

Planning, Design & Access Statement

37A, Fitzjohns Avenue, NW3 5JY

Erection of roof extension by one floor, and rear extensions to kitchen and dining rooms.



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INTRODUCTION

This document has been prepared by Opsis Design Ltd, Unit 19 Westbourne Studios, 242 Acklam Road, W10 5JJ, as agent on behalf of Mr Ovais Halim.

This document accompanies and is in support of the planning consent in a conservation area application for the roof extension and ground floor rear extension of 37A, Fitzjohns Avenue, NW3 5JY.

The purpose of the document is to demonstrate that the proposed works at the above address:

- Do not conflict with current planning policies.
- Will not have a negative impact on the neighbouring occupants.
- Will not have a negative impact on the character of the conservation area as set out in the Fitzjohns/Netherhall Conservation Area Statement

EXISTING SITE & CONTEXT

The property is a 3 storey end terrace in a block of 3 1960's terraced houses, located on the West side of Fitzjohns Avenue at the junction of Nutley Terrace, in the Camden Borough. The property is currently use class C3(a) Family Dwelling House over three storeys.

The property is situated on the prominent streetscape of Fitzjohns Avenue, which falls within the Conservation Area of Fitzjohns/Netherhall. The surrounding area is predominantly Dwellings, with a Nursery School in close proximity further south along Fitzjohns Avenue.

The striking architecture along Fitzjohns Avenue primarily late 19th Century. The grandeur of the many 3 Storey Detached houses, with semi-basements, grand steps leading to raised ground floors are imposing along the well defined streetscape of trees and verge.

There are various late 20th Century buildings on the street which are somewhat unsympathetic to the 19th Century architecture.

There are a number of listed buildings along the street, including Number 47 (1880 George Lethbridge) and Number 55 (1880-81 JT Wimperis), but there are no listed buildings in the immediate context of the property of this application.



EXISTING SITE & CONTEXT - IMAGES



NO 37A - END TERRACE OF 1960'S BLOCK



NO 35 - PROPERTY NEXT TO APPLICATION SITE

EXISTING SITE & CONTEXT - IMAGES



FITZJOHNS AVENUE - OPPOSITE STREET SCAPE



FITZJOHNS AVENUE - ADJACENT STREETSCAPE

PLANNING HISTORY

There have been various planning applications regarding the property of 37A Fitzjohns Avenue, as well as the 3 terrace block as a whole.

Planning consent was permitted in 2000 for a proposal to the property which was of similar scale and detail as the proposal here in.

This permission was for 37 A,B, C to all have a roof extension. Number 37B was extended as per the planning permission.

(ref: PWX0002200 - Allowed on Appeal)



37A /B/C - 1960'S END BLOCK AT NUTLEY TERRACE

PROPOSAL

It is proposed that the roof will be extended by one floor as well as a small single storey glazed rear extension of approx. 2m².

Roof Extension:

It is proposed to extend the roof of Number 37A to match the scale of the roof extension of number 37B (completed post 2000).

