

H. STATEMENT OF CASE

PLANNING APPLICATION FOR GROUND FLOOR EXTENSIONS AND REAR DORMER ROOF EXTENSION TO B1 COMMERCIAL UNIT

UNIT 5 HAMPSTEAD WEST, 224 IVERSON ROAD, LONDON, NW6 2HL

APPEAL BY LOLA ROSE LTD. AGAINST LONDON BOROUGH OF CAMDEN'S DECISION TO REFUSE PLANNING APPLICATION REFERENCE NUMBER 2015/1667/P

1. Introduction

- 1.1. This appeal has been submitted on behalf of Lola Rose Ltd. (the appellant), against London Borough of Camden's refusal of planning application reference number 2015/1667/P, for the construction of ground floor extensions and a rear dormer roof extension to a B1 commercial unit. The appeal site is located at Unit 5 Hampstead West, 224 Iverson Road, London, NW6 2HL. The application was refused under delegated authority on 22 July 2015.
- 1.2. The Decision Notice cites the following reasons for refusal:
 1. *The proposed extensions by reason of their size, location and detailed design, would be harmful to the character and appearance of the host building, and group it forms a part of, contrary to policy CS14 (Promoting high quality places and conserving heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) of the London Borough of Camden Local Development Framework Development Policies.*
- 1.3. The Decision Notice and Officer's Report is attached at Appendix 1.

2. The Site and Area Context

- 2.1. The appeal site is located at Unit 5 Hampstead West, 224 Iverson Road. The site is a semi-detached B1 commercial unit, located in the north western corner of the Hampstead West development.
- 2.2. The site is a two storey purpose built commercial building, dating from the late 1980s, and forms part of the Hampstead West site. This site is comprised of nine, two storey buildings currently all classed as B1 usage. The site features a warehouse on the ground floor and office space on the first floor. Unit 5 is viewable directly from Iverson Road, and has limited off street parking.
- 2.3. The site is in close proximity with West Hampstead Interchange, which contains West Hampstead Thameslink, West Hampstead Overground and West Hampstead

Underground stations. There are a number of nearby bus stops as well which are served by routes connecting the area with the rest of London.

3. The Proposed Development

- 3.1. It is proposed to extend the ground floor and construct a rear dormer roof extension.
- 3.2. The extension would provide an additional internal mezzanine floor for use by this established and growing local company.
- 3.3. The company, Lola Rose has been located within the London Borough of Camden since the company's conception some 15 years ago. The business was previously located in Belsize Road and the company's growth led to the purchase of 5 Hampstead West as its UK headquarters.
- 3.4. Lola Rose London is one of the UK's leading accessories brands, and is sold in virtually all of the UK's leading department stores and some of the most recognisable retail stores around the world, including Bloomingdales in the USA and Bon Marche in France.
- 3.5. The company is developing new fashion accessory products for UK and worldwide distribution and therefore requires additional showroom and design space. The proposed extension would create additional floorspace, enabling Lola Rose to bring its showroom and design facilities together under one roof. In addition to this, the extra floorspace would allow Lola Rose to increase its current number of employees from 30 to 36. These jobs would consist of roles as designers, graphic designers, digital marketing and sales staff.
- 3.6. The appellant and company owner, Nikki Gerwitz, provides a summary of the reasons for the choice of this site as the company's new headquarters within the Architecture & Design Statement, which includes:

“With the incredible transport links into West Hampstead and the ongoing regeneration of the immediate area there will be a compelling story for Fashion Buyers to visit the Lola Rose HQ and choose the collections for their respective stores as well as a brilliant work environment for Lola Rose's talented design and office team.

We are proud to have chosen West Hampstead for this new chapter in Lola Rose's growth.”

4. Planning Policy

4.1. The Development Plan is the Camden Local Development Framework (Core Strategy and Development Policies), adopted November 2010. Relevant policies are set out below:

4.2. Core Strategy, adopted November 2010

- CS1 Distribution of growth
- CS2 Growth areas
- CS3 Other highly accessible areas
- CS8 Promoting a successful and inclusive Camden economy
- CS14 Promoting high quality places and conserving our heritage

4.3. Development Policies, adopted November 2010

- DP13 Employment premises and sites
- DP24 Securing high quality design

4.4. The London Plan, March 2015

- Policy 2.9 Inner London
- Policy 4.1 Developing London's Economy

4.5. NPPF:

- Achieving sustainable development; Paragraph 9.
- 1. Building a strong, competitive economy; *Paragraphs 18 and 19.*

4.6. Fortune Green and West Hampstead Neighbourhood Plan, adopted September 2015

- Policy 2: Design & Character
- Policy 4: West Hampstead Growth Area

Site C8. Iverson Road: the road currently has a mix of residential and business/commercial space. This mix should be preserved.

- Policy 12: Business, Commercial and Employment Premises and Sites

5. Consideration of Main Issues

Whether the design of the proposed development would be harmful to the character and appearance of the host building and group it forms.

