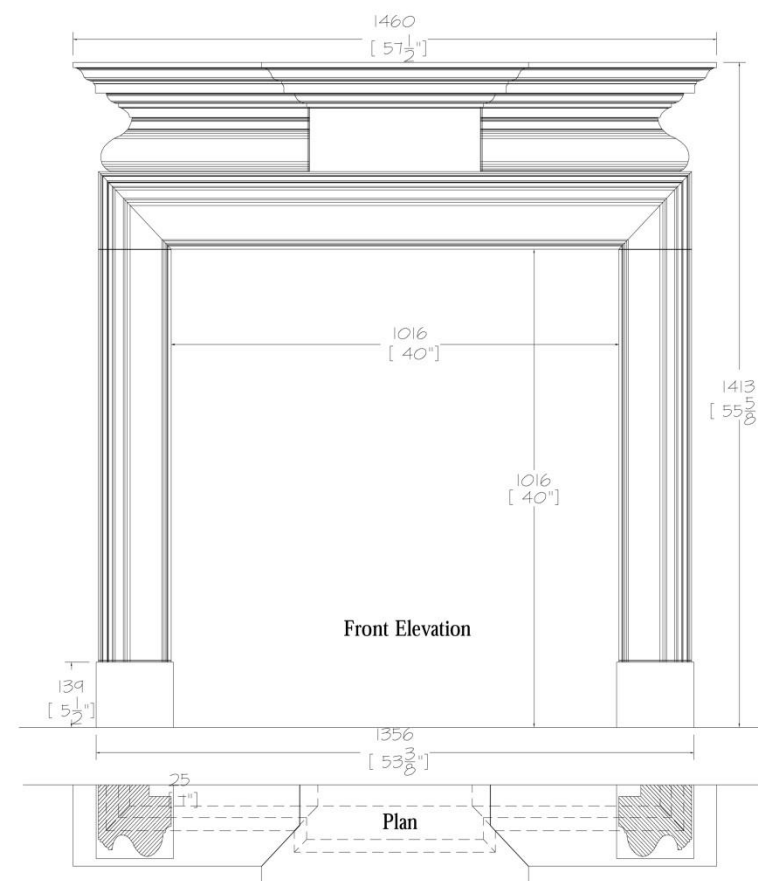
"A mid 18th century chimneypiece is in statuary marble with breakfront corniced shelf and incorporating a bolection moulding framing the aperture beneath a semi barrel frieze with plain projecting centre tablet."



Existing fireplace to the front room to be replaced.



Proposed fireplace - The Laverton from Chesney's.



CHESNEY'S

Head Office: 194-202 Battersea Park Road, Battersea, London SW11 4ND
Telephone: 020 7627 1410 Fax: 020 7622 1078
Web Site: www.chesneys.co.uk

Design proposal

5.2 Proposed Architectural Features to Ground Floor

PLASTERWORK

Cornices to the front and rear room are proposed to be replaced with the new features authentic to the age of the building.

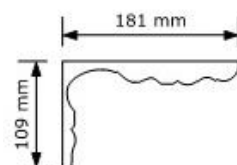
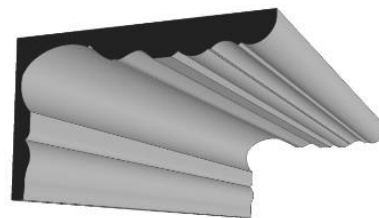
Dentils and cornice to the entrance hall and cornice to the rear hallway are to be retained.



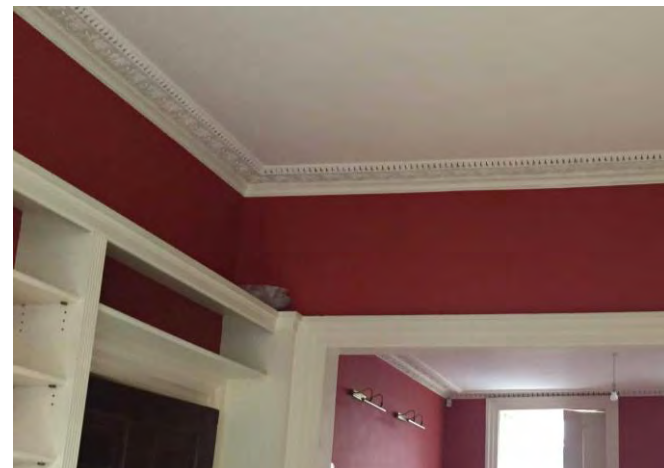
Existing cornice to the front room to be replaced.



Proposed cornice to the front room – CR 364 from London Plastercraft .



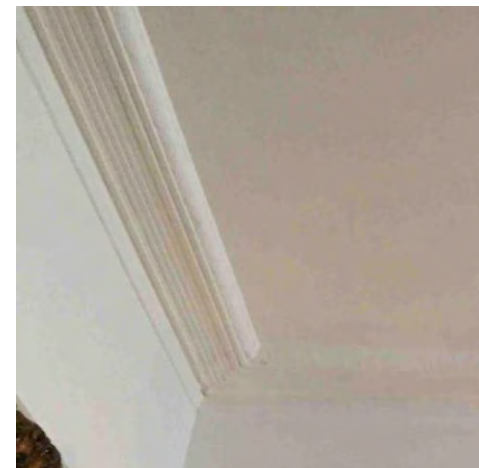
Proposed cornice to the rear room – CR 435 from London Plastercraft .



