



Proposed South Elevation



Existing South Elevation



Appearance

The appearance of the proposed development is the physical manifestation of all the design decisions that structure it. In this section, we describe what we want the main elements of the proposal to look like, cognisant that in reality, they would be perceived as a whole, and not in isolation.

The South Elevation

The external appearance of the south elevation was, for good reason, considered almost sacrosanct. Change externally is limited to the abutment of the new extensions to the main building, and the minor adjustments to the roof to improve the viability of the roof space. Change is proposed in the most sensitive way possible insofar as the fabric of the listed building is concerned. Therefore, the external appearance of the existing building will read as unchanged, save for the amelioration of it's condition due to the refurbishment.

The East Wing

The appearance of the East Wing has been carefully considered. It is single storey in order to remain subordinate to the principal volume of the listed building and to maintain views to the proud, east chimney. The detailing of the East Wing takes cues from the listed building, which means it can hold its own as an entity, while fulfilling its role in a unified composition.

New Basement Doors

The new basement doors permit access to outdoor space from the basement units. The existing windows have been attenuated to form an external door. This is below ground level and, with the retention of the brick arches, the view from Eton Avenue will read in a very similar manner to the existing.

New Dormers

The new dormers have been designed to be respectfully modest so they don't dilute the primacy of the main roof, or interrupt it's silhouette value. Each dormer has been aligned with the window below that in turn has a window below it. In this manner, the dormers reinforce existing compositional devices, all this while making viable the second floor roof space.

West Extension

The west extension puts to good use the west yard, converted from a scappy open space to precious, valuable accommodation. It is simply detailed in matching materials to effect a very simple extension, while retaining the all the arched windows bar one.



The North Elevation

The appearance of the proposed north elevation as perceived from Lancaster Grove is very little changed from the existing.

The east extension appears only marginally larger than the store building it replaces, the roof slope and materials providing a direct memory of the existing building.

The new dormers over the external walkways are again set up on the centrelines of the motifs below. The grouping of three dormers echoes the three dormer rhythm over the fire tender bays.

The west extension is modest and replaces the large, existing double gates.



Existing North Elevation



The West Elevation

The west elevation sees two very modest extensions to provide additional living accommodation. They have been set down low intentionally in order to preserve the arched windows above.

New dormers at roof level make feasible new accommodation within the loft space.