- 5.1. The appeal site is located within a small commercial development featuring a design buildings of a similar 1980s contemporary architecture. Surrounding developments feature a mixture of traditional and modern housing schemes which vary in terms of bulk and massing.
- 5.2. The site is not located within a Conservation Area and there are no listed buildings within the vicinity.
- 5.3. The unit is sited at the corner of the commercial development, and has frontages onto both Iverson Road and the business park itself, which is where the main access and arrival point for visitors and staff is located.
- 5.4. The proposal features small single storey extensions to the rear elevation into the business park, along with a rear dormer roof extension which would facilitate the creation of a new mezzanine level inside the building.
- 5.5. The scheme would not include any works to the frontage of the building onto Iverson Road and therefore, the streetscene would remain unchanged from the public domain.
- 5.6. The scheme has been designed to create additional floorspace and modernise the existing building in a sympathetic and appropriate way. Materials are proposed that reflect and complement the existing building. For example, new brickwork would be to match existing, whilst the roof extension would be in zinc cladding which is both long-lasting and modern in appearance.
- 5.7. The character of the business park is changing in response to the needs of its current occupiers. Other buildings within Hampstead West have been granted permission for zinc clad rear roof extensions, including Unit 9, which was granted permission in December 2011 (Ref: 2011/5645/P). Details of this are provided within Appendix 2.
- 5.8. Policy CS14 of the Core Strategy 'Promoting high quality places and conserving our heritage' states that the Council will ensure that Camden's places are "*attractive, safe and easy to use*" in a number of ways. Part a) of this policy is relevant to this application, which states:

"a) requiring development of the highest standard of design that respects local context and character;"

- 5.9. As already noted, the proposals are considered to be of a high quality both in terms of design and materials. The scheme respects the character of the commercial development, focusing all extensions on the inward facing 'rear' elevation, which ensures that the frontage onto Iverson Road remains unaltered.
- 5.10. Policy DP24 of the Camden Development Policies document relates to 'securing high quality design'. It sets out a number of criteria for the design of new buildings and extensions to ensure that they are of the highest standard. The proposed development has been designed within the context of this policy and it is considered to accord with the principles set out.
- 5.11. The specific design concerns of the Planning Officer are set out within the Delegated Report (Appendix 1). Whilst the Officer expresses concerns about the scheme, these are not set within the context of the other changes that have been permitted within Hampstead West, including a similar approach to another of the units. The additional floorspace proposed through the roof extension is a fundamental element to the expansion of Lola Rose. The Architecture & Design Statement which was submitted as part of the planning application clearly illustrates how the proposal would sit within the local context of the site and its surroundings. It also provides examples of similar approaches on nearby buildings (on the 'proposed massing' page).
- 5.12. The changes, whilst appropriate, would also not be visible from Iverson Road itself, and would primarily be viewed from the interior of the commercial site. Whilst some neighbouring properties would be able to see the proposed roof extension, it is unlikely to have any impact on their amenity. Windows already exist on the back of the building facing towards the rear of the site and inclusion of a further three to serve a single business occupier are not considered to represent any further impacts on amenity.
- 5.13. Therefore, the proposed extensions are considered to be appropriate to their context, providing additional floorspace in a suitable, modern and functional design.

Other issues – economic benefits and growth

- 5.14. The decision making process does not appear to have properly considered the wider context and economic benefits of the proposal. As set out in section 3, the application represents the growth of this existing, established and successful business. The company has been located within Camden for 15 years and makes an important contribution to the local economy. The proposal presents an opportunity for the business to grow from 30 employees to 36 employees. These jobs would consist of creative roles as designers, graphic designers and digital marketing alongside sales staff.

5.15. Economic growth is a key component of sustainable development, as set out within the NPPF and Chapter 1 addresses 'Building a strong, competitive economy'. Paragraph 19 states:

"The Government is committed to ensuring that the planning system does everything it can to support sustainable economic growth. Planning should operate to encourage and not act as an impediment to sustainable growth".

5.16. Similarly, paragraph 21 (bullet point 4) of the NPPF states that, amongst others, creative industries should be *"planned for positively"* by the local planning authorities.

5.17. The London Plan recognises and promotes the need for the city to retail and extend *"its global role as a sustainable centre for business, innovation, creativity, ... research, culture and art"* (Policy 2.1 'London in its Global, European and United Kingdom Context').

5.18. The appeal site is located within the 'Inner London' area as defined within the London Plan, and Policy 2.9 states:

"A The Mayor will, and boroughs and other stakeholders should, work to realise the potential of inner London in ways that sustain and enhance its recent economic and demographic growth while also improving its distinct environment, neighbourhoods and public realm, supporting and sustaining existing and new communities, addressing its unique concentrations of deprivation, ensuring the availability of appropriate workspaces for the area's changing economy and improving quality of life and health for those living, working, studying or visiting there."

5.19. Policy 4.1 of the London Plan 'Developing London's Economy' identifies the importance of promoting and enabling *"the continued development of a strong, sustainable and increasingly diverse economy across all parts of London, ensuring the availability of sufficient and suitable workspaces in terms of type, size and cost, supporting infrastructure and suitable environments for larger employers and small and medium sized enterprises, including the voluntary and community sectors"*.

5.20. The site is located within the West Hampstead Growth Area which is addressed within Core Strategy Policies CS1 and CS2, which states that development is Camden to 2025 will be concentrated in the borough's growth areas, including:

"c) Tottenham Court Road, Holborn and West Hampstead Interchange, where the mixed use redevelopment of a number of sites is expected to take place."

5.21. The policy goes on to state that these areas are expected to provide a substantial majority of new business floorspace and will expect development to maximise site opportunities.

5.22. The supporting text to Policy CS2 discusses the West Hampstead Interchange site specifically, and notes that high levels of growth are to be encouraged in the area, including 7,000m² of business floorspace.