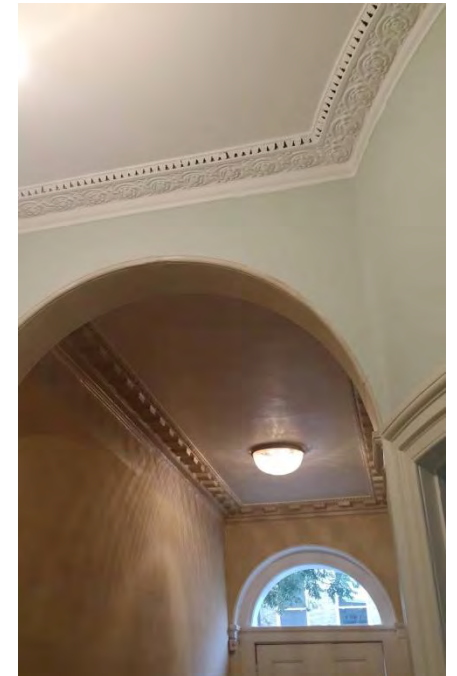
Existing cornice to the rear room to be replaced.



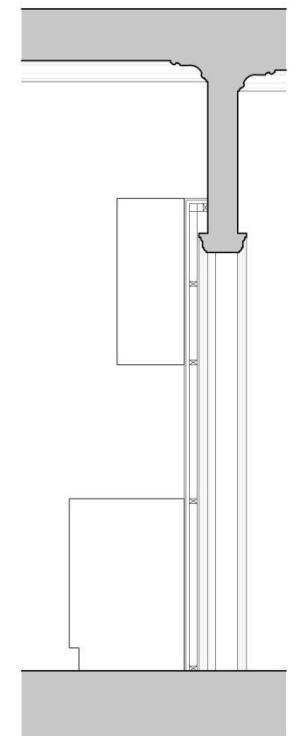
Dickens House - cornice detail to the ground floor's front room.



Dickens House - cornice detail to the ground floor's rear room.



Dentils and cornice to the entrance hallway to be retained.

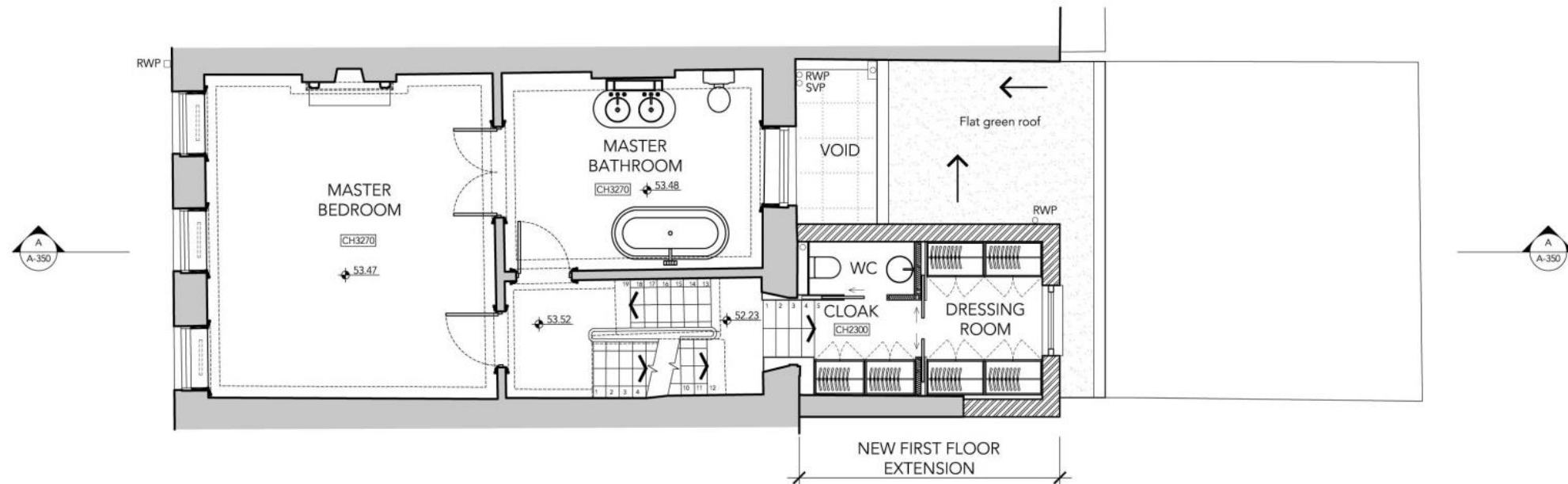


Proposed detail for kitchen door cladding.

Design proposal

5.3 Proposed First Floor Plan

At first floor level the proposed alterations are to convert the rear room into a new master bathroom, retaining the existing openings. No features of historical interest will be harmed. Free-standing bathroom features are proposed. Internal doors throughout are to be retained, refurbished and re-painted. Existing timber sash window joinery including shutters are to be refurbished and re-painted. The existing fireplace surround and grating to the front room will be retained.



Proposed first floor plan

Design proposal

5.3 Proposed Architectural Features to First Floor

FIREPLACE

Existing fireplace surround and grating to the master bedroom will be retained. New stone hearth to be installed.

PLASTERWORK

Cornices to the front room are proposed to be replaced with new features authentic to the age of the building.

Cornices to the rear room and to the first floor staircase are to be retained.



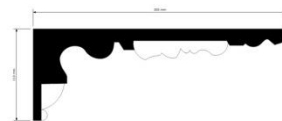
Existing cornice to the front room to be replaced.



Dickens House - cornice detail to the first floor's front room.



Proposed cornice to the front room – CR 409 from London Plastercraft.



Existing fireplace to the front room to be retained.



Existing cornice to the rear room to be retained.



Existing cornice to the first floor staircase to be retained.