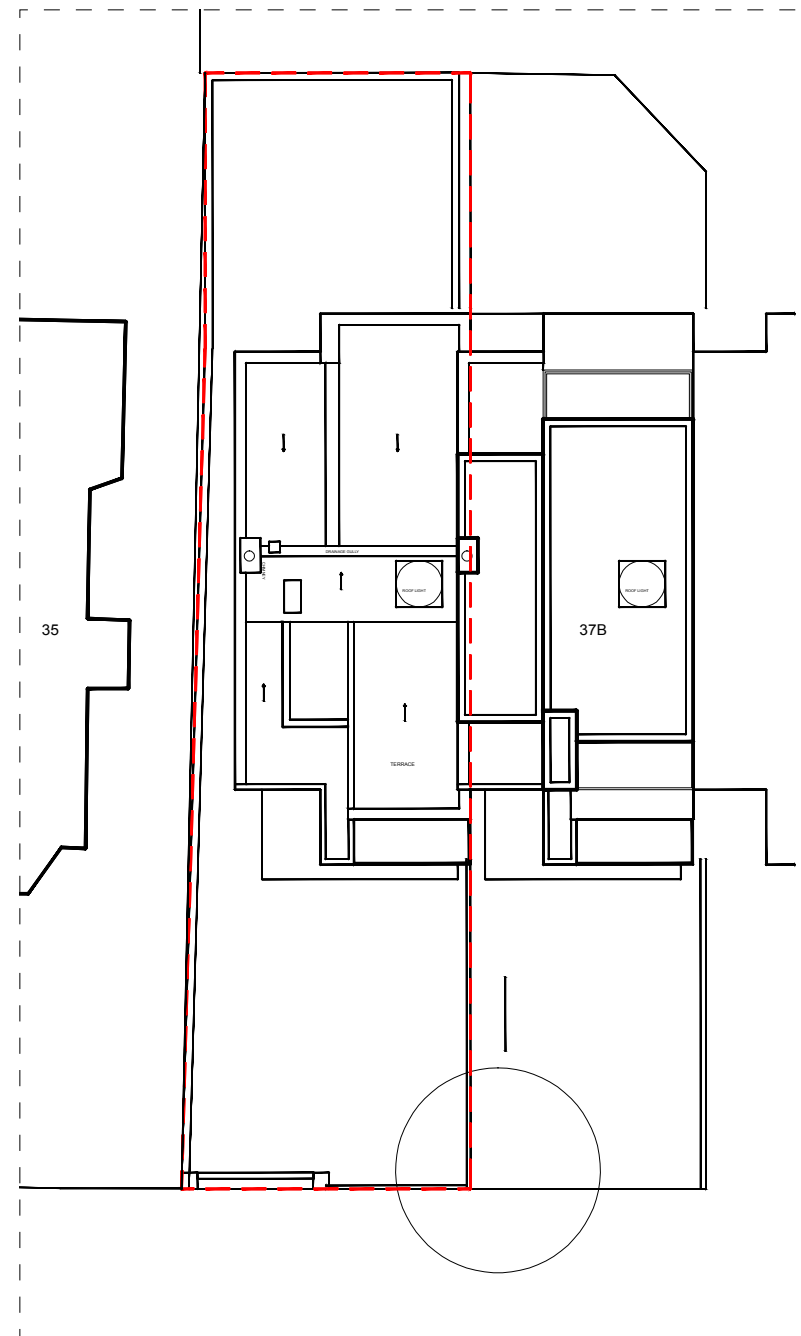
Rear Extension:

It is proposed to extend the current recessed rear kitchen door, as well as the dinning area by approximately 15 m² in total.

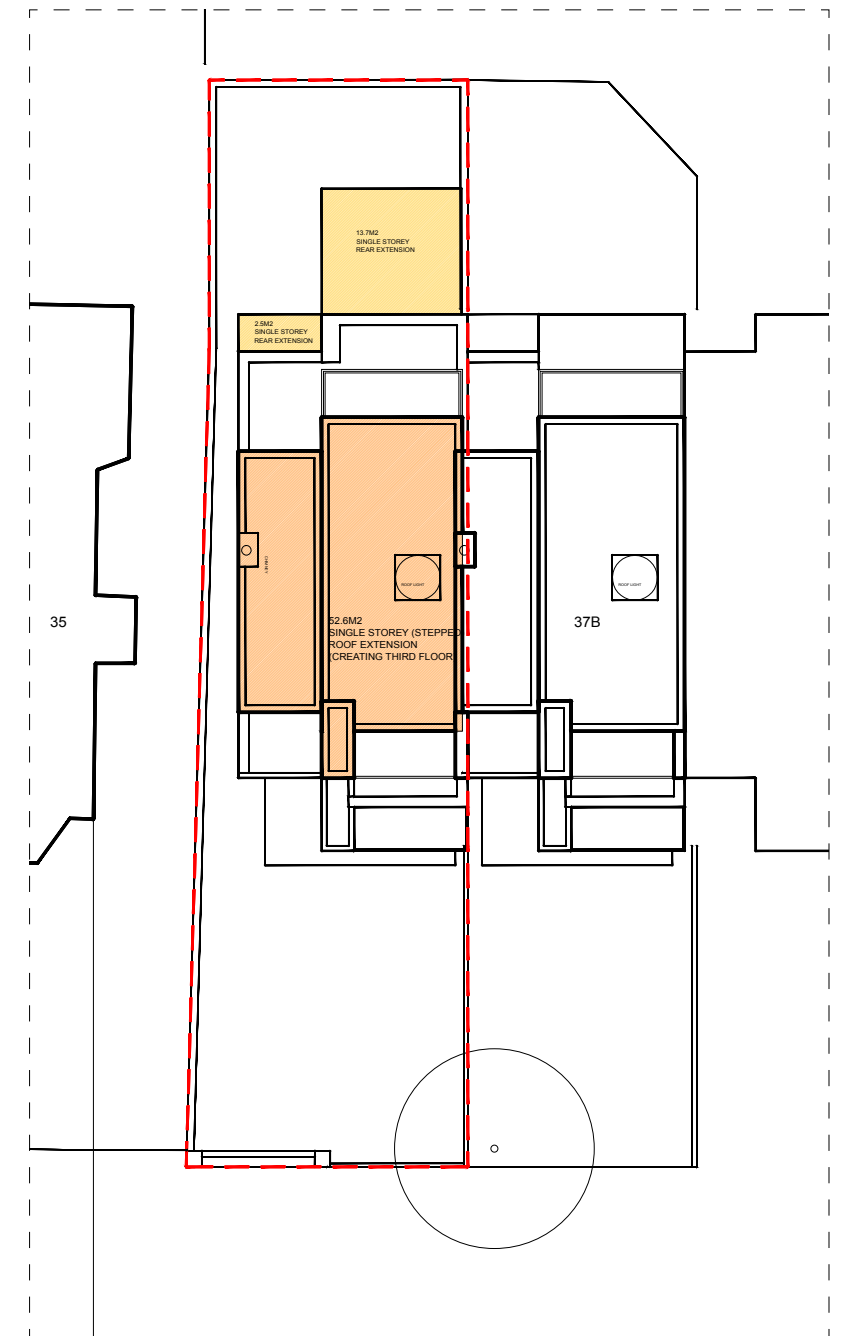
It is considered that the rear extension may raise planning issues rather than the concealed small rear extension. Potential planning issues may be:

- Impact of work on the character and appearance of the conservation area.
- Impact of the works on the street-scape.

In the following planning / design statement, we would like to address these potential concerns.



EXISTING SITE PLAN



PROPOSED SITE PLAN

PLANNING & DESIGN STATEMENT

The proposal for the rear extension at Number 37A is small and inconspicuous, and therefore should pose no harm to the conservation area nor the streetscape.

The proposed roof extension can be a benefit to the over aesthetic impact that this 1960's block of 3 residences has on the streetscape.

Number 37A, B, C & D are part of a block of a 1960's building.

37A, B were originally equal in volume and both left entrance terraces with separated curtilage.

37C, D are left and right entrance terraces with shared curtilage.

Originally, this resulted in a facade composition that seen 37 A & B aesthetically weighted against 37 C&D (See existing elevations opposite)

37B has extended the roof level by one storey post 2000, and as such, there has become an imbalance on the elevation. By extending the roof of 37A to match the volume of 37B, the facade would be rebalanced and more aesthetically pleasing. (See Proposed Elevation opposite)

The streetscape is dominated by high eaves levels on the 19century buildings, however the current eaves level of 37A is a substantial drop from the neighbouring building at No.35. As number 37B steps back up - this creates an oneasy transition on the streetscape. To raise the eaves level on 37A would create an unobtrusive transition in eaves level from the Higher 19th Century eaves of Number 35, to the transitional eaves height of number 37A & B, to the lower Eaves level of Number 37 C. which is the end of this series in the streetscape before the junction of Nutley Terrace.

Access

There will be no alterations or impact on access to number 37A or neighbouring properties by the proposal herein.



EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

APPENDIX

DRAWINGS LIST

- 1513-PL-001 LOCATION PLAN
- 1513-PL-002 SITE PLAN - EXISTING & PROPOSED

EXISTING DRAWINGS

- 1513-PL-010 EXISTING G.F. & 1ST FLOOR PLAN
- 1513-PL-011 EXISTING 2ND & ROOF PLAN
- 1513-PL-020 EXISTING SECTION A-A
- 1513-PL-021 EXISTING SECTION B-B
- 1513-PL-022 EXISTING SECTION C-C
- 1513-PL-030 EXISTING FRONT ELEVATION (EAST)
- 1513-PL-031 EXISTING REAR ELEVATION (WEST)
- 1513-PL-032 EXISTING SIDE ELEVATION (SOUTH)