5.23. In addition, Policy CS8 'Promoting a successful and inclusive Camden economy' highlights the Council's commitment to securing a strong economy and supporting industries located within the borough. For example, the policy includes recognising the importance of safeguarding existing employment sites and premises in the borough that meet the needs of modern industry and other employers. The supporting text of the policy also identifies the importance of creative industries including design and fashion to the local economy:

"The success of our economy relies on the wide variety of employment sectors that are present in the borough including, professional and business services, the growing 'knowledge economy', for example higher education and research and creative industries such as design, fashion and publishing." (Paragraph 8.1)

5.24. Therefore, the importance of the proposed development to supporting an existing business to grow, and the resulting economic benefits, are fundamental to the determination of this appeal. In addition, supporting the role of the creative industries is identified as a priority within all tiers of planning policy and guidance from national to local. The expansion of Lola Rose that would be facilitated through the proposed development would thus contribute to the economic activity in this important area and sector.

6. Conclusion

6.1. We should avoid falling into the trap of expecting places to stay as they were initially built and resisting desirable change that may arise, necessarily, to response to owner/occupiers' requirements. Buildings are robust to such change, meeting new demands that arise from new economic circumstances including, as in this case, success and growth, and should not be preserved in an unaltered state as a result of a fear that change must automatically be harmful. Adaptation and change can bring about enhancement, interest and vibrancy provided that the design is informed by the context and that the amenities of neighbours are safeguarded. In this case we can see that this investment which will support the ongoing prosperity and success of this local enterprise can occur without any adverse impact on neighbouring properties, the extensions are carefully considered to respond to their context and ensure that there is no adverse impact on the visual amenities of the wider area.

**Lynette Swinburne MRTPI
December 2015**

Appendices

Appendix 1: Decision Notice and Officer's Report. Ref: 2015/1667/P

Appendix 2: Planning Permission at Unit 9 Hampstead West. Ref: 2011/5645/P

Statement of Case Appendices

Appeal Site: Unit 5 Hampstead
West, 224 Iverson Road,
London, NW6 2HL.

December 2015

Appendix 1

Decision Notice and
Officer's Report. Ref:
2015/1667/P

D. J. Peddar
22 Redfern Road
London
NW10 9LB

Tel 020 7974 4444
Textlink 020 7974 6866

planning@camden.gov.uk
www.camden.gov.uk/planning

Application Ref: **2015/1667/P**
Please ask for: **Nanayaa Ampoma**
Telephone: 020 7974 **2188**

22 July 2015

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Refused

Address:

**Unit 5
Hampstead West
224 Iverson Road
London
NW6 2HU**

Proposal:

Erection of rear ground floor extension and installation of rear dormer to B1 commercial unit.

Drawing Nos: 140926/01, 140926/02, 140926/03, 140926/04, 140926/05, 140926/06, 140926/07, 141001/08, 141001/09, 141001/10, 141001/11, 141001/12.

The Council has considered your application and decided to **refuse** planning permission for the following reason(s):

Reason(s) for Refusal

- 1 The proposed extensions by reason of their size, location and detailed design, would be harmful to the character and appearance of the host building, and group it forms a part of, contrary to policy CS14 (Promoting high quality places and conserving heritage) of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 (Securing high quality design) of the London Borough of Camden Local Development Framework Development Policies.

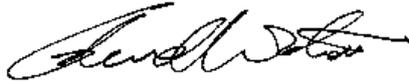


In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Ed Watson', written in a cursive style.

Ed Watson
Director of Culture & Environment

Delegated Report		Analysis sheet	Expiry Date:	15/05/2015
		N/A	Consultation Expiry Date:	30/04/2015
Officer			Application Number(s)	
Nanayaa Ampoma			2015/1667/P	
Application Address			Drawing Numbers	
Unit 5 Hampstead West 224 Iverson Road London NW6 2HU			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of rear ground floor extension and installation of rear dormer to B1 commercial unit.				
Recommendation(s):	Refuse Planning Permission			
Application Type:	Full Planning Permission			
Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				

Consultations

Adjoining Occupiers:	No. notified	38	No. of responses	09	No. of objections	09
			No. electronic	00		
<p>Summary of consultation responses:</p>	<p>Neighbouring properties were also notified via direct letters. Neighbour objections have been received from:</p> <ul style="list-style-type: none"> • 28 Rowntree Close. West Hampstead • Flat 3 Redcroft, 226 Iverson road West Hampstead • Flat 5 Redcroft, 226 Iverson road West Hampstead • Flat 7 Redcroft, 226 Iverson road West Hampstead • Flat 6 Redcroft, 226 Iverson road West Hampstead • Flat 8 Redcroft, 226 Iverson road West Hampstead • Flat 10 Redcroft, 226 Iverson road West Hampstead <p>These comments can be summarised as follows:</p> <ul style="list-style-type: none"> • Works could add to further subsidence in the area • Application should be refused for the same reasons as that at unit 9 in 2012. • Development would interrupt the roofline of the adjoining terraced houses in Rowntree Close and other buildings in Hampstead West. • It will destroy the classic design/uniformity/vista of the complex. • Proposed material, zinc cladding, is totally out of keeping with the striking red brick, which is an intrinsic architectural feature of all the buildings of Hampstead West and Redcroft. • The name "Redcroft" was coined from the character of this red brick which is the signature of these two developments. • The proposed changes do not respect the scale and uniformity of the roofs of Hampstead West. • The new design will rise beyond the pitched roof. • The new design negatively impacts on the character of the area, giving an unsettling/entropic impression in its disrespect of the design which was created to link all nine buildings and produce one complete and pleasing design for the complex that is Hampstead West. <p><i>Officer response: please see section titled Design for comments on design. In relation to subsidence, the application does not comprise of a basement, therefore this is not relevant to its assessment.</i></p>					
<p>CAAC/Local groups* comments: *Please Specify</p>	<p>The application site does not fall in a conservation area. No comments have been received from local groups.</p>					

Site Description

The application site relates to a two storey commercial property that forms part of a relatively large estate development. The property is not in a conservation area and is not listed.