Design proposal

5.4 Proposed Second Floor Plan

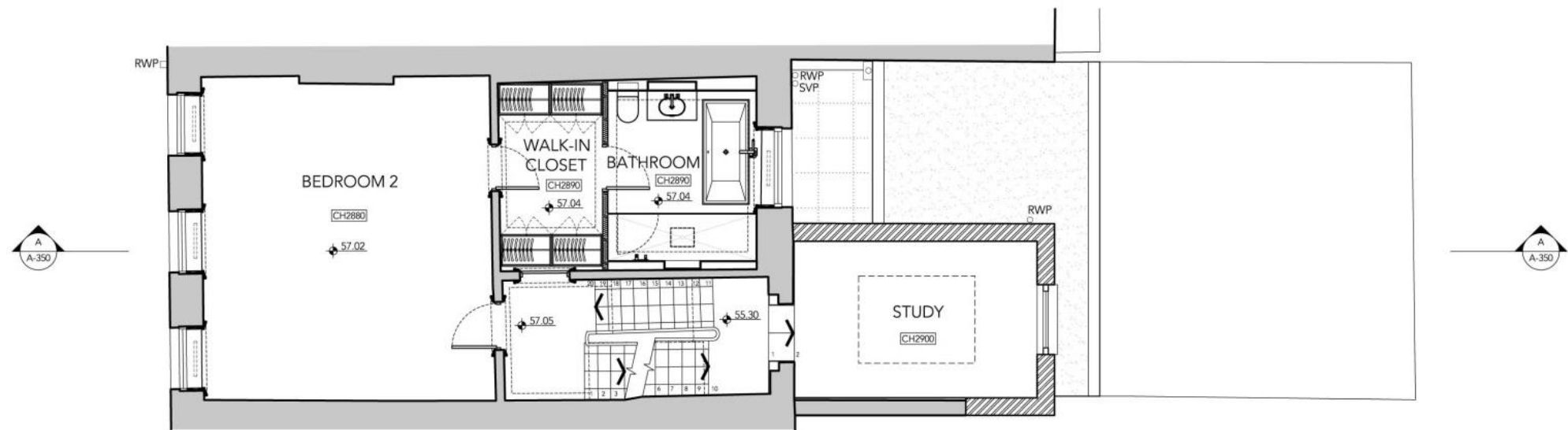
At second floor level, the proposed alterations are to convert the rear room into a new bathroom with a walk-in closet, retaining the existing openings. The existing door to the rear room is to be sealed shut. A new partition will be installed and along with new period cornices to create a walk in closet and bathroom.

The works to incorporate a bathroom into the rear room will not involve the cutting through of any joists and no harm will be made to the historic fabric.

Existing doors are to be retained and re-painted. New doors are to match existing.

The existing chimney breast to remain blocked.

The existing timber sash window joinery is to be refurbished and re-painted.



Proposed second floor plan

Design proposal

5.4 Proposed Architectural Features to Second Floor

PLASTERWORK

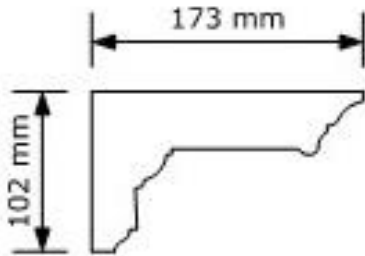
There is no existing cornice in the front room.
Cornices to the rear room are to be replaced to suit new internal partitions. New cornices will be authentic to the age of the building.



Existing cornice to the rear room to be replaced.



Dickens House - cornice detail to the second floor's rear room.



Proposed cornice to the rear room – CR 230 medium from London Plastercraft.



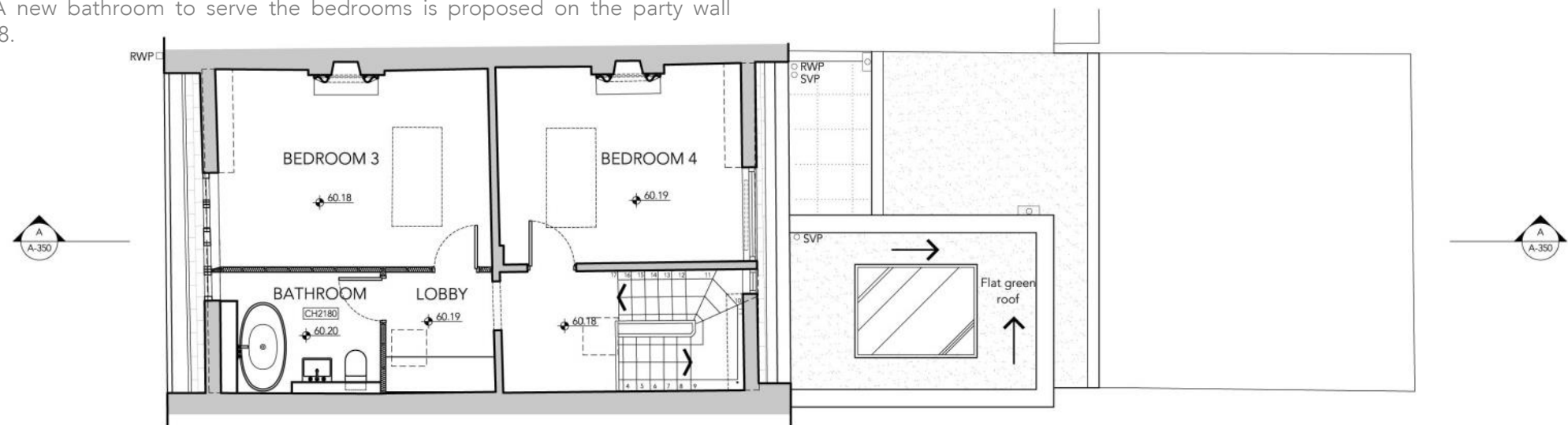
Existing cornice to the second floor staircase to be retained.

