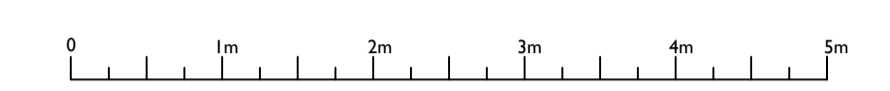


NOTE - ELECTRICS & LIGHTING - SEE/OTHER M&E
Internal - Ground Floor
 Complete New Lighting scheme with New Light fittings Throughout GF & Staircase. There will be some New & Adapted Points in All Areas.
 Allow for Laptop Points for All Perimeter Tables
External
 New Wall Lanterns to replace existing globe fixing.
 Replace Ex.Uplighters with New LED Uplighters
Dimming
 All Lighting in Trade Areas to be on Dimmed Circuit.
 Check Ex.Lutron Dimmers are in Good Working Order.
 Repair/Replace as required

KEY DATA	EXISTING	PROPOSED
GF TRADE AREA - EDA	80 sq.m	80 sq.m
Covers to GF Trade Area	59	20
Bar Flex to Bar Area	0	37
FIRST FLOOR TRADE AREA - EDA	42sq.m	38sq.m
Covers to FF	32	*34 /38
Bar Flex to FF	0	0
GARDEN AREA - EDA	112 sq.m	112 sq.m
Covers to Garden	65	65
Bar Flex to Garden	0	4
OCCUPANCY GROUND FLOOR	N/A	220
OCCUPANCY FIRST FLOOR	N/A	*44 / 46

* Dependent on Furniture Layout - Also - See Note 2 in FRA Document



NOTE:
 The Contractor is to check and verify all building and site dimensions, levels and sewer invert levels at connection points before work starts.
 This drawing must be read with and checked against any structural or other specialist drawings provided.
 The Contractor is to comply in all respects with the current Building Regulations whether or not specifically stated on these drawings.
 This drawing is not intended to show details of foundation or ground conditions. Each area of ground relied upon to support the structure depicted must be investigated by the Contractor and suitable methods of foundation be provided.
 This drawing is to be read in conjunction with all other standard Mitchells and Butlers specifications and documentation.

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sdj DESIGN

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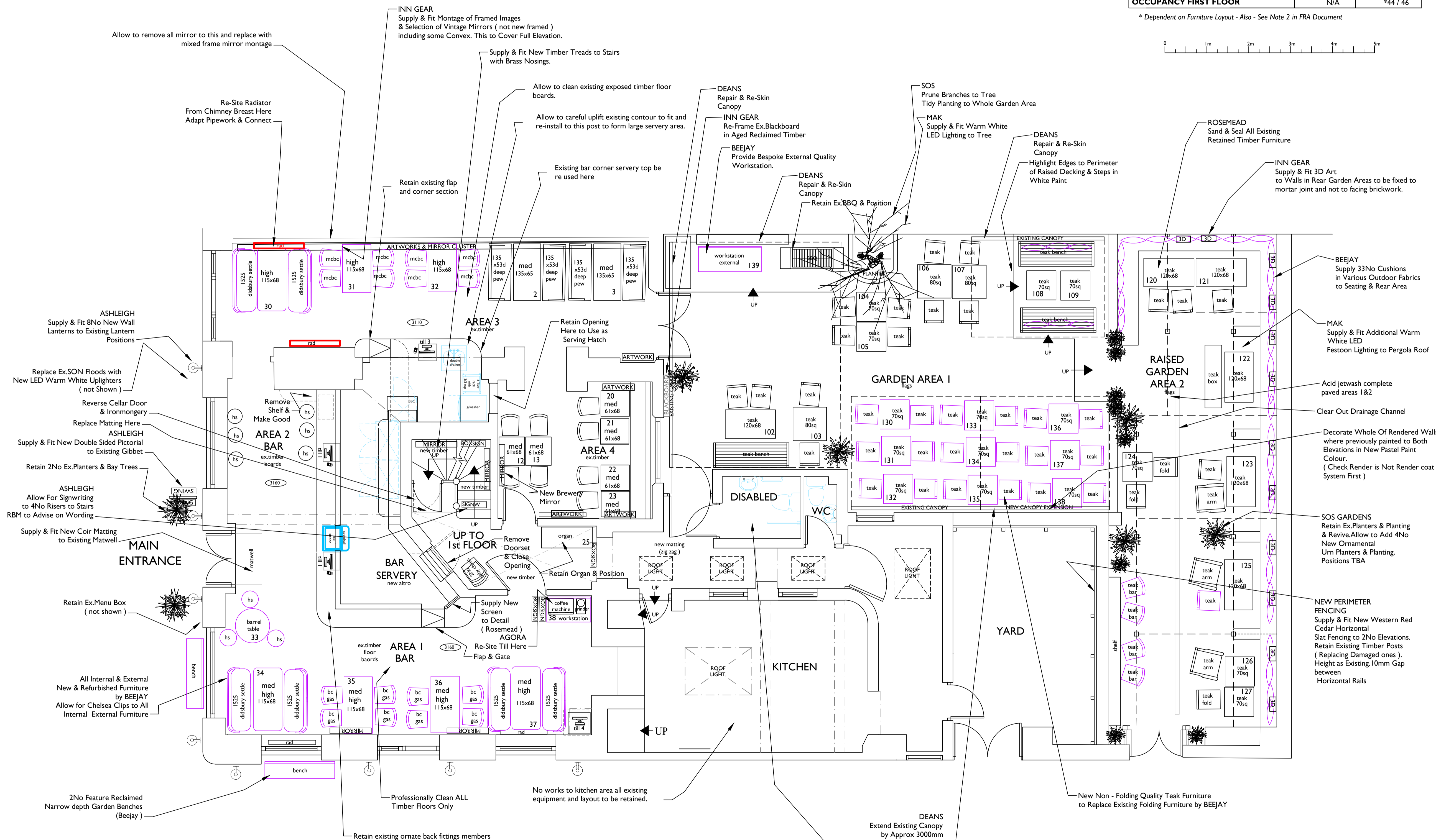
THIS DRAWING HAS BEEN PREPARED FOR PRESENTATION PURPOSES CONSULTANTS WISHING TO USE THE DRAWING FOR GUIDANCE MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO FINALISING THEIR ELEMENT OF WORK UNDERTAKEN