Proposed West Elevation



Existing West Elevation



Proposed East Elevation



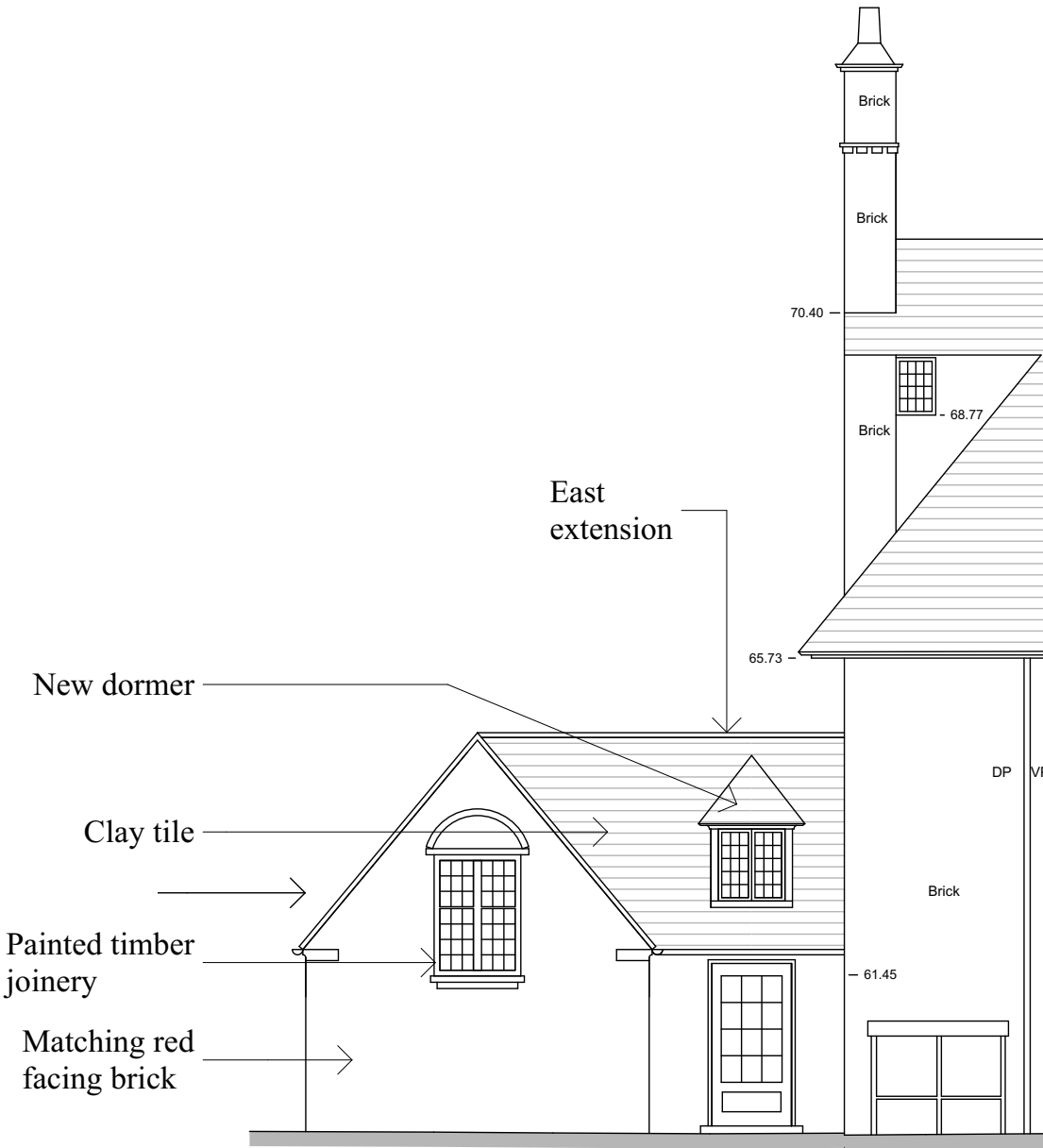
Existing East Elevation



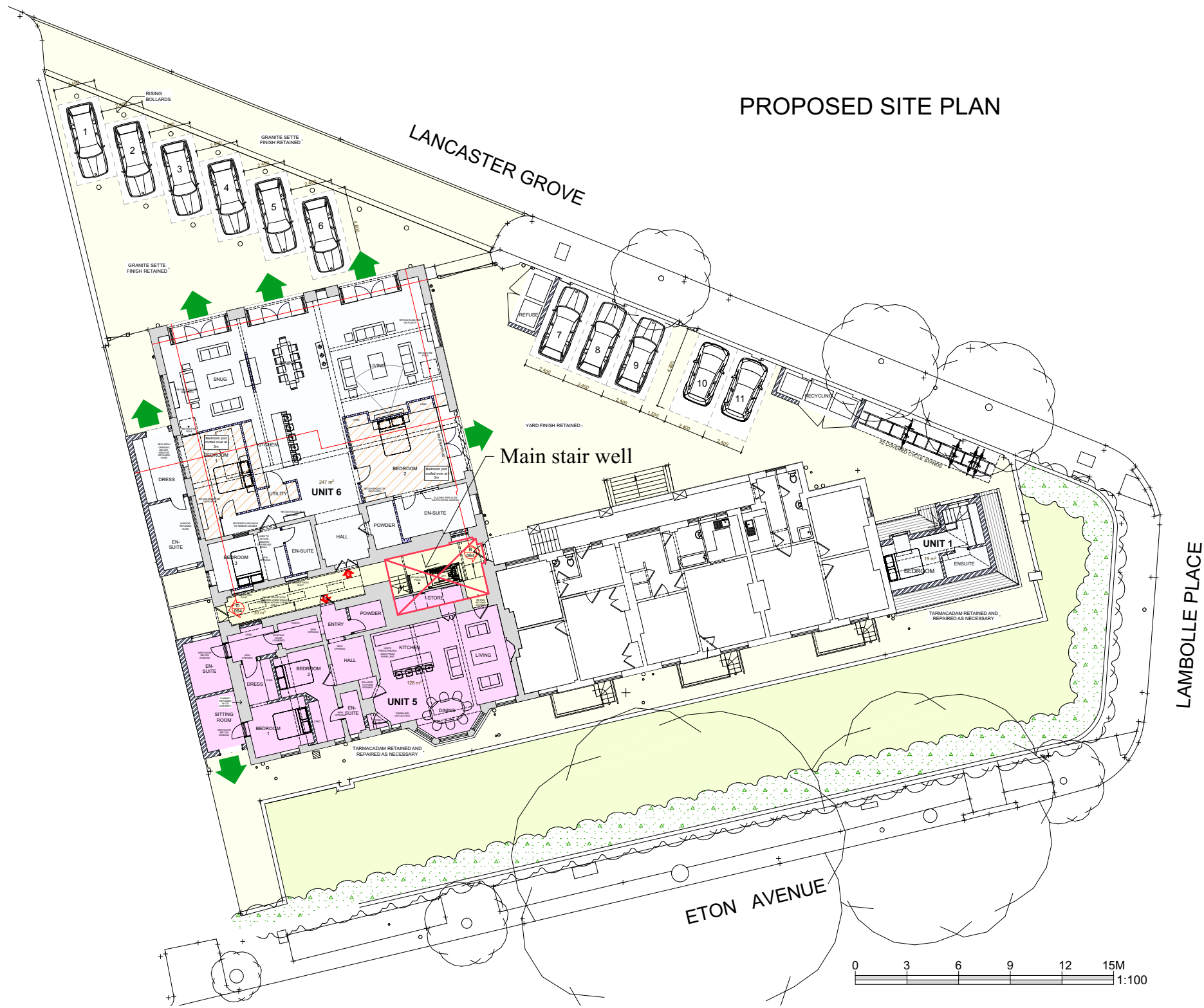
- Handmade red multi facing brick with blue accent
- Portland stone dressings
- Painted rainwater goods
- Portland stone gate posts



- Clay roofing tile with bonnet hips
- Dormer with tiled cheeks and timber eaves bedmould
- Creasing tile details
- Handmade red multi facing brick with blue accent
- Timber joinery