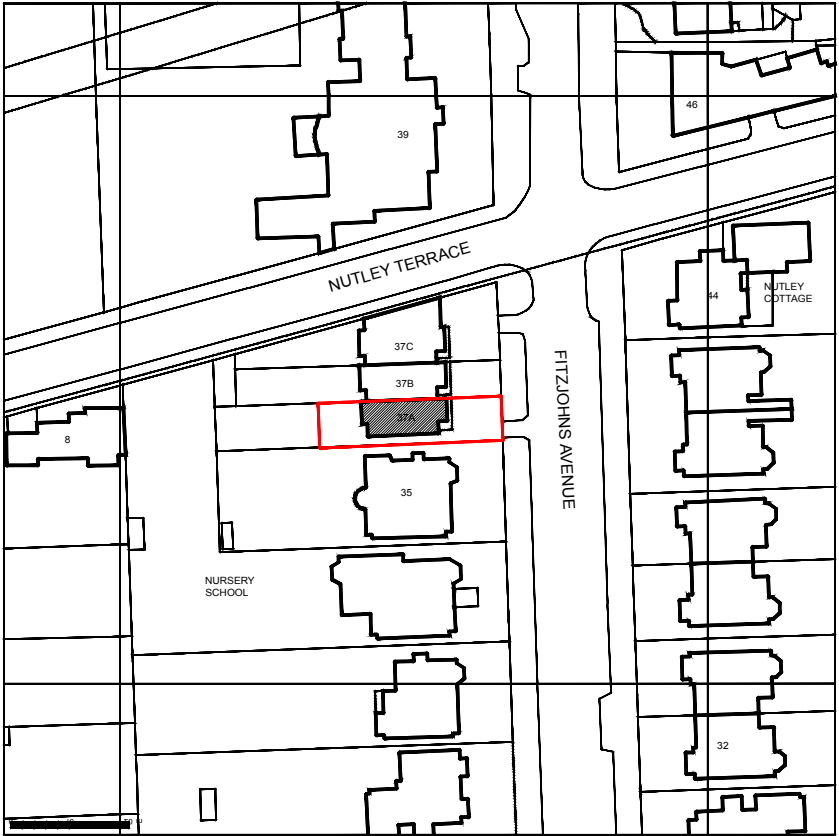
PROPOSED DRAWINGS

- 1513-PL-110 PROPOSED G.F. & 1ST FLOOR PLAN
- 1513-PL-111 PROPOSED 2ND & 3RD PLAN
- 1513-PL-112 PROPOSED ROOF PLAN
- 1513-PL-120 PROPOSED SECTION A-A
- 1513-PL-121 PROPOSED SECTION B-B
- 1513-PL-122 PROPOSED SECTION C-C
- 1513-PL-130 PROPOSED FRONT ELEVATION (EAST)
- 1513-PL-131 PROPOSED REAR ELEVATION (WEST)
- 1513-PL-132 PROPOSED SIDE ELEVATION (SOUTH)

NOTES:

Dimensions to be verified on site. All levels on this drawing are for guidance only. No dimensions should be scaled from this drawings. Any discrepancies in dimensions are to be reported to Opsis Design.

These drawings are not for construction. No construction work should be undertaken based on these drawings.