Relevant History

2014/6962/P: Erection of rear ground floor extension and installation of rear dormer to B1 commercial unit.- **Withdrawn 09/01/2015**

Relevant policies

National Planning Policy Framework (2012)

The London Plan (2011)

Core Strategy (2010)

CS5 Managing the impact of growth and development

CS14 Promoting high quality places and conserving heritage

Development Policies (2010)

DP24 Securing High Quality Design

DP26 Managing the impact of development on occupiers and neighbours

Supplementary Planning Policies

Camden Planning Guidance 1 Design (2014)

Camden Planning Guidance 6 Amenity (2011)

Assessment

Proposal

The application seeks planning permission for the development of a roof dormer and a rear extension. The proposed dormer would span the full width of the roof and the proposed ground floor extension would measure 2 metres deep and 3 metres high. It would infill the areas at either side of the existing rear protrusion.

The main issues for discussion are:

- Design
- Amenity

Design

Policies CS15 of the Core Strategy and DP24 of the Development Policies states that the Council will require all developments including alterations and extensions to existing buildings, to be of the highest design standards in terms of the character, setting, context, form and scale to the existing building and the general area.

Supplementary design guidance contained within CPG 1(Design) provides details on how the above policies will be applied. This states that roof alterations or additions are likely to be unacceptable if they would have an adverse impact on the skyline, the appearance of the building or the surrounding street scene. This includes:

- Those developments in an unbroken roofline that are largely unimpaired by alterations or extensions
- Buildings designed as a complete architectural composition and the proposed development would undermine the style or roof level.
- Where the scale and proportions of the building would be overwhelmed by an additional roof extension.

The proposed dormer would span the full width of the rear roof elevation. There are no other dormers on any of the properties that form part of the estate that the site belongs to. Therefore there is an

unbroken roofline. Additionally, the proposed dormer is much too large and would dominant the roof design and rear elevation of the property. The proposed materials would also add to the negative impact of the property. Given its size and location, the dormer would represent an incongruous element in the roofscape. Therefore it is considered unsympathetic to the context and the character of the property and would have a significantly harmful impact on the architectural composition of the building estate and would detract from the appearance of the existing area. Thereby failing to meet points 1, 2 and 3 of the CPG1 detailed above. In fact development a roof dormer, especially of this size, is objected to in principle at the site because of the harm it would have on the whole area and the unbroken roofline as whole.

Although the proposed ground floor extension is relatively minor in size the layout of the building lines in the area do not lend themselves to such additions. The proposed infill extension at either end of the existing rear projection would immediately alter the character of the building. Should the building be situated elsewhere and not form part of composition it is likely that the extension would be acceptable. However due to the architectural merits of the estate, the consideration of the development must also consider the impact on the whole. The development would set a precedent which in time would erode the architectural integrity and consistence of the estate. Therefore the proposed ground floor extension does not relate to the character, setting and context of the site and also fails to comply with policies CS5 and DP24.

Amenity

Under planning guidance CPG6, all developments are required to have some regard for the amenity of existing and future occupants. Policies CS5 (Core Strategy) and DP26 (Development Policies) state that the council will protect the quality of life of existing and future occupiers and neighbours by only granting permission for those developments that would not have a harmful effect on amenity. Such issues include visual overlooking, overshadowing, outlook, sunlight, daylight and artificial light levels.

The application proposed three windows at roof level looking towards the rear neighbours. However there are several windows at this elevation already. Therefore it is unlikely that the addition widows would significantly alter the existing amenity arrangement in the area in terms of overlooking. There are no other amenity issues envisaged.

Recommendation: Refuse planning permission

Appendix 2

Planning Permission
at Unit 9 Hampstead

West. Ref:
2011/5645/P

Mr Damon Peddar

22 Redfern Road
London
NW10 9LB

Application Ref: **2011/5645/P**
Please ask for: **Fergus Freeney**
Telephone: 020 7974 **3366**

20 December 2011

Dear Sir/Madam

DECISION

Town and Country Planning Acts 1990 (as amended)
Town and Country Planning (General Development Procedure) Order 1995
Town and Country Planning (Applications) Regulations 1988

Full Planning Permission Granted

Address:
Hampstead West
224 Iverson Road
London
NW6 2HU

Proposal:
The erection of a rear roof extension to the existing office (Class B1).

Drawing Nos: 1110 31/01; 1110 31/02; 1110 31/03; 1110 31/01/04; 1110 31/05; 1110 31/06; 1110/31/07; 1110/31/08; 1110 31/09

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and



- Country Planning Act 1990 (as amended).
- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The window in the east elevation of the proposed dormer shall be opaque/frosted glazing and non-opening.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 4 The development hereby permitted shall be carried out in accordance with the following approved plans: 1110 31/01; 1110 31/02; 1110 31/03; 1110 31/01/04; 1110 31/05; 1110 31/06; 1110/31/07; 1110/31/08; 1110 31/09