Proposed Part North Elevation



Proposed Ground Floor Plan



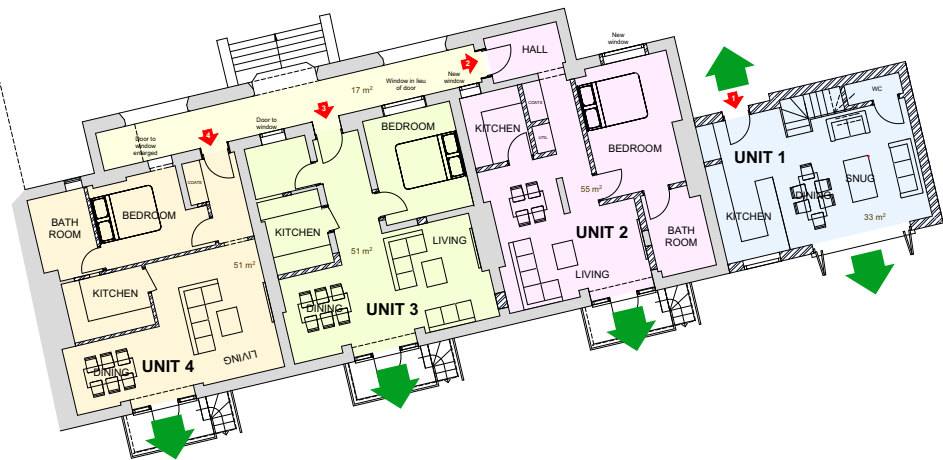
Access

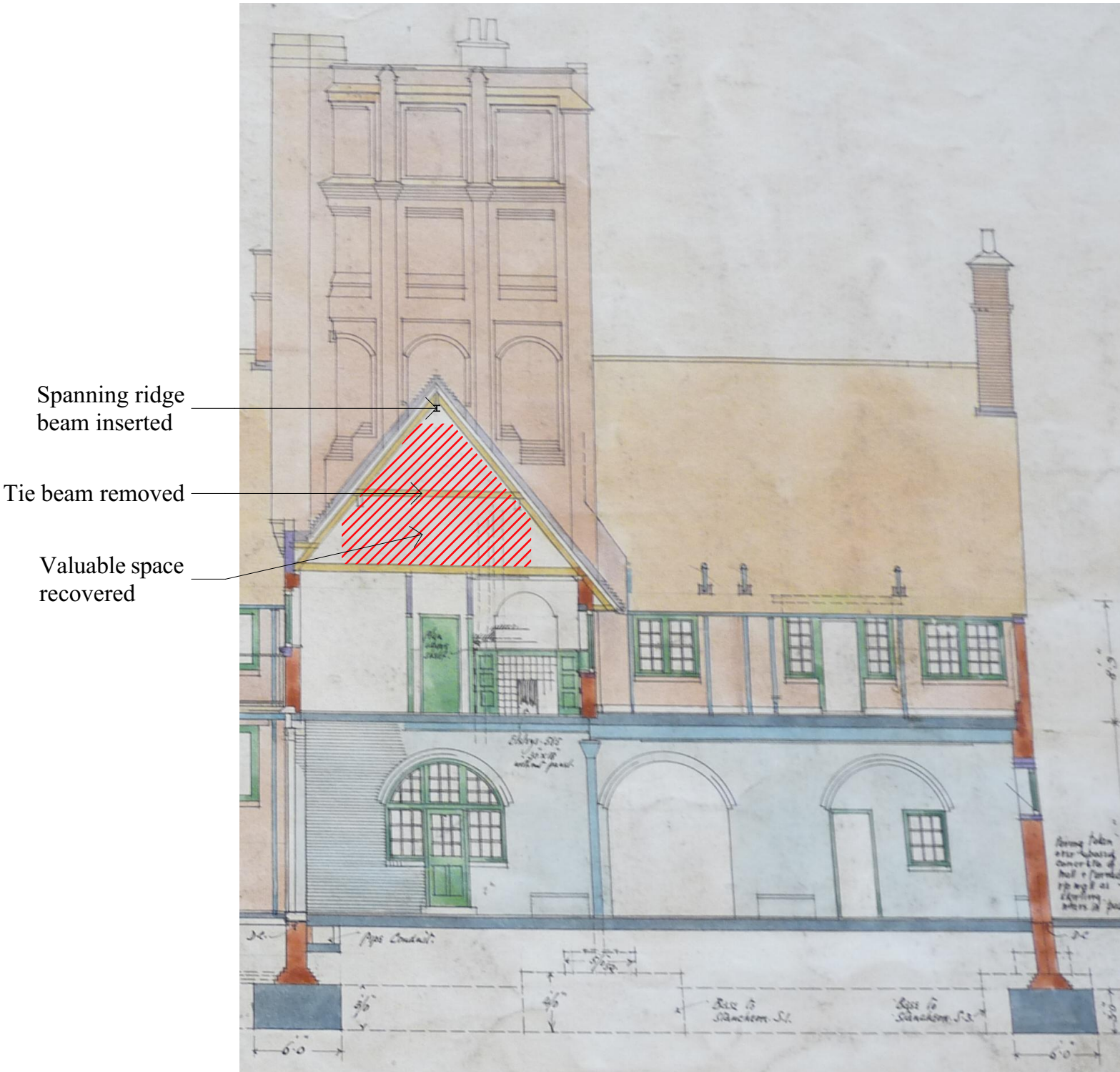
Access to the internal court will be unchanged via the existing gate off Lancaster Grove, where up to six parking bays are provided. There is a new access to Unit 9, and access provided to Unit 1 at basement level.

There is no change to the way access is facilitated via the stairwell. This is recognised as the circulation hub of the building and the mechanism by which the upper floors are reached. The detailing and ceramic tiled finish will be retained under the current proposal. Access to the stairwell is via the internal court.

The accessibility to the west of the site is very good given there is on grade access at ground floor level from where a new lift is accessible in the stairwell. Therefore, the sacrifice of historic fabric associated with access is not invasive. The east is less straightforward at basement and ground where access is predicated on negotiating steps.

