

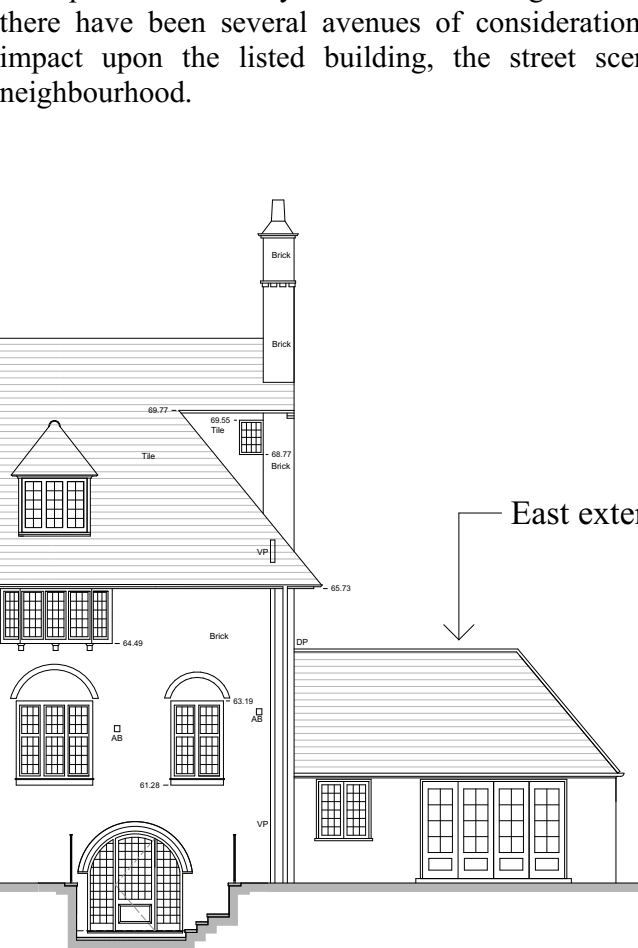
Scale

The scale of the proposed elements of new development is to do with the size of the new buildings and exterior spaces. Insofar as size is concerned, the design of each new element responds to its own unique set of constraints, however, scale is influenced by the factors listed below:-

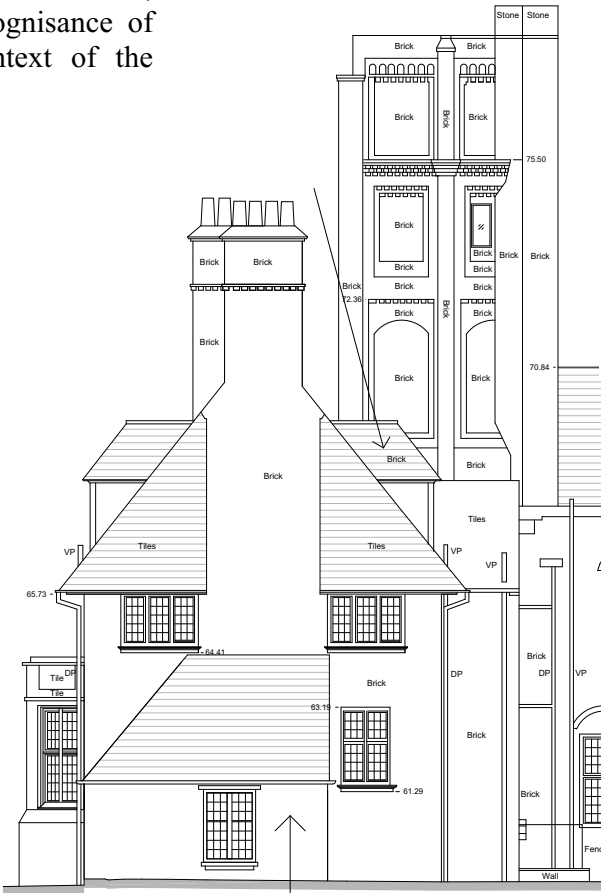
- (a) The setting of the listed building, and the scale of the new extensions and their interfaces with the listed building, have been sensitively handled to ensure harmonious integration
- (b) Size will be a manifestation of a new use
- (c) Cognisance has been taken of the neighbourhood to the extent that the character of the built context will be preserved and not harmed in any way, and the amenity and privacy of the neighbouring sites respected
- (d) The Applicant's requirements have been met within a restrained extension of the built fabric.
- (e) Its size should unlock and empower other elements of the overall concept to the benefit of the whole scheme.

The East Extension

We begin here because the new east extension plays a complex role. On a fundamental fiscal level, it represents a large proportion of the enabling quantum required to underpin the feasibility of the undertaking. Concerning the matter of size and bulk, there have been several avenues of consideration, all of which bear cognisance of impact upon the listed building, the street scene and the wider context of the neighbourhood.



Proposed Part South Elevation



Proposed Part East Elevation

(a) Its position at the east end, replacing the existing stores, puts it actively within the street scene, as well as at the foot of the distinctive chimney. It has been sensitively considered thus:

- has an apparent single storey scale
- is demonstrably subordinate to the main building
- doesn't interfere with compositional value of the powerful east chimney
- it is arguably a more subtle modulation of scale down from that the main building than the building it replaces

(b) The aim with the east extension has been to create confident architectural entity in its own right that contributes to the street scene, without the penalty of bulk. As a result, the extension is able to provide the necessary accommodation without subsuming any part of the listed building and its amenities, or impacting harmfully upon the locality

(c) The east extension makes best use of space that otherwise would have been very difficult to integrate with the listed building, either as meaningful garden or recreation space.