Rev.	By	Date

Mitchells & Butlers
 27 Fleet Street
 Birmingham
 B3 1JP
 Tel. 0870 609 3000
 www.mbplc.com

Brand	CASTLE
BUN. No.	38504
Site	THE ENGINEER PRIMROSE HILL
Title	GROUND FLOOR LAYOUT & WORKS AS PROPOSED

Project Manager/Checked	JOH	Scale	1:50 @ A1	Date	24/02/2016
Arch/Des.	ENPR 05	Rev.	8		

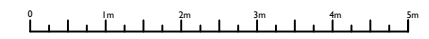


NOTE - DECORATIONS
External Front
 Decorations to Ground Floor ONLY. Retain White Colour
External Side
 Retain Decorations at Low Level where it Runs Across Rear Elevation
Internal Ground Floor
 Full Decorations to Trading Area GF, Stairs & Corridors.
 Allow for New Wallpaper to Upper Walls in Area 4 (£150 per roll)
 Exposed Brickwork in Area 3
Disabled Toilet
 Full Decorations
Garden
 Decorate Render Wall to 2No elevations in Pastel colour (Subject to Render applied)

WORKS TO DISABLED TOILET
 - Full Decorations
 - Allow for Full Drop cord
 - Fit New Radar Lock

ASHLEIGH SIGNS
 Carry out Internal Signwriting to Doors & Directional Signage in Lettering Style to Complement Signage (Also allow for in Garden & FF)

KEY DATA	EXISTING	PROPOSED
GF TRADE AREA - EDA	80 sq.m	80 sq.m
Covers to GF Trade Area	59	20
Bar Flex to Bar Area	0	37
FIRST FLOOR TRADE AREA - EDA	42sq.m	38sq.m
Covers to FF	32	*34 /38
Bar Flex to FF	0	0
GARDEN AREA - EDA	112 sq.m	112 sq.m
Covers to Garden	65	65
Bar Flex to Garden	0	4
OCCUPANCY GROUND FLOOR	N/A	220
OCCUPANCY FIRST FLOOR	N/A	*44 / 46



NOTE:
The Contractor is to check and verify all building and site dimensions, levels and sewer invert levels at connection points before work starts.
This drawing must be read with and checked against any structural or other specialist drawings provided.
The Contractor is to comply in all respects with the current Building Regulations whether or not specifically stated on these drawings.

FURNITURE NOTES - GENERAL TO BE READ BY BEEJAY & ROSEMEADS
Existing Furniture Retained is shown in **BLACK** and has no works (apart from maybe requiring Tops Sanding & Polishing (indicated by SP or S&P). Carried out by BEEJAY unless stated otherwise.
Furniture shown in **BLUE** is Existing Furniture that is to be Refurbished and/or Re-Upholstered. (All by BEEJAY unless stated otherwise)
New Furniture is shown in **PURPLE**. Supplied by BEEJAY unless noted otherwise.
BEEJAY to Remove all Furniture **ALL** from Site apart from Items no longer required. ROSEMEADS to Remove All Unwanted Furniture from Site
Beejay to Number Existing Furniture on Collection according to Numbers on Existing Plan. ROSEMEADS MUST NOT move Furniture from Positions shown (as Existing Plan) on Day 1 of Contract Until BEEJAY has been to site to mark up & collect.
Beejay to mark up & collect at 10am on 1st Day on Site. (If for any reason Furniture has to be moved before Beejay arrives then ROSEMEADS must Number Furniture as indicated on the Existing Plan)
ROSEMEADS to Ensure Site is Clear & Ready for BEEJAY to Lay out Furniture at prescribed Time of Furniture Delivery. If the Site is NOT Clear for BEEJAY to Layout Furniture , then **ROSEMEADS** must be responsible for laying out Furniture correctly as indicated on Proposed Plan.
Please Refer to Site Minutes for Delivery Times and whether site will be Full Closure or Not or Contact C.Redrup at Pembroke for this information prior to quotation.