The main change in accessibility terms concerns direct access to outdoor space. The green arrows identify location where access is provided to the outdoors. It is link that uplifts the sustainability of the proposal by creating better, multi-dimensional spaces to live in.





East-west section through first floor courtyard.

Sustainability

At the heart of this proposal lies the listed building. Given very little about the listed building can be altered, the exercise here in sustainability is finding another use for the building such that it does not remain empty for any longer than necessary. This is a very handsome building, in fine fettle, and in very good position to make real the intentions of the proposal.

The design will evolve to make best use of the following energy saving principles:

- 01. Maximising the use of Natural Ventilation and providing better window openings and CO2 controlled ventilation.
- 02. Maximising the use of natural daylight and sunlight.
- 03. Heat reclaim ventilation to sanitary facilities.
- 04. Solar and other gain limitation in accordance with the London Plan's 'Cooling Hierarchy'.
- 05. Reducing both hot and cold water consumption through low use water fittings including dual flush toilets, non-concussive taps etc.
- 06. Better Lighting Design and minimising amenity lighting to only what is necessary through better controlled external lighting - providing daylight and PIR switching to the external lighting.
- 07. Variable speed inverter drives will be provided on pumps and fans.
- 08. High efficiency condensing gas fired boilers.
- 09. Carbon monitoring system to inform the occupants of their consumption and to monitor the performance of the plant.
- 10. Insulation: The roof of the refurbished building will be insulated [0.25W/m2K] to reduce heat losses.
- 11. Eco-labelled white goods: All white goods will be A-rated.
- 12. Creation of viable living space within existing lofts, see left, that are made workable via the introduction of dormer windows.

Conclusion

In simplest terms, the applications involve the change of use for residential purposes. Until recently, the fire station occupancy of the site existed for almost 100 years, much of that use including the provision of residential accommodation.

The current proposal involves work to the property in the form of demolition of the east, single storey annex. In addition, new extensions will be provided on the east and the west, an elements of the building will be modified to make accommodation viable. All of these will be carried out in accordance with this Design Statement and Appendices produced by the design team. The documentation shows that the proposals respect the heritage asset that is the listed building, and evince plans to safeguard its retention for future generations.

In addition to the works to the listed building itself, the south garden will be transformed by the creation of direct access points from the main building, thus underpinning the sustainability of residential use. In this manner, the historic setting of this important structure is further enhanced.

It is considered that the proposal would be consistent with national strategic and local planning policy thus:

- (a) A new residential use is proposed for the listed building, a use that it fulfilled to a large degree previously, and which now safeguards its future.
- (b) The proposals have been carefully developed by the whole design team in order to preserve the building, its setting and all features of special architectural or historic interest.
- (c) No harm is brought to the character, appearance or setting of the locality, indeed, it will be preserved and enhanced.
- (d) It is a highly specific typology, different from neighbouring buildings via its layout, scale and mass, and is thereby a feature landmark. This proposal doesn't alter this relationship at all, in fact, it will take a keen eye to detect any change at all.
- (e) The new extensions are very restrained and seek to augment the historic setting and architectural integrity of the listed building.
- (f) The new extensions are carefully laid out and provide a safe and secure residential environment.
- (g) The landscaping marks a sea change from the existing layout in that the accommodation and outdoor space are in direct communication.
- (h) Best use is now made of the south garden which goes to enhancing the setting of the listed building.
- (i) The building to be demolished is not without merit, however, its use as a store in a narrow layout doesn't make it readily adaptable to another use. Its demolition ensures best use is made of the opportunity to develop efficiently.
- (j) The proposals will not cause any material harm to the daylight and sunlight that occupiers of neighbouring properties can expect to enjoy.
- (k) The proposed development would not cause significant harm to the privacy that occupiers of neighbouring properties can reasonably expect to enjoy.

Having regard to the foregoing it is evident that the Applicant is prepared to spend a large part of the overall estimated project budget in order to restore this Grade II listed building and greatly extend the life of this important structure for the benefit of future generations. This is a very detailed scheme where the various implications have been considered in great detail and the benefits of this development are fully articulated.