Design proposal

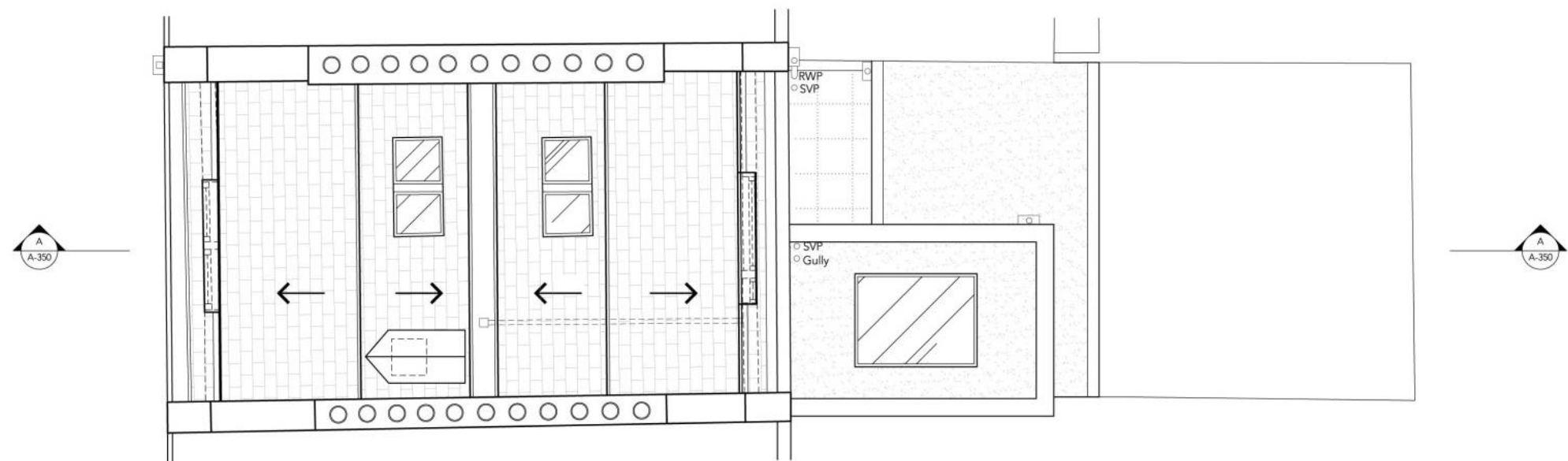
5.5 Proposed Third Floor & Roof Plan

At third floor level it is proposed to remove the non original partitions to existing bedroom 4 and return to its original state thereby enhancing the historical plan and floor space to proposed Bedroom 3. The existing bedroom 3 will be converted into a new bathroom serving proposed Bedrooms 3 & 4. Existing sky lights will be replaced with conservation roof lights (The Rooflight Company) and two new rooflights to match adjacent are proposed to Bedroom 4. Existing modern ceilings are to be removed from the Bedrooms and new raking ceilings to be installed. The roof is to be insulated for conserving heat.

At the third floor level, it is proposed to remove the existing bathroom, laundry and all non original partitions. A new bathroom to serve the bedrooms is proposed on the party wall between no's 47 & 48.



Proposed third floor plan



Proposed roof plan

Design proposal

5.5 Proposed Architectural Features to Third Floor

FIREPLACE

A new fireplace surround with new grating and hearth is proposed to both bedrooms 3 & 4. The proposed fireplace is the Salisbury wood model from Fires & Surrounds and is authentic to the age of the building.



Proposed fireplace – Salisbury wood surround from Fires & Surrounds Ltd.

Design proposal

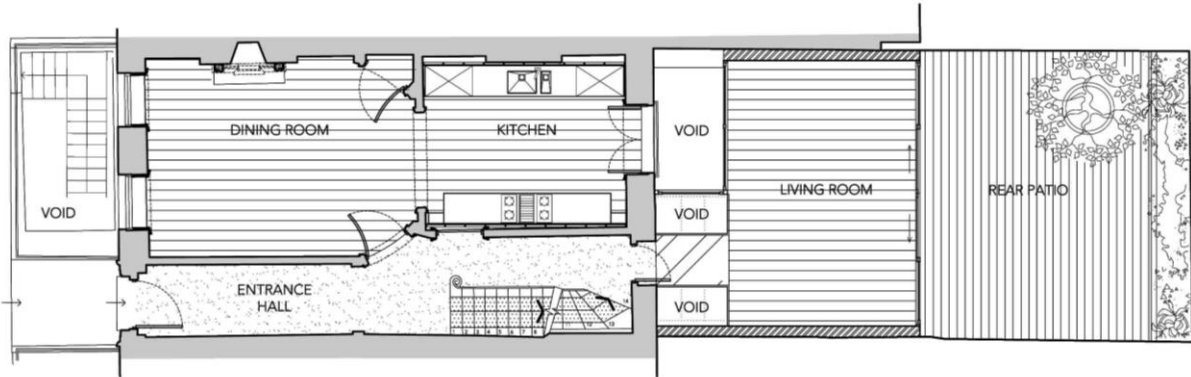
5.6 Proposed Floor Finishes

BASEMENT

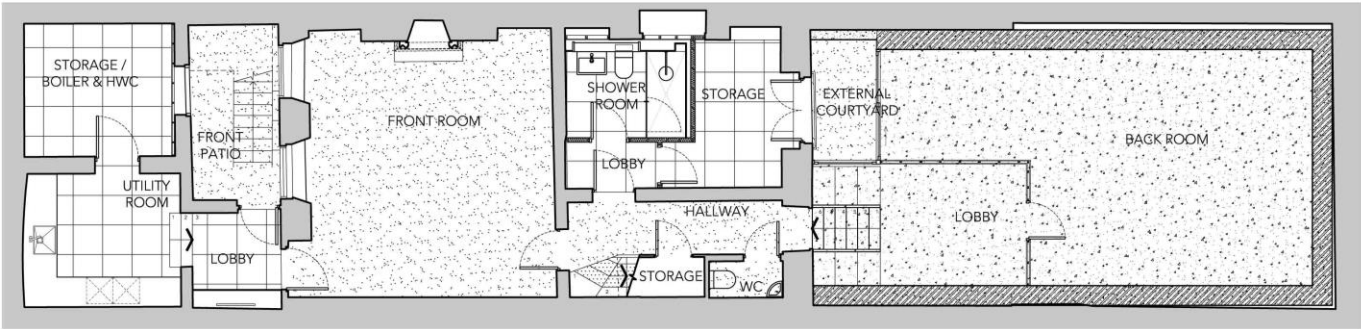
It is proposed to install underfloor heating throughout the basement level. There is new stone flooring proposed to the hallway as well as to the front room. New tiled flooring is proposed to the new shower and storage rooms as well as to the lowered vaults and lobby. The external front patio's existing concrete slabs are to be replaced with new stone paving. The proposed external courtyard to the rear is to be finished with stone paving. A polished concrete floor proposed in the new lowered basement at the rear.