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THIS DRAWING HAS BEEN PREPARED FOR PRESENTATION PURPOSES CONSULTANTS WISHING TO USE THE DRAWING FOR GUIDANCE MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO FINALISING THEIR ELEMENT OF WORK UNDERTAKEN

Rev.	By	Date
1	Occupancy Numbers Added (ONLY)	SDJ 28.02.15
2	Changes from Anchor & Listed Bldg	SDJ 13.02.16
3	Changes Listed Bldg	SDJ 16.02.16
4	Changes Made To Notes	JDH 22.02.16

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Brand **CASTLE**
BLNK No **38504**
Site **THE ENGINEER PRIMROSE HILL**

Title **FIRST FLOOR LAYOUT & WORKS AS PROPOSED**

Project Manager/Checked	Drawn By	Scale	Date
	SDJ	1:100@A3	22.02.16
Arch/Des.	Drawing Number		Rev.
	ENPR 06		4

Briefly Bar Servery details :-
BAR
Brown & Brown Carcass
Aged Polished Panelled Bar Front To Compliment Existing Wall Paneling
Solid Oak Hardwood Top with Moulded Edge
(Bar to be Fixed to Floor ONLY)
New Small Glasswasher GS202 (460mm W) or Equivalent
New Under Counter Single Bottle Cooler
Re-Site Ex.Till Screen. Supply New Till Drawer & Cable
New 2/3 Out Classic Fount (Boa) Beer Fount (Atlantic)
New Python
New Coke Gun
MAK to Provide Services for Equipment
All Supplies To Be Run At Low Level Into Bar Fitting Through Modern Skirting
BACKFITTING
Brown on Brown Narrow Depth Lower Backfit with Flexible Shelving
Welsh Dresser Style Narrow Depth Upper Backfitting in Aged Polished Finish. Backfitting to be Fixed to Floor ONLY

Existing TV
Existing Fireplace and Surround Retained
Allow To Run All Supplies And Services To Proposed Servery Via Existing Duct Cupboard from Ground Floor
Dado Panelling to Be Retained Behind Backfitting.No Fixings Through
Remove Ex.Radiator & Pipework & Make Good

Works to Gents:
Full decorations and some standard generics required:-
Spur for ioniser & new ironmongery
Extraction: Over haul
Floor: New timber effect tiling
Cubicles: Redecorations & renew cistern casings
Vanity unit: Retain, new taps to wash hand basins
New 50mm chrome waste & traps to urinals
New T&G Back Panel to WC

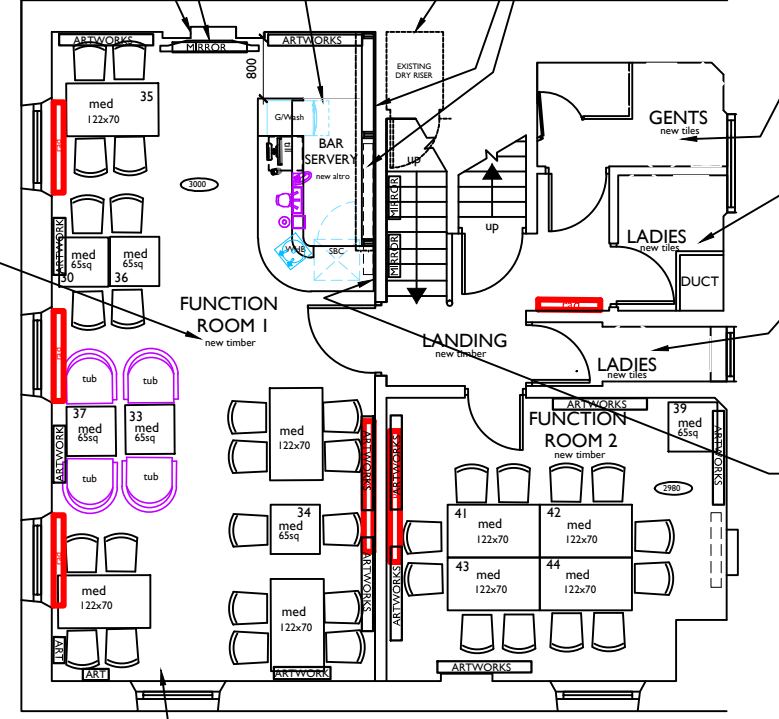
Works to Ladies
Full decorations and some standard generics required:-
Spur for new ioniser required
Allow New ironmongery
Extraction: Over haul
Floor: New timber effect tiling
Cubicles: Redecorations
Vanity unit: Retain, new taps to wash hand basin's
Lighting: New scheme & Light Fittings
Supply MAB- toilet pack
Allow Wallpaper to Plaster Walls in Main Ladies