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

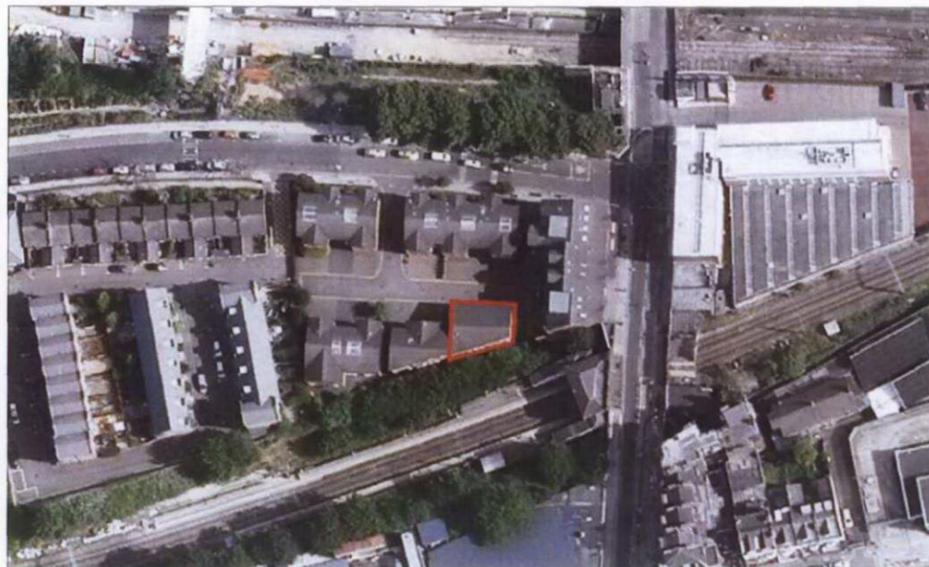
The proposed development is in general accordance with the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policies CS5 (Managing the impact of growth and development) and CS14 (Promoting high quality places and conserving our heritage) and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policies DP24 (Securing high quality design), DP25 (Conserving Camden's heritage), DP26 (Managing the impact of development on occupiers and neighbours). For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to

Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

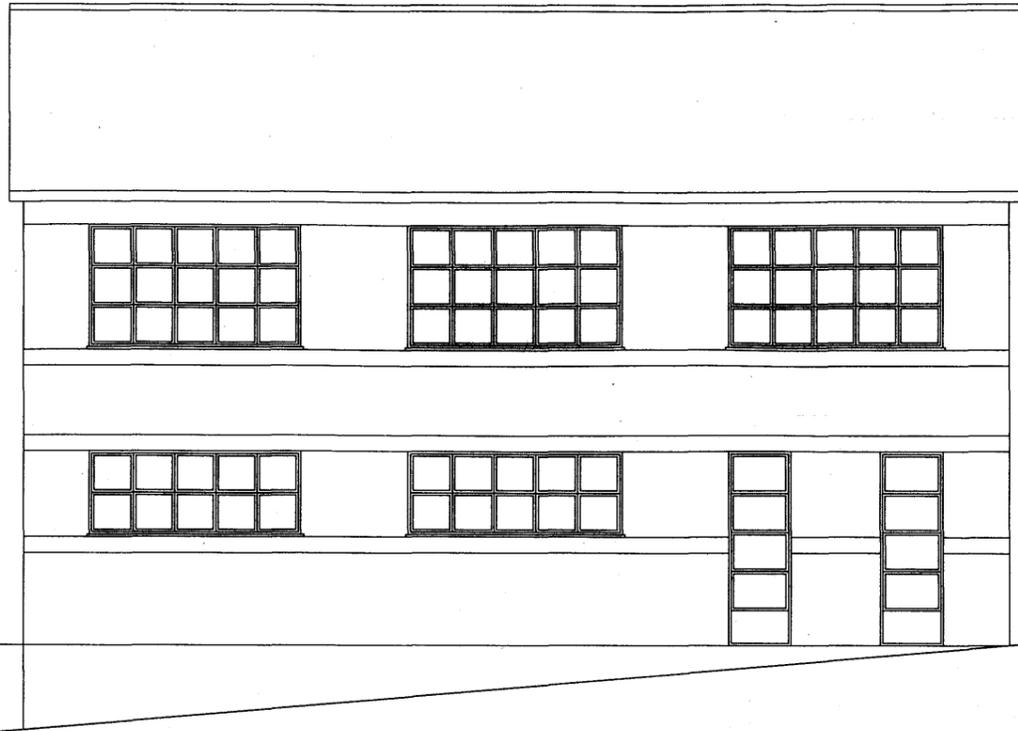
Disclaimer

This is an internet copy for information purposes. If you require a copy of the signed original please telephone Contact Camden on (020) 7974 4444