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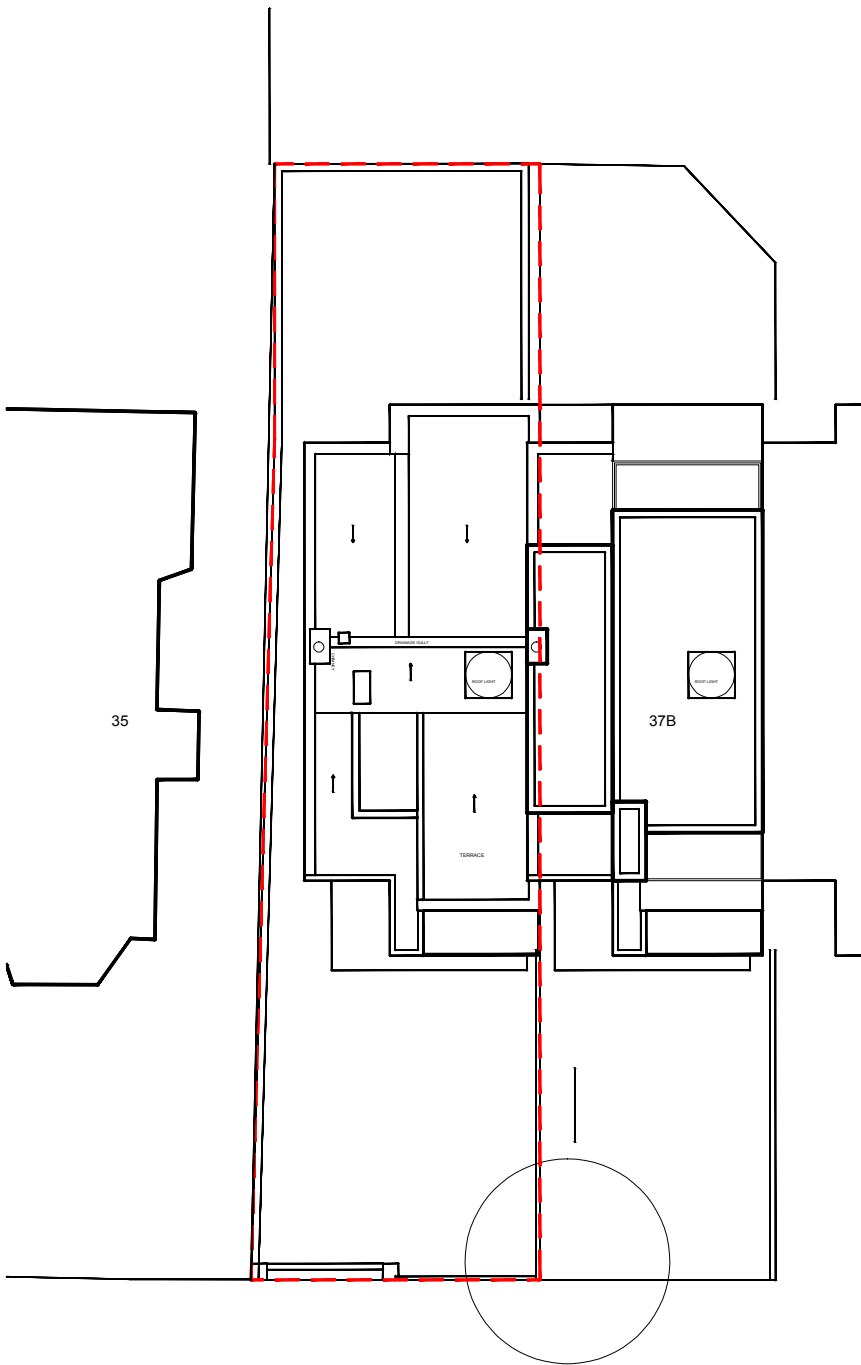
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