Bar Not to be Fixed to Dado Panelling (Leave Tiny Gap)

Re-Site Radiator to New Position. Adapt/Extend Pipework & Connect

LIGHTING
Allow To Replace Existing Pendant Light Fittings With New To Existing Locations

Take Up Existing Linoleum. Supply & Lay Reclaimed Wide Plank Flooring to All Trading Areas & Landing (Ted Todd)

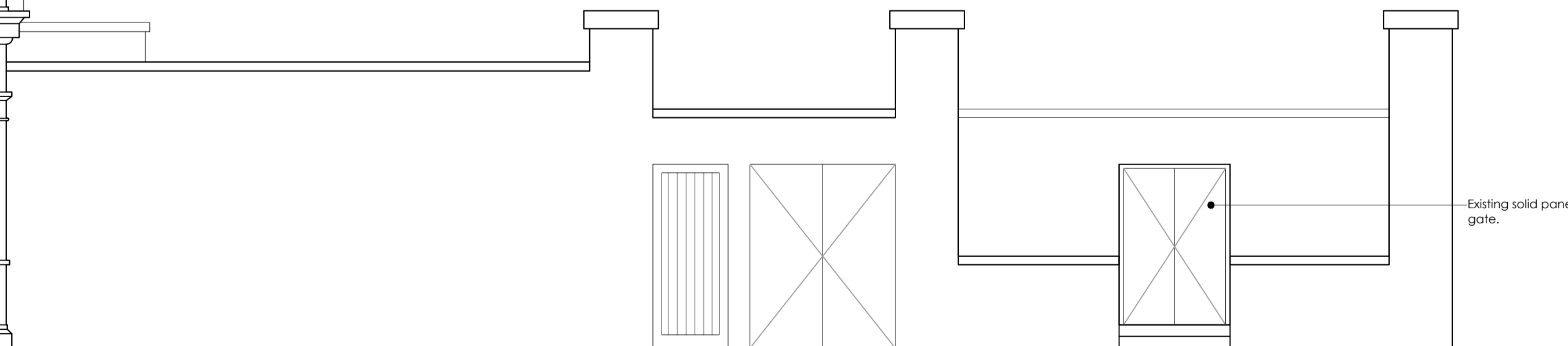




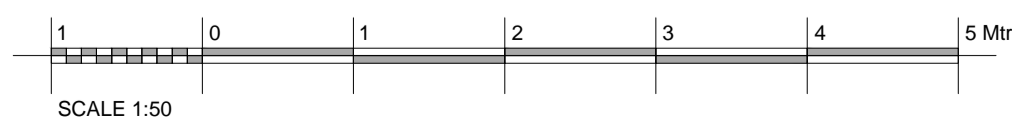
EXISTING SIDE ELEVATION
Scale 1:50



EXISTING FRONT ELEVATION
Scale 1:50



Existing solid panel gate.