GROUND FLOOR

We are proposing to replace the modern timber boards to front and rear rooms with the new wider timber boards more appropriate for the age of the building. The existing vinyl flooring to the entrance hall is to be replaced with new stone flooring. A new timber floor is proposed in the new ground floor rear extension. In addition, there is a glass bridge proposed between the host building and the new rear extension to link the two spaces. The rear patio will have timber decking over the decking structure.



Proposed floor finishes to the ground floor



Proposed floor finishes to the basement

Design proposal

5.6 Proposed Floor Finishes

FIRST FLOOR

It is proposed to lay a new carpet runner on all flights of stairs.

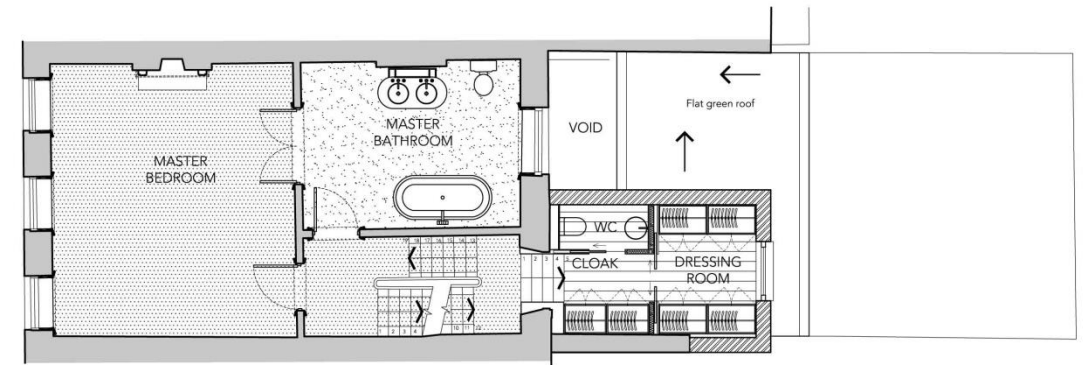
The master bedroom is to have new carpet flooring and new stone flooring is proposed in the master bathroom to be laid over the existing floor finish. New timber flooring is proposed in the first floor extension (closet wing).

SECOND FLOOR

New carpet flooring is to be laid in all areas except for the bathroom and study which are to have stone and timber respectively.

THIRD FLOOR

Carpet is proposed throughout except in the bathroom where stone flooring is to be installed.



Proposed floor finishes to the first floor



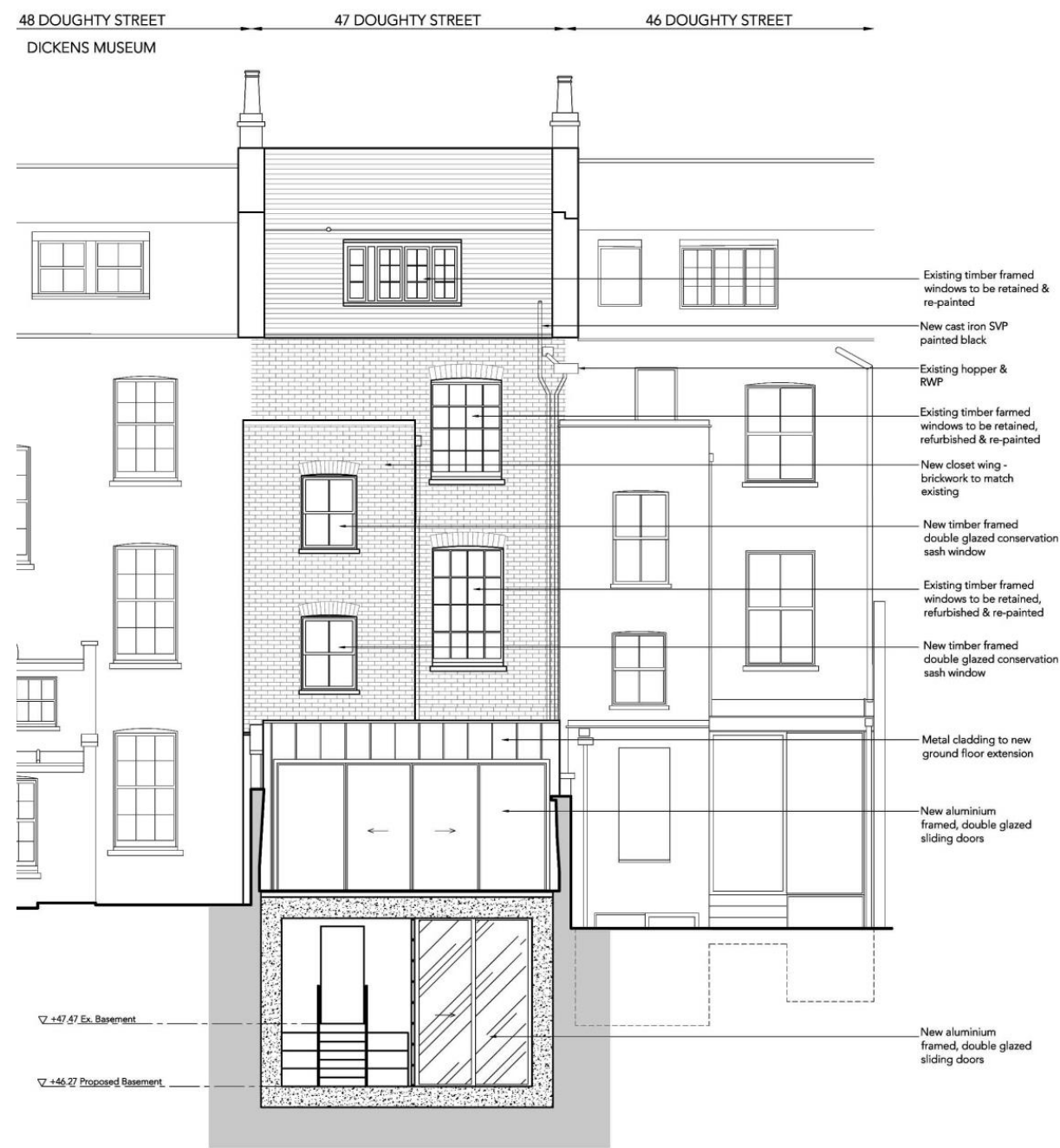
Proposed floor finishes to the second floor