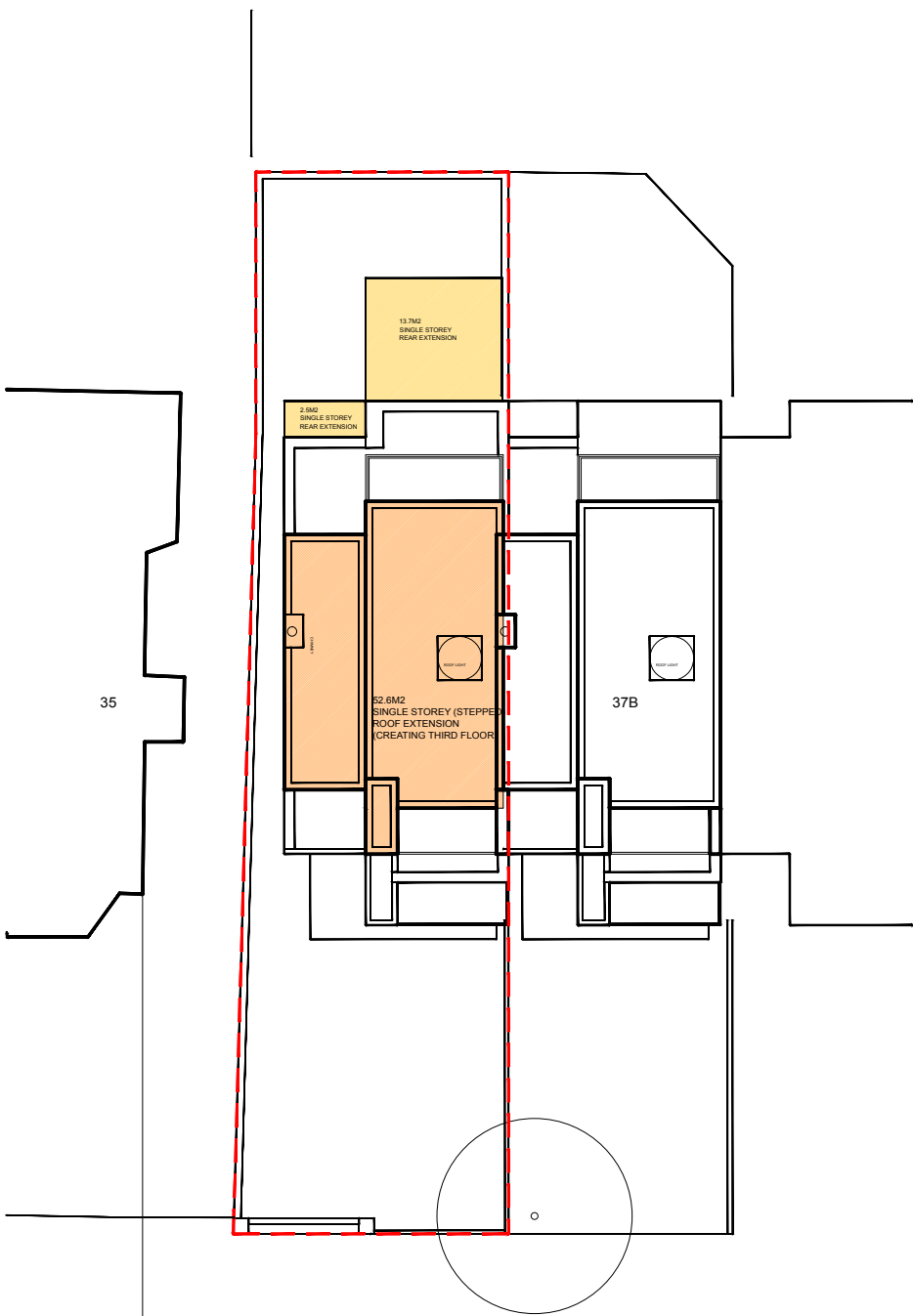
These drawings are not for construction. No construction work should be undertaken based on these drawings.