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Website: www.pembrook.co.uk

Client: Clients Name

Project:
THE ENGINEER
65 GLOUCESTER AVENUE
MW1 8JH
LONDON

Drawing Title:
EXISTING FRONT AND SIDE
ELEVATION

Drawing No: 3939-200

Scale: 1 : 50

Date: 03-12-2015

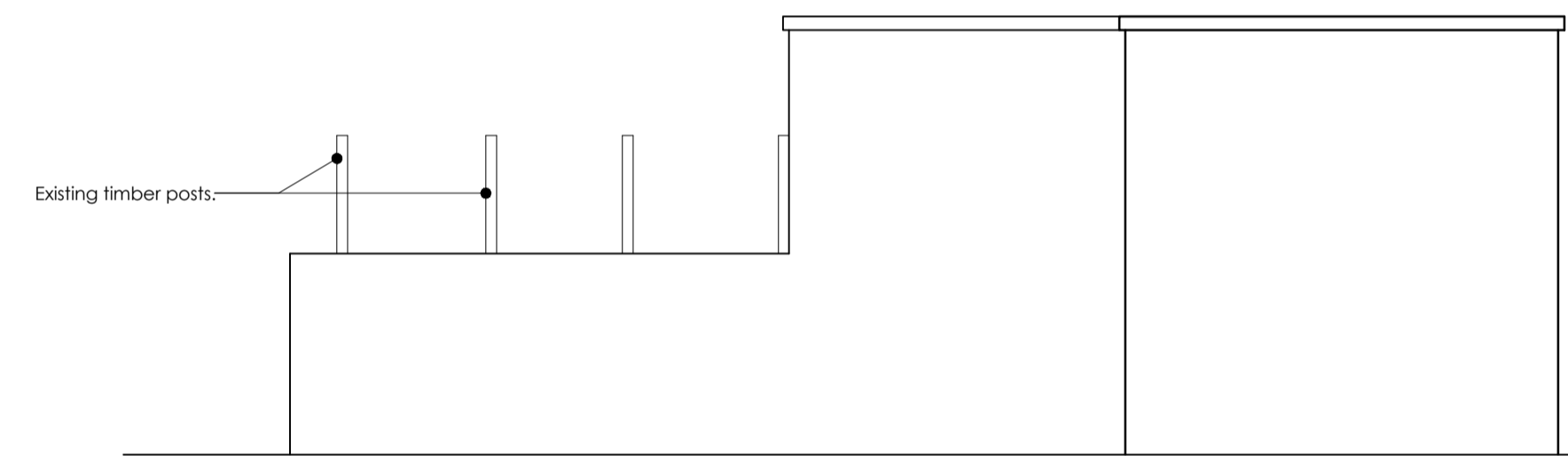
Drawn By: MPM/VB

Revision:

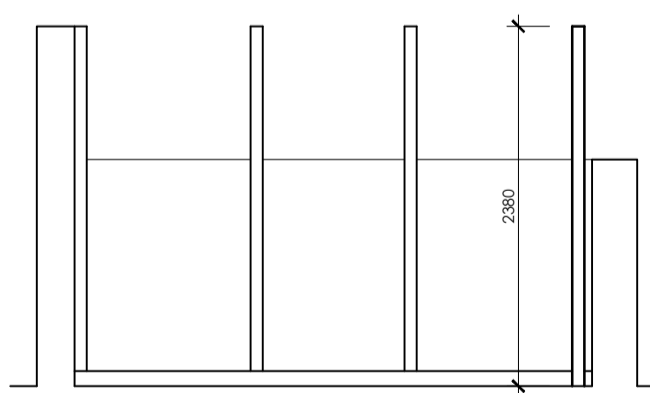
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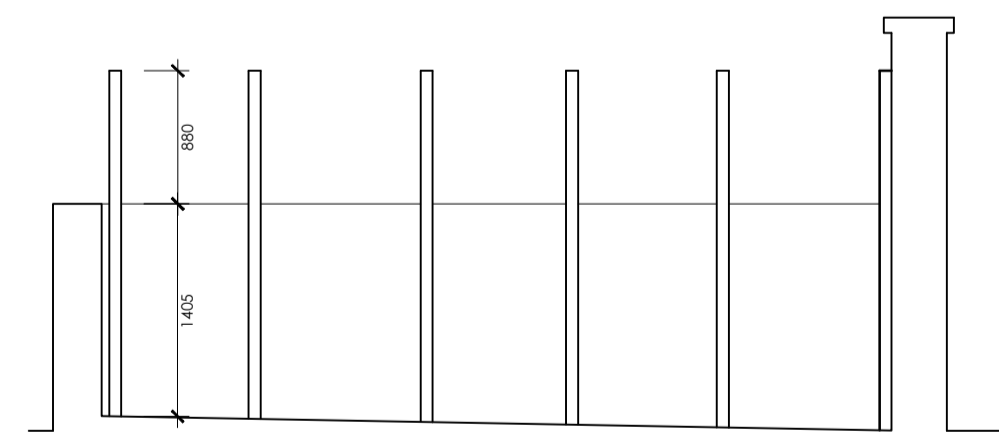
EXISTING BACK ELEVATION
Scale 1:50



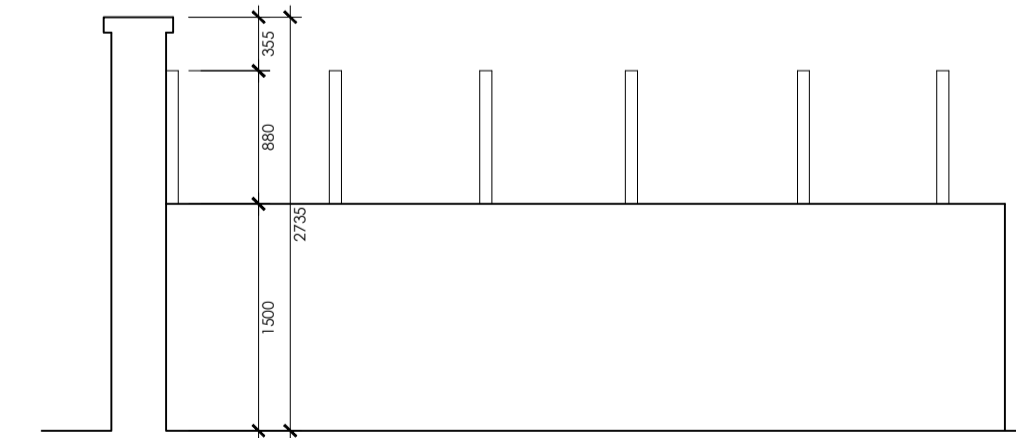
EXISTING INTERNAL GARDEN WALL ELEVATION
Scale 1:50