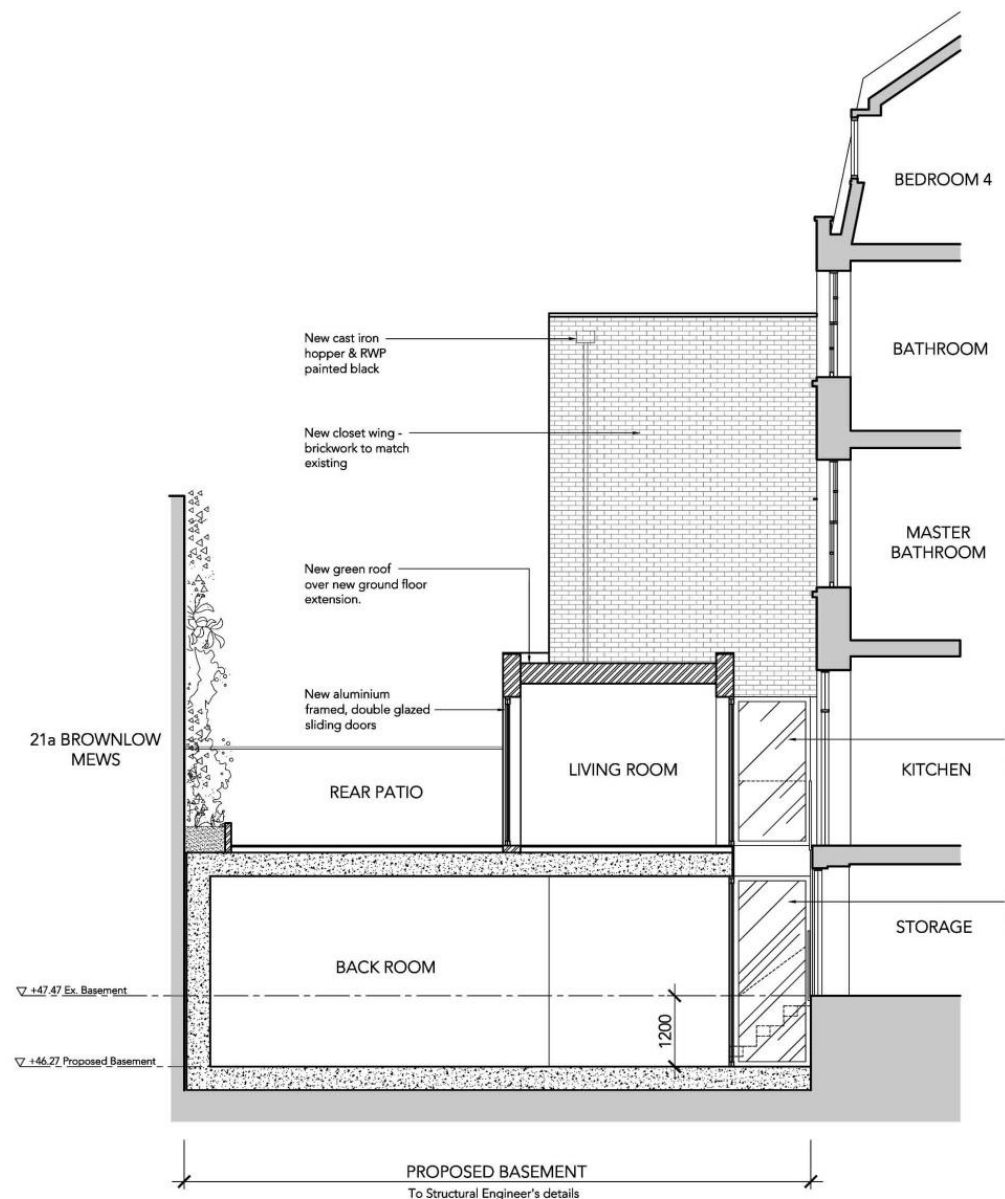
Proposed floor finishes to the third floor