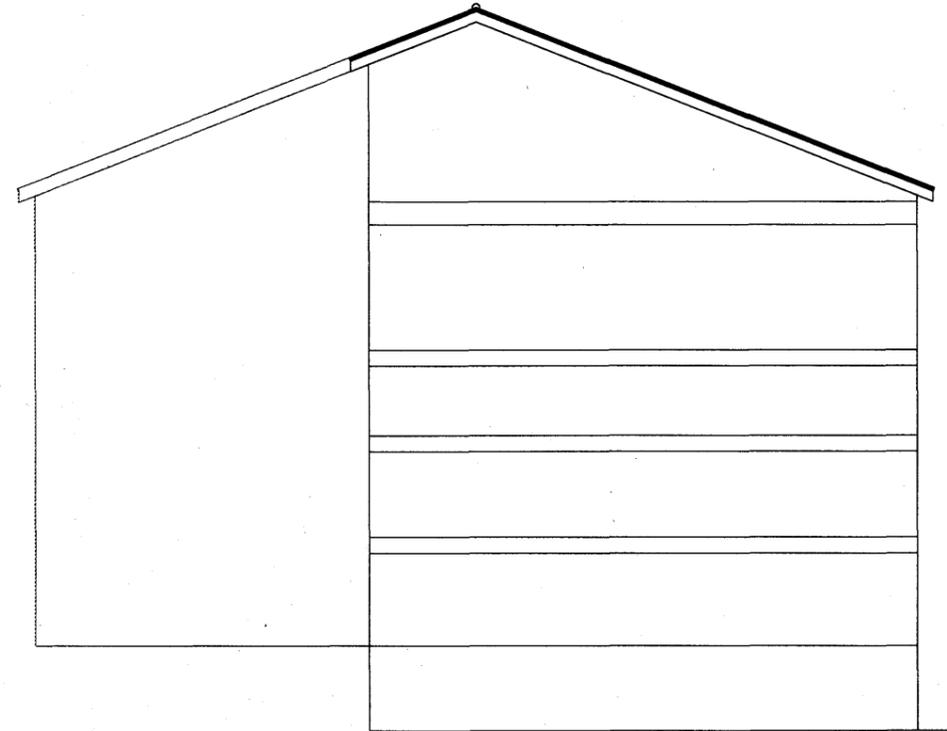


SITE PLAN
1:1250

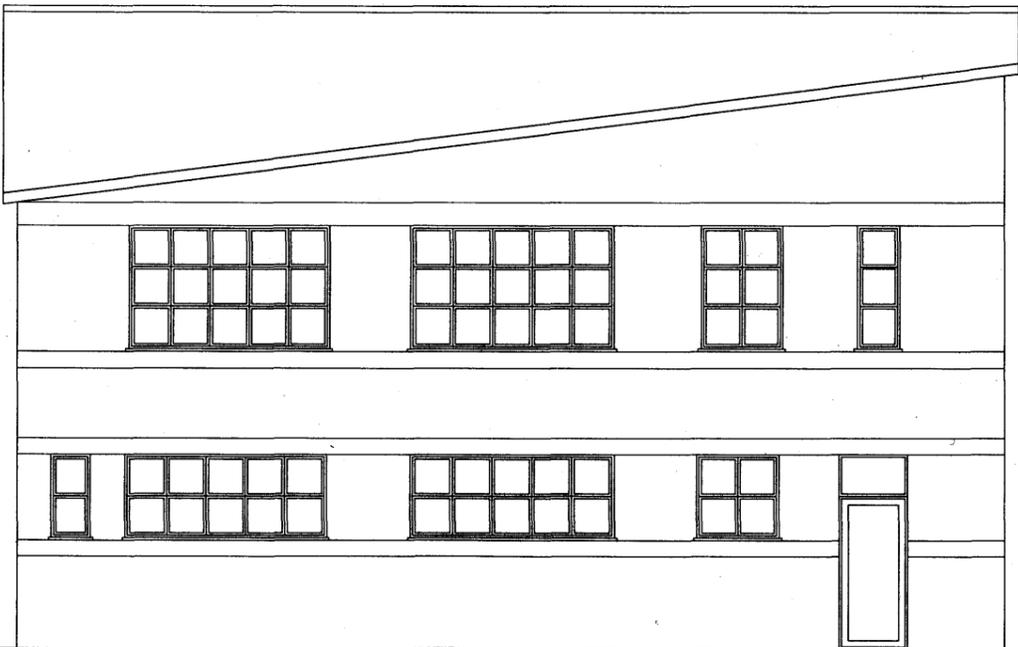
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CLIENT	RAINBOW PROPERTIES Ltd.	SCALE	STATED @ A3	DATE OCT 2011
		DRAWING NO.	1110 31/01	REV.