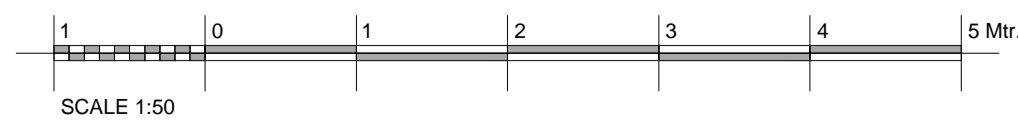
EXISTING SECTIONAL ELEVATION A
Scale 1:50



EXISTING SECTIONAL ELEVATION B
Scale 1:50



EXISTING SECTIONAL ELEVATION C
Scale 1:50



SCALE 1:50

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Drawing Title:
EXISTING ELEVATIONS AND
SECTIONAL ELEVATIONS A,B & C

Drawing No: 3939-201
Scale: 1 : 50
Date: 03-12-2015
Drawn By: MPM/BF/VB

Revision:

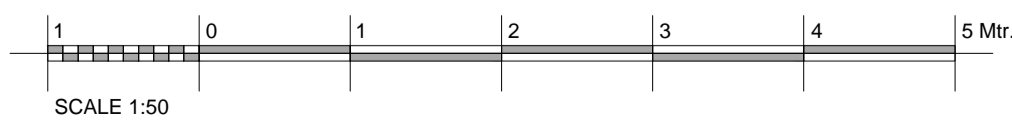
Drawing not to be scaled. Dimensions indicated must be checked on site before manufacture by contractor, any discrepancy should be reported immediately.



EXISTING SIDE ELEVATION
Scale 1:50



PROPOSED FRONT ELEVATION
Scale 1:50



B NOTES REMOVED 24/02/16 JOH

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Drawing Title:
PROPOSED FRONT AND SIDE
ELEVATIONS

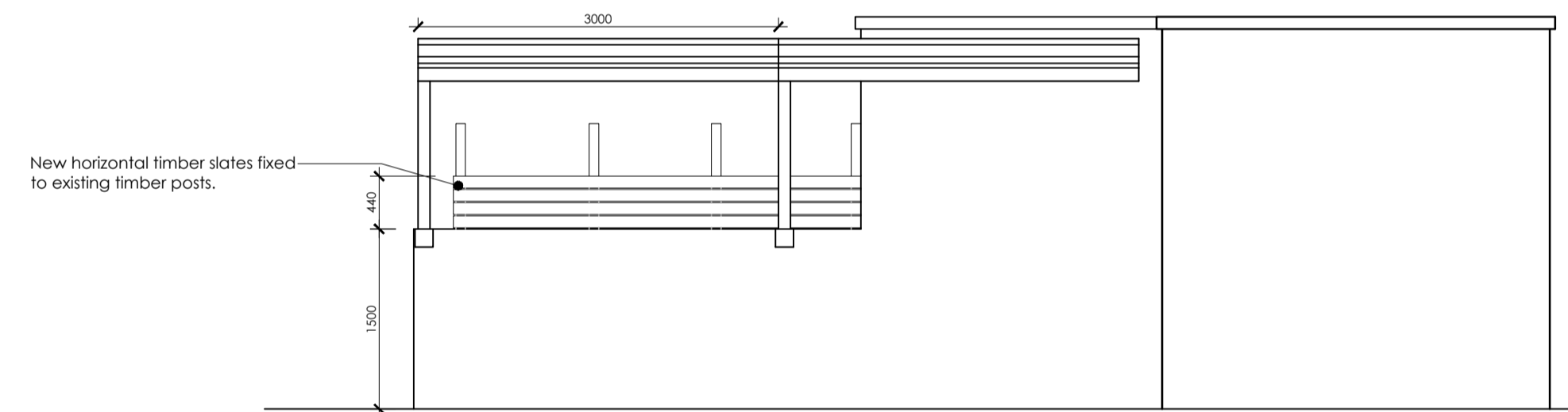
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Date: 03-12-2015
Drawn By: JOH