Design proposal

5.7 Proposed Elevations



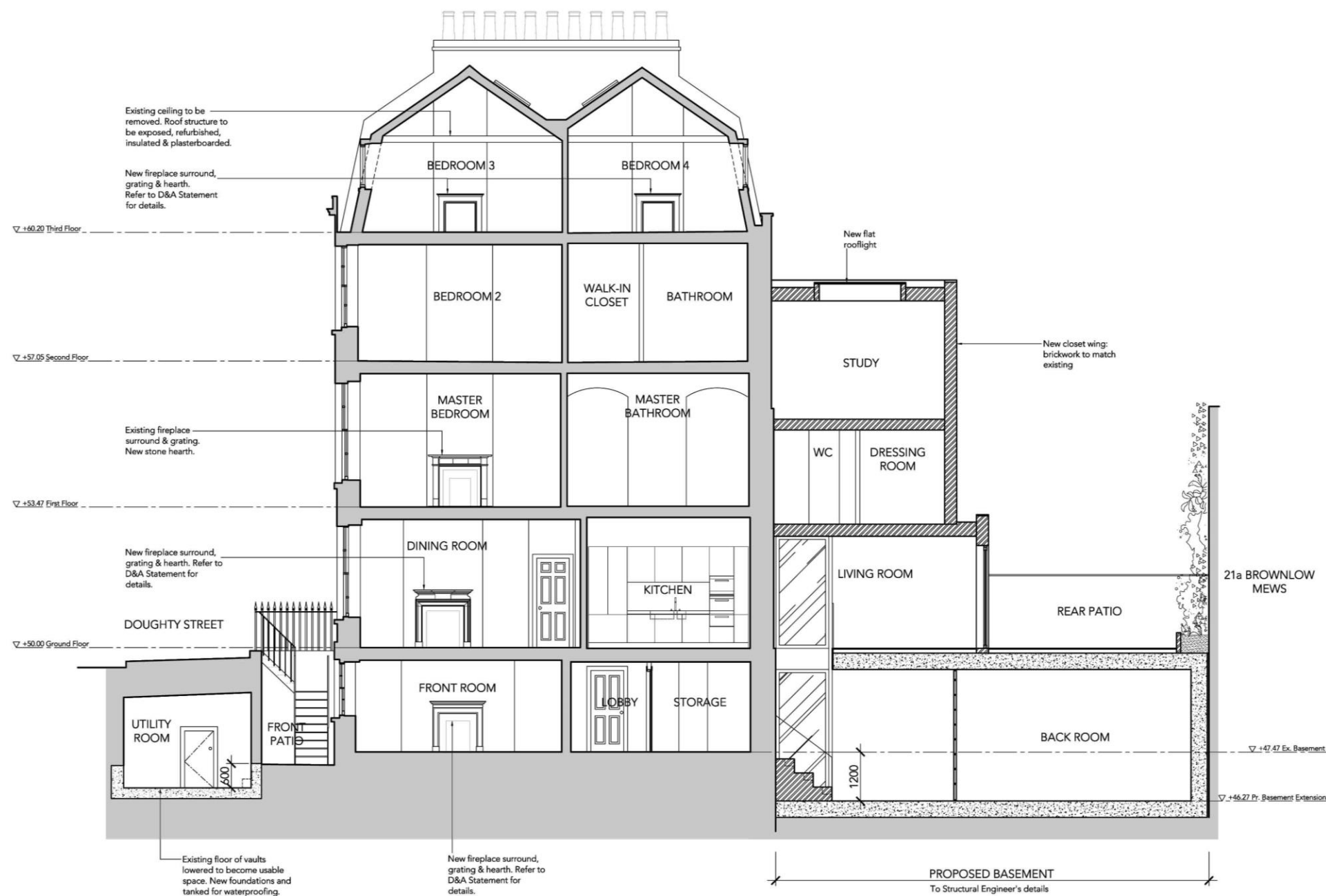
Proposed rear elevation



Proposed side elevation & part section

Design proposal

5.8 Proposed Section



Proposed section AA

6 Design and Access

Design and Access

6.1 Appearance

The internal design and alterations will be carried out to the highest standards and in a manner that ensures the retention of features of interest within the listed building. This includes the retention of the original staircase. New partitions will replicate period cornicing and dado rails wherever present. This ensures that the historical character of the building is retained.

We are proposing to refresh the front elevation, including painting windows, railings and fixing the slate roof. Modification of the existing fanlight is also proposed, in order to return it to its original design. In the front lightwell it is proposed to replace the existing concrete slabs with new stone and replace the non-original door into the basement with a more sympathetic design.

To the rear of the property we are proposing a new closet wing which will be higher and deeper than the existing wing, matching the adjacent no. 46's extension in size.

The new closet wing will be re-built with stock brick to match existing. The fenestration on the rear elevation of the replacement closet wing will be in keeping with the host building.

The new ground floor extension is designed to have metal cladding to the fascia detail and to the sides of the new aluminium framed double glazed sliding doors.

Design and Access

6.1 Appearance - proposed rear elevation showing materials.



Proposed rear elevation

Design and Access

6.2 Vehicular Links

The application has no impact on transport or traffic levels to the site.

6.3 Inclusive Access

Access within the house has been generally improved, without harming the special architectural or historical value of the property. There is an existing step up to the front door as on all the houses in the terrace.

Design and Access

6.4 Proposed drainage

Currently the majority of the drainage is combined and drops at the rear of the house before returning under the basement level and connecting to the manhole in the front courtyard. From here the drainage connects to the main sewer line under the street.

The proposed drainage involves the addition of one external SVP (marked ● on the plan) which will serve all the bathrooms at the rear of the house.