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

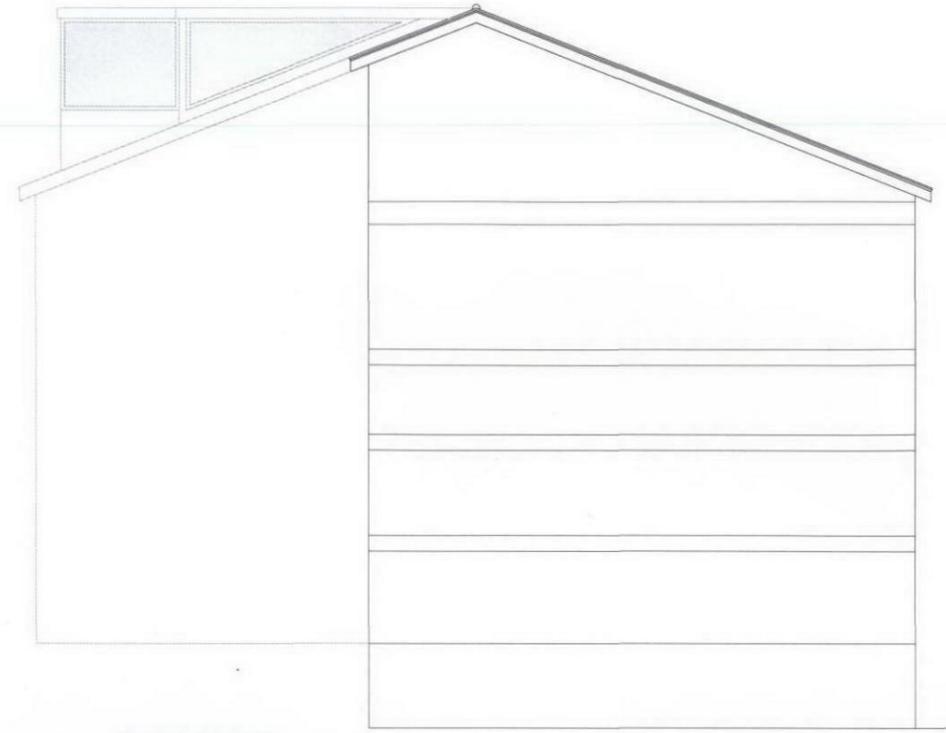


SIDE ELEVATION

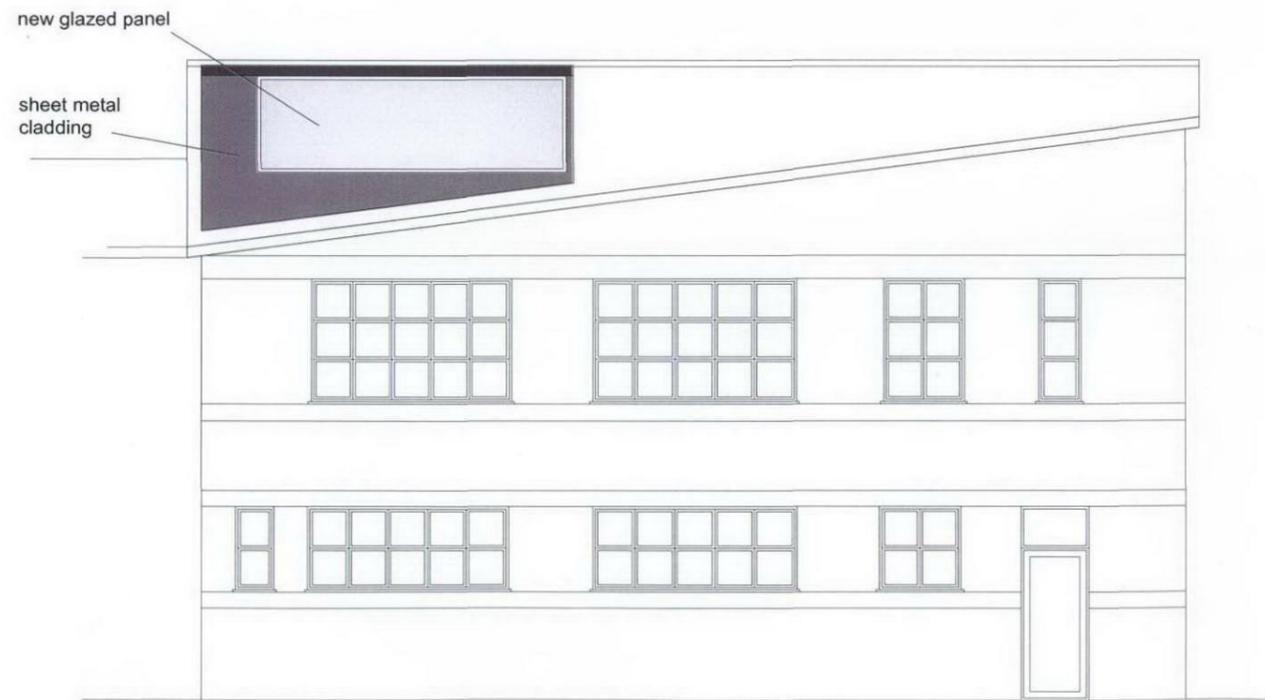
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CLIENT	RAINBOW PROPERTIES Ltd.	SCALE	1:100 @ A3	REV.	
		DRAWING NO.	1110 31/04		