The West Extension

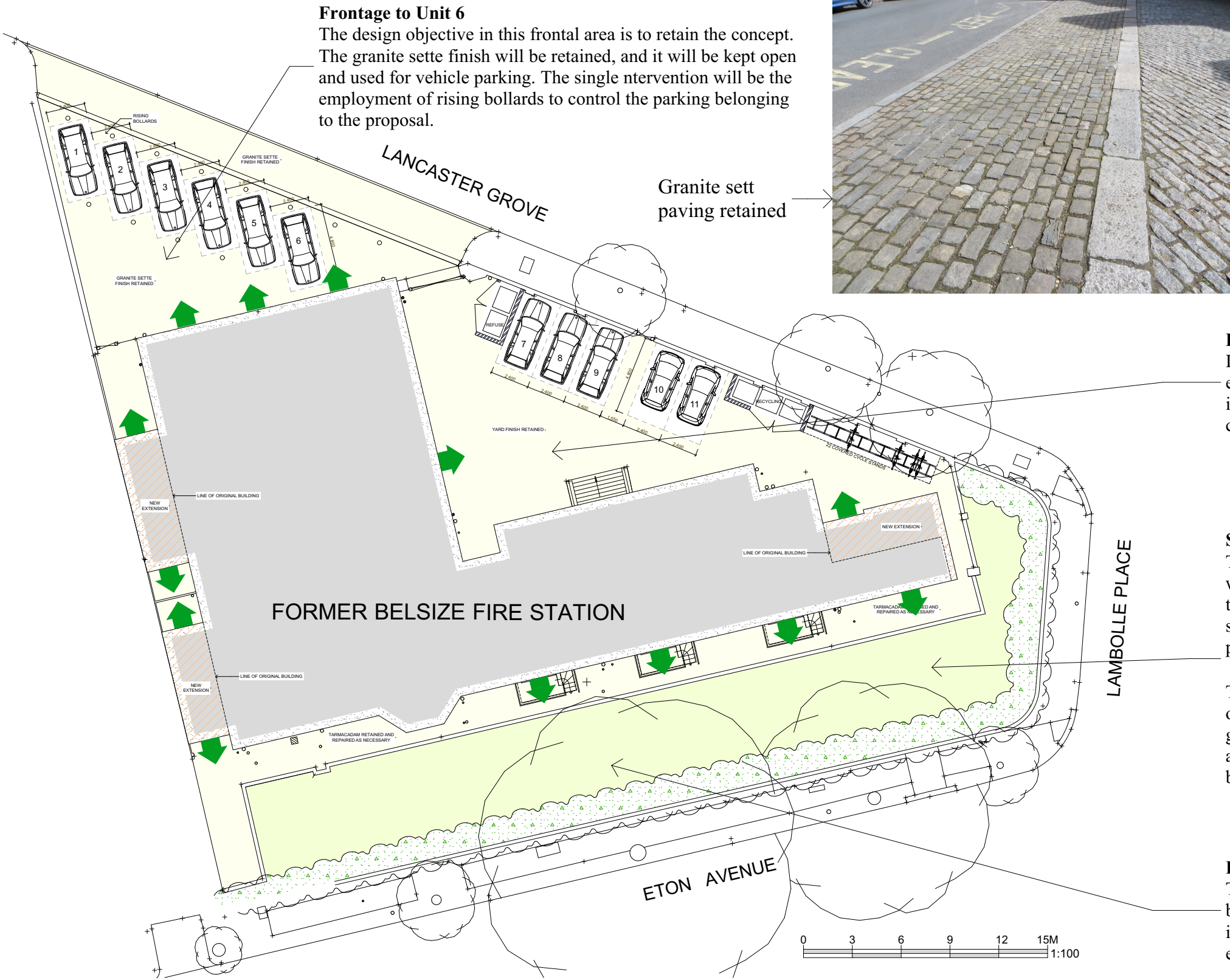
The west extension is very modest in size. It sets up to:

- make best use of the scrappy west yard
- to provide necessary accommodation to meet the requirements of the Applicant's brief
- respect the openings of the listed building
- to employ a palate of materials and colours to tie it to the main building.



West extension





Internal court
It is proposed to keep the internal court as it presently exists, but provide the benefit of any remediation that is required. The Internal Court will accommodate five cars, refuse and recycling stores, and bicycle storage.

South Garden
The south garden has presently almost no relationship with the listed building other than the building encloses the northern edge. There is no access directly from the south of the building to the garden as activity was previously focused on Lancaster Grove.

This changes under the proposal, where green arrows on the plan opposite denote new direct access to the garden for Units 1 - 5. In this manner, the wonderful amenity of this south garden is fully utilised to the benefit of the occupants.

Planting and landscaping
The landscaping proposal is very limited, the scene being set by the beautiful trees on Eton Avenue. The intention is that lawn is relaid following husbandry of the existing plants and the removal of the delapidated BBQ.