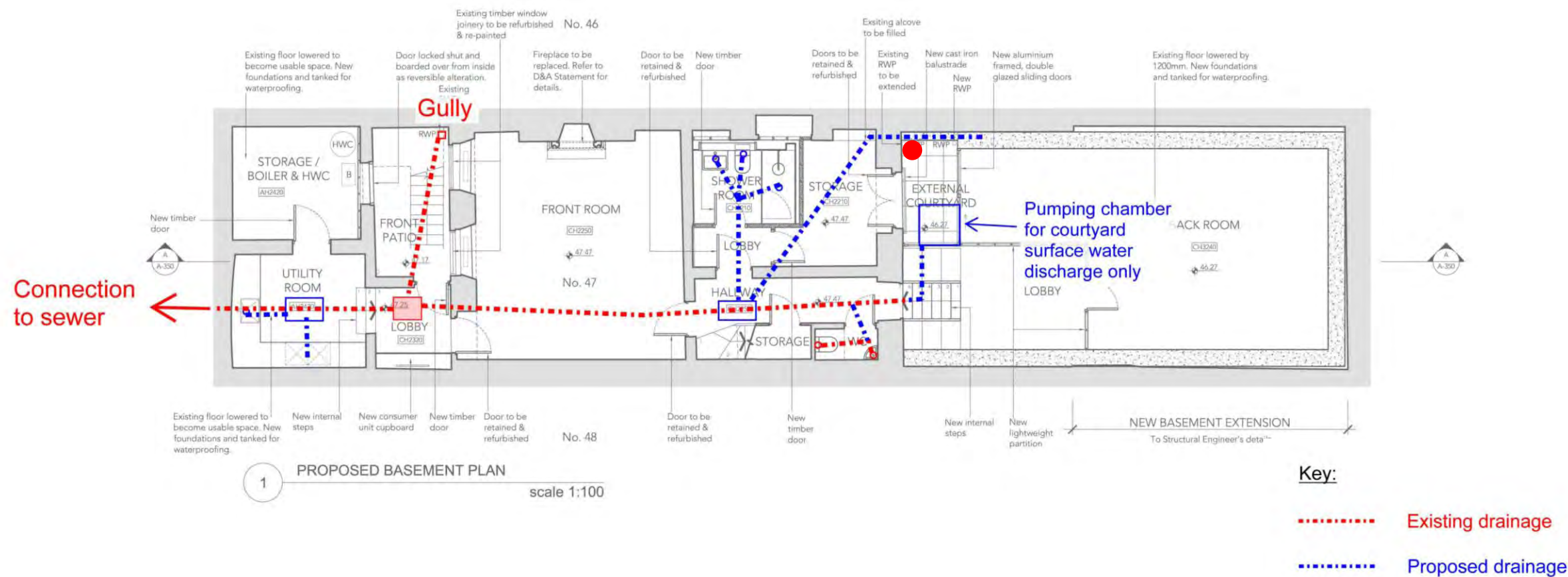
This SVP will be connected to the existing discharge route in the basement level in order to reduce the size of the proposed pumping chamber in the rear courtyard.

An area of green roof is provided over the new ground floor extension as well as over the new closet wing to aid in the retention of surface water.

Raised planters are also proposed on the ground floor patio. Remaining surface water run-off will be routed into the house to join the existing drainage system.

The small dropped courtyard adjacent to the rear of the house requires a pumped solution to discharge into the existing drainage through the house. A pumping chamber will be provided here.

We will ensure all plumbing routes are to be re-used where possible, no joists cut through and no harm in general to be made to the historic fabric.



7 Environmental Statement

7 Environmental Statement

7.1 Transport Statement

- There is no allocated or direct access to parking facilities.
- The location of No. 47 Doughty Street facilitates an easy connection to public transport.

7.2 Waste Management

A waste storage area is proposed at the front of the house in the front lightwell

7.3 Materials

All new work to the exterior of the building will match the existing in terms of choice of materials, methods of construction and finished appearance.

7.4 Sustainability

We will strive to improve the energy efficiency and sustainability of the building with the following measures;

General

- Roof insulation to current Building Regulations
- New windows and glazing all highly insulated and to exceed thermal requirements of the current building regulations.
- All windows will be openable to improve of natural cross ventilation and the staircase using stack effect will produce a stack effect increase ventilation throughout the house.

Lighting

Low energy lighting will be installed internally and externally.

Water conservation

Water conservation is an important part of environmental sustainability. The house will be equipped with 'A' rated water efficient domestic white goods, dual flush toilets and (where appropriate) aerated taps. These measures will help to significantly reduce the amount of potable water used by the house's occupants.

Household recycling

Adequate space will be provided within the utility area at basement level for segregation of recycled waste.

Recycled materials

Materials of low embodied energy or low environmental impact will be used where a substitution can be made without technical or visual penalty. This extends to insulation materials, structural and finishing softwood, hardwood species, metalwork, roof coverings, concrete specification and brickwork selection.

• 1 By consideration

- i. PVC windows, doors or eaves /verges /flashings will not be used.
- ii. Structural and carpentry timbers will be from FSC certified sources.

• 2 Air pollution

- i. There is no unusual heavy machinery proposed in the building that will emit high or dangerous levels of air pollution.

• 3 Noise Pollution

- i. The proposed development will not present a significant noise pollution.
- ii. There is no noisy machinery or plant proposed for the new development.

• 4 Contaminated Land

- i. N/A

• 5 Water quality

- i. The proposal will have no effect on existing water courses or ecology. The following water conservation measures will however be incorporated;
- ii. Use of water saving appliances ('A' rated) and low flush toilets.

• 6 Light pollution

- i. The proposed development does not increase the light pollution to the neighbouring buildings.

• 7 Waste and Recycling

- i. Adequate space will be provided for segregation of recycled waste within the home.
- ii. The following recycled building materials will be used in the development.
 - a. Plasterboard
 - b. Building boards

• 8 Daylight and Amenity

- i. The proposed development has no impact on the sunlight and daytime amenity of the neighbouring buildings.
- ii. The proposal undertakes to do the following;
 - a.It does not overshadow its neighbours or existing residential amenity space.

• 9 Open Land

- i. N/A

• 10 Trees and Shrubs

- i. There are no TPO's at 47 Doughty Street as the rear patio is paved over. It is proposed to introduce a new design to the rear patio.

8 Conclusions

Conclusions

8.1 Conclusions

Our submission seeks consent for the additions and internal & external alterations including rear extension at basement level, replacement of rear extension at ground floor level and rebuilding with increased height and depth of the rear closet wing at 47 Doughty Street.

As has been set out in this report, our proposals pay particular attention to and enhance the heritage assets of the property giving it a long-term secure maintenance protection. This will be achieved by complete retention and preservation of all features of interest within the building, the historical floor plans and the proportion of principal rooms.

For all the reasons outlined in this report, we consider that the relevant development plan policies have been fully satisfied and our application seeking Planning Permission and Listed Building Consent should be granted accordingly.

9 Appendices