SINGLE STOREY
REAR EXTENSION

3RD FLOOR EXTENSION



EXISTING SITE PLAN



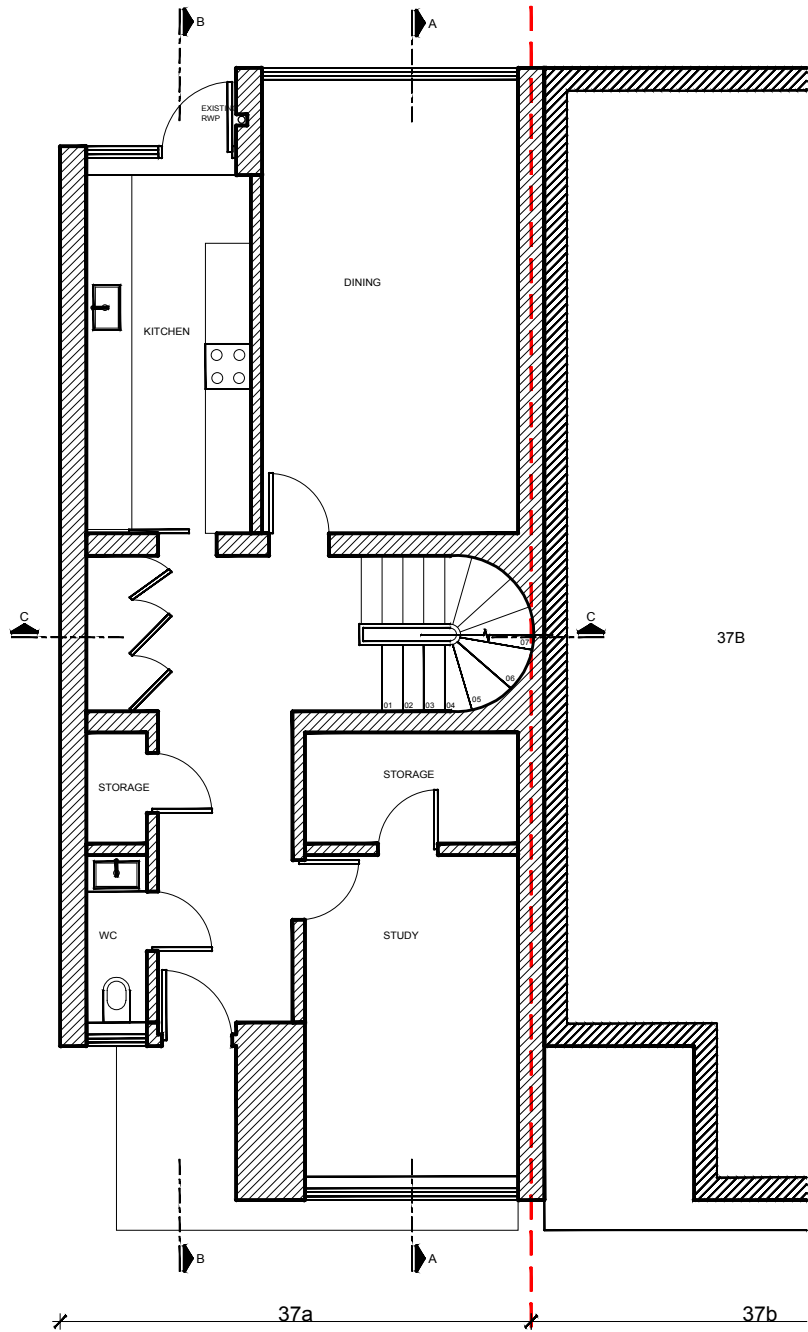
PROPOSED SITE PLAN

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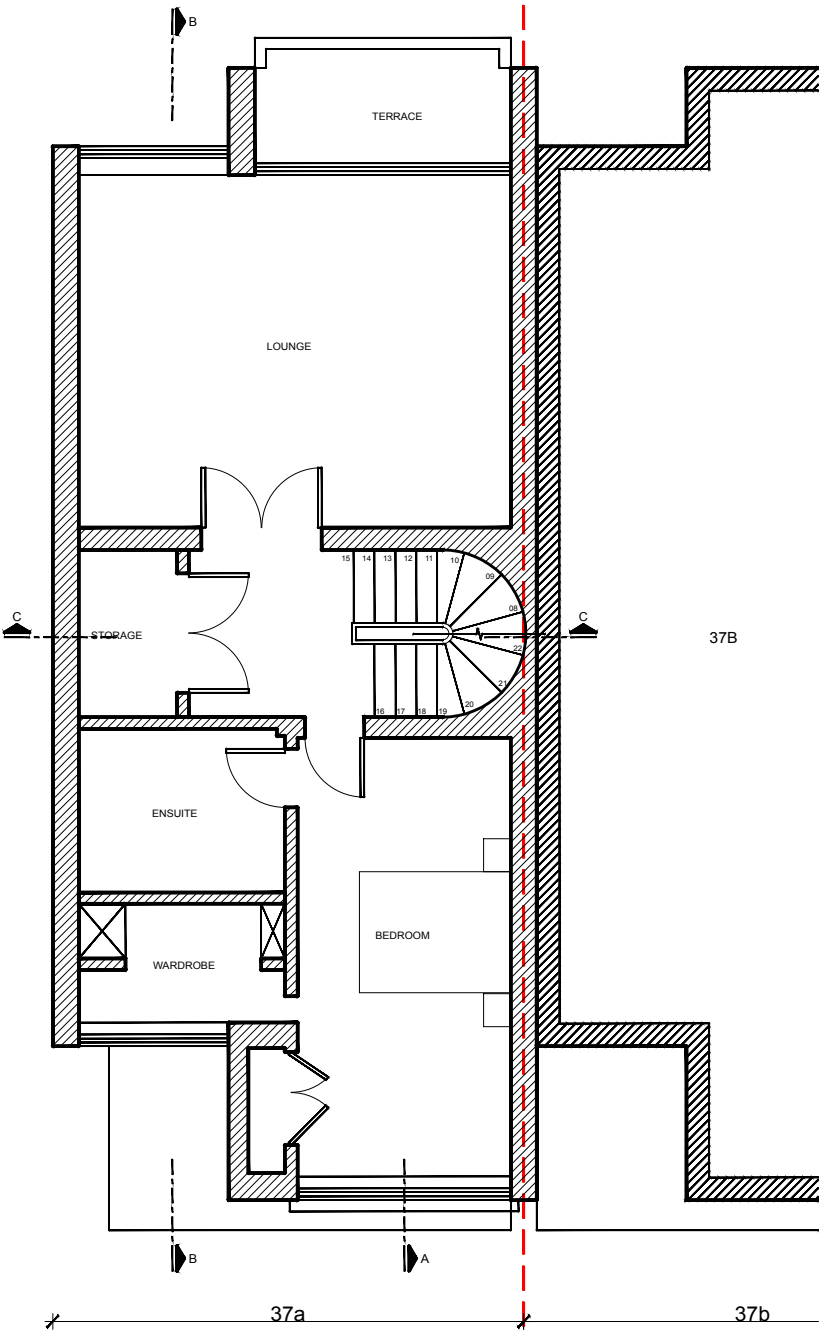
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EXISTING GROUND FLOOR PLAN