Revision: B

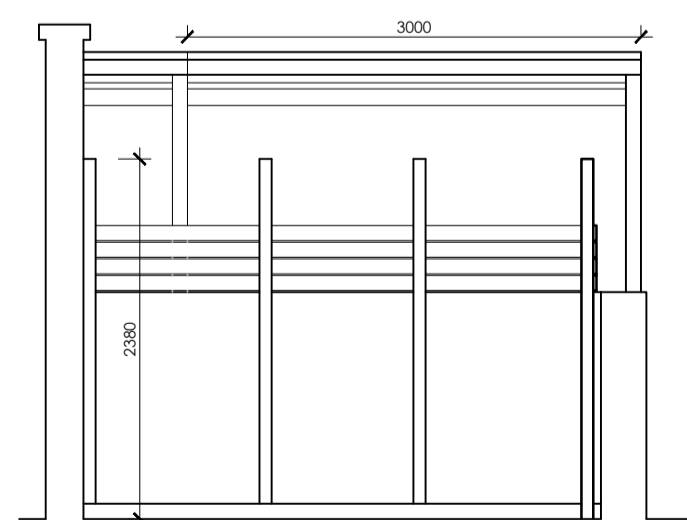
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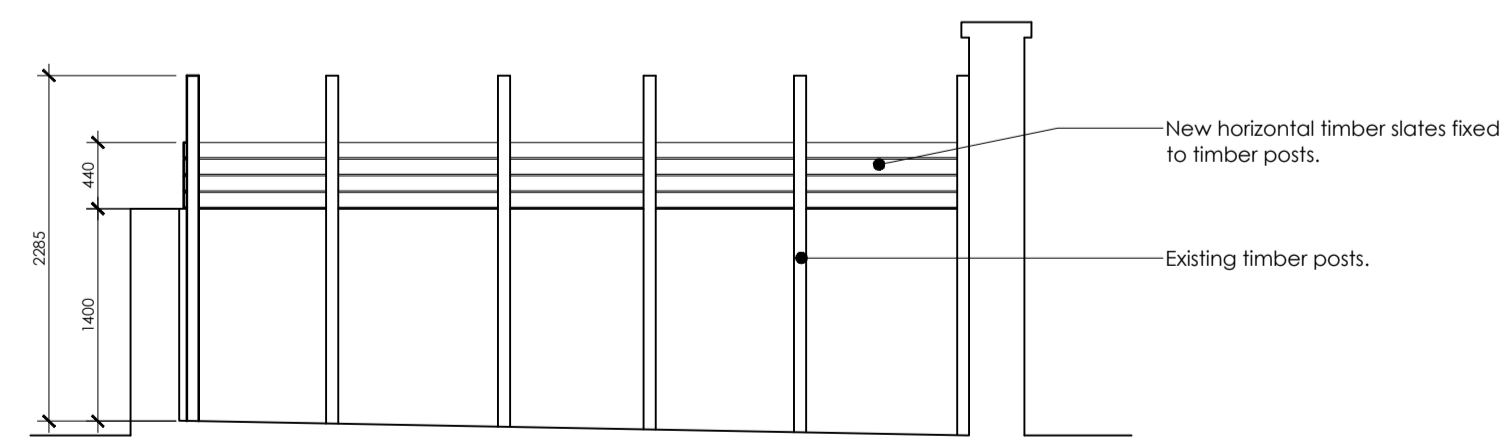
PROPOSED REAR ELEVATION
Scale 1:50



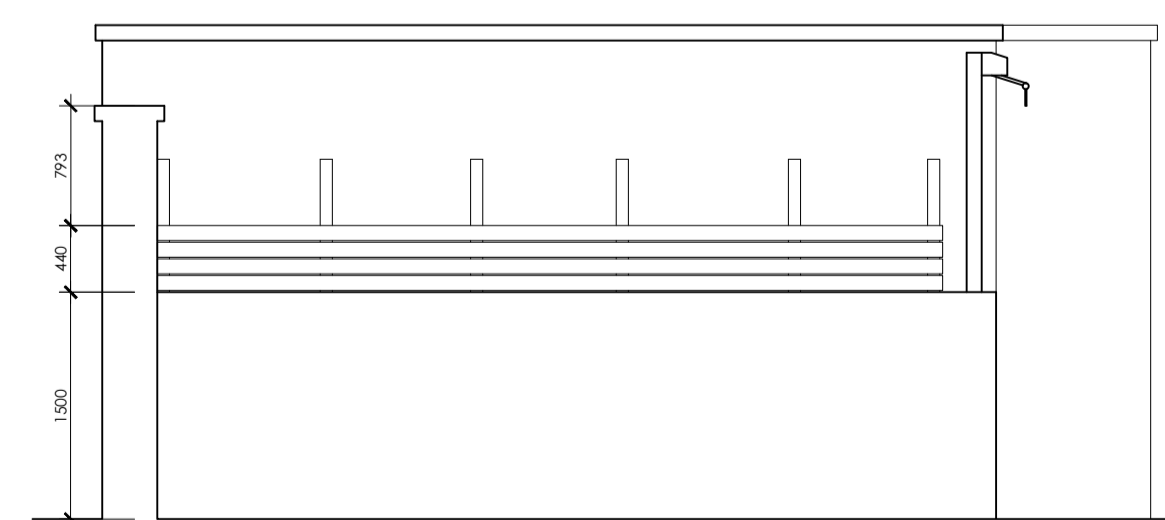
PROPOSED INTERNAL GARDEN WALL ELEVATION
Scale 1:50