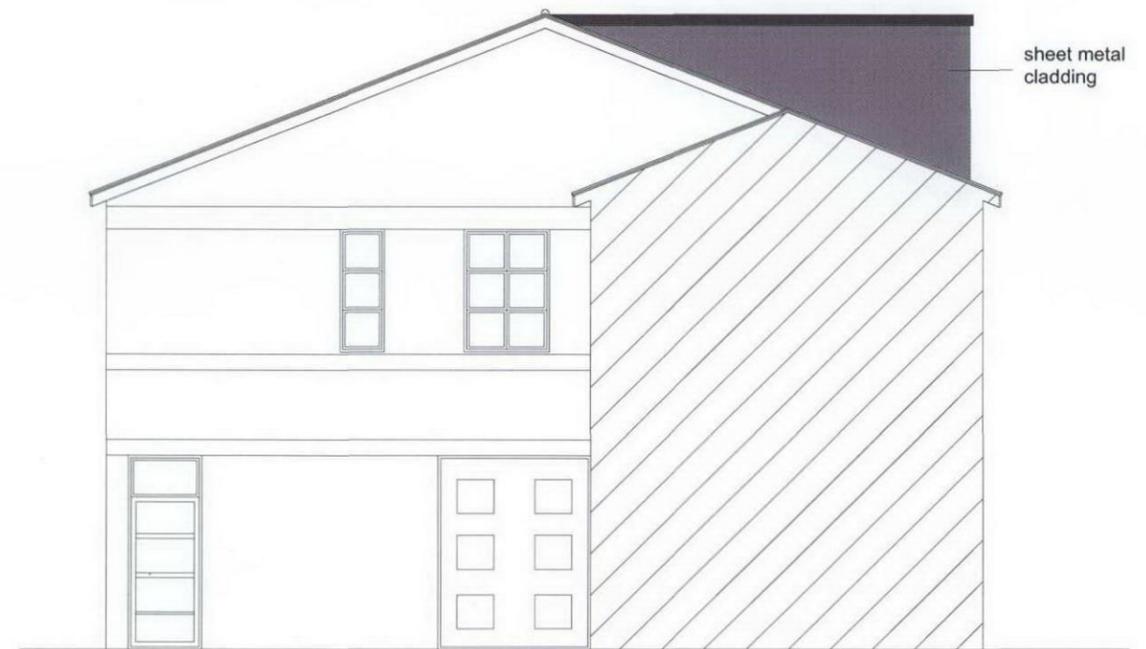
FRONT ELEVATION



SIDE ELEVATION

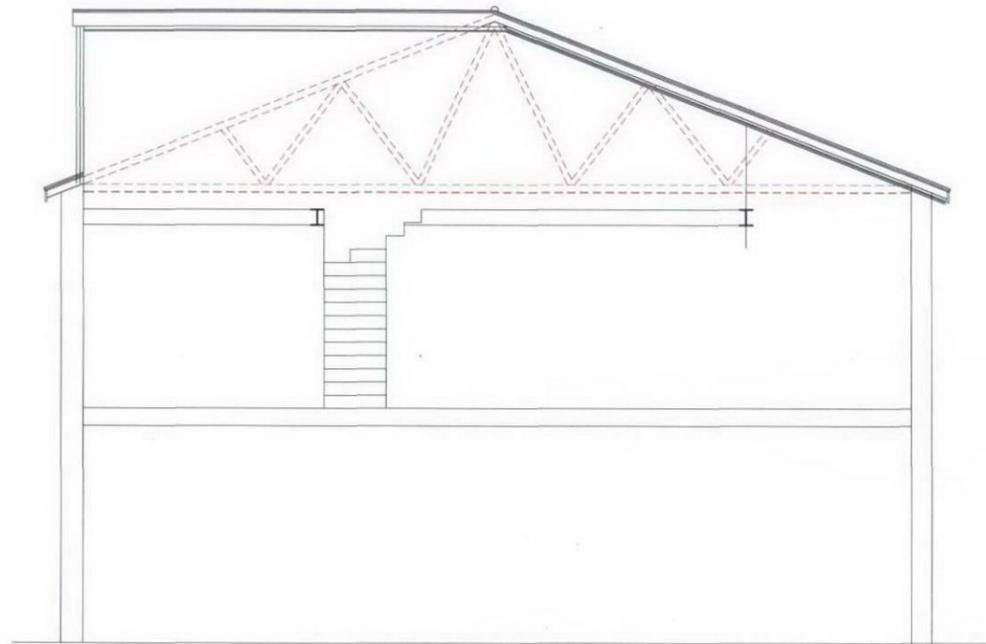


REAR ELEVATION

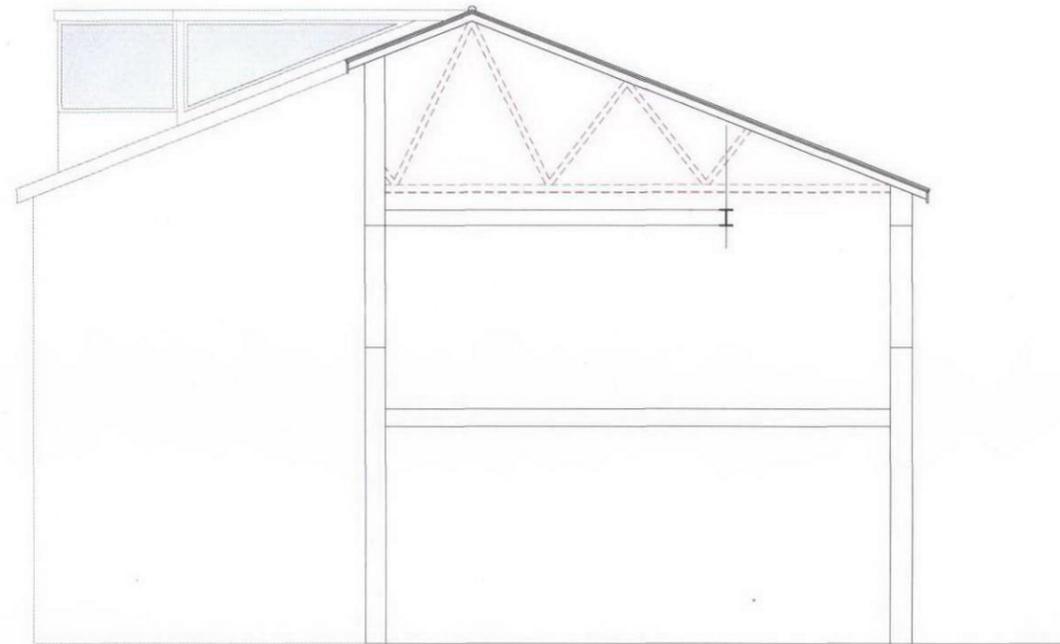


SIDE ELEVATION

TITLE	PROPOSED DRAWINGS	ADDRESS	9 HAMPSTEAD WEST LONDON. NW6
CLIENT	RAINBOW PROPERTIES Ltd.	SCALE	1:100 @ A3
		DRAWING NO.	1110 31/09
		DATE	OCT 2011
		REV.	



SECTION A-A



SECTION B-B

TITLE	PROPOSED DRAWINGS	ADDRESS	9 HAMPSTEAD WEST LONDON. NW6
CLIENT	RAINBOW PROPERTIES Ltd.	SCALE	1:100 @ A3
		DRAWING NO.	1110 31/08
		DATE	OCT 2011
		REV.	