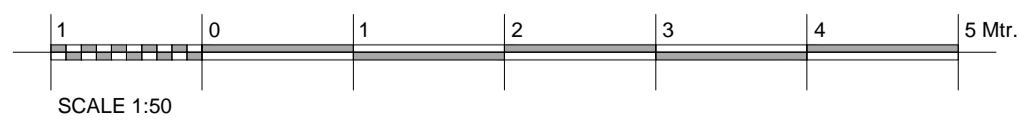
PROPOSED SECTIONAL ELEVATION A
Scale 1:50



PROPOSED SECTIONAL ELEVATION B
Scale 1:50



PROPOSED SECTIONAL ELEVATION C
Scale 1:50



B TIMBER SLAT HEIGHT REDUCED,
NOTES REMOVED 24/02/16 JOH

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Client: Clients Name

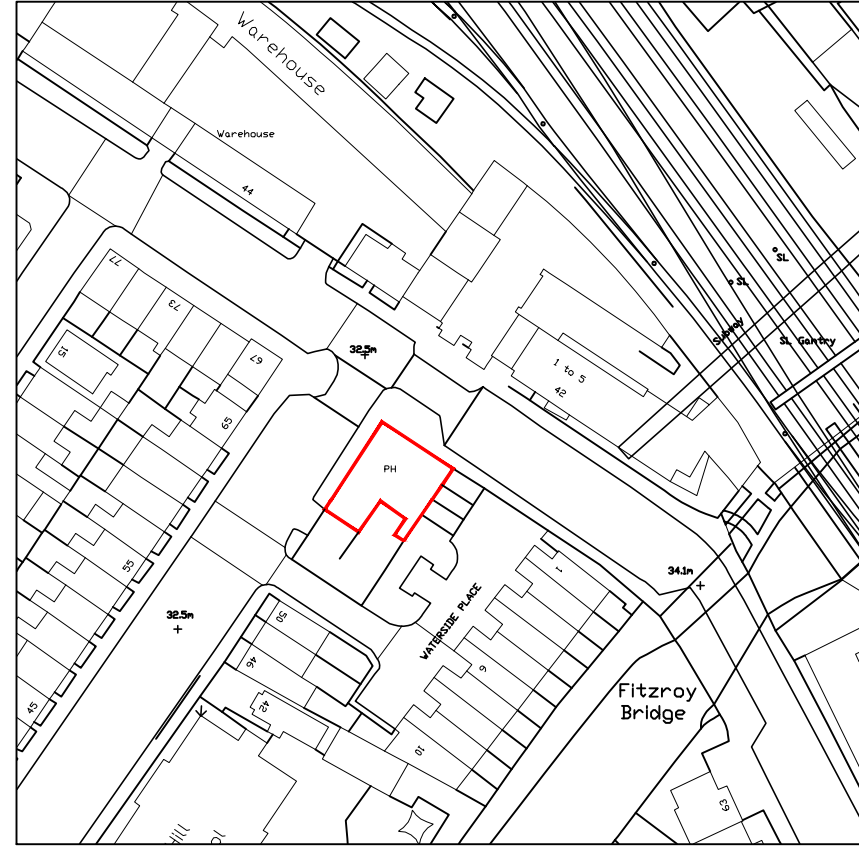
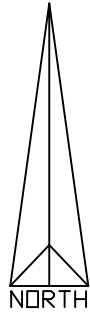
Project:
THE ENGINEER
65 GLOUCESTER AVENUE
MW1 8JH
LONDON

Drawing Title:
PROPOSED ELEVATIONS AND
SECTIONAL ELEVATIONS

Drawing No: 3939-203
Scale: 1 : 50
Date: 03-12-2015
Drawn By: JOH

Revision: B

Drawing not to be scaled. Dimensions indicated must be checked on site before manufacture by contractor, any discrepancy should be reported immediately.



ENGINEER
LOCATION PLAN
SCALE 1:1250

Date

Project : ENGINEER

Scale:
1:1250
@A3

Drawing Number:
ENPR - 07

Rev:

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NOTE: CONTRACTORS ARE TO CHECK ALL SIZES AND DIMENSIONS BEFORE SETTING OUT ANY SITE OR SHOPWORK ANY ERRORS OR DISCREPANCIES TO BE REPORTED AND RESOLVED BY THE SITE SPECIFIC PROJECT DESIGNER / BUILDER AND RESPECTIVE AGENTS.