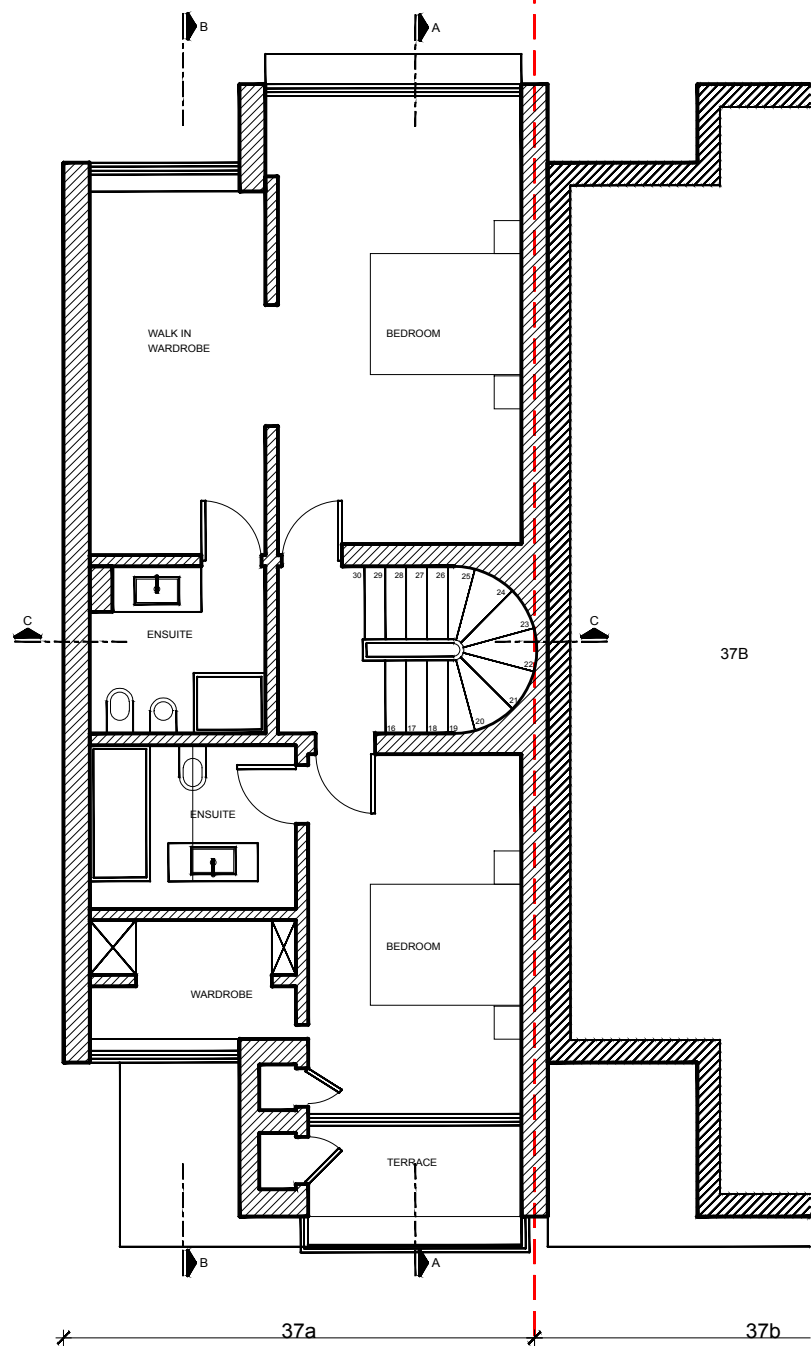
EXISTING 1ST FLOOR PLAN

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project:	37A FITZJOHNS AVENUE NW3 5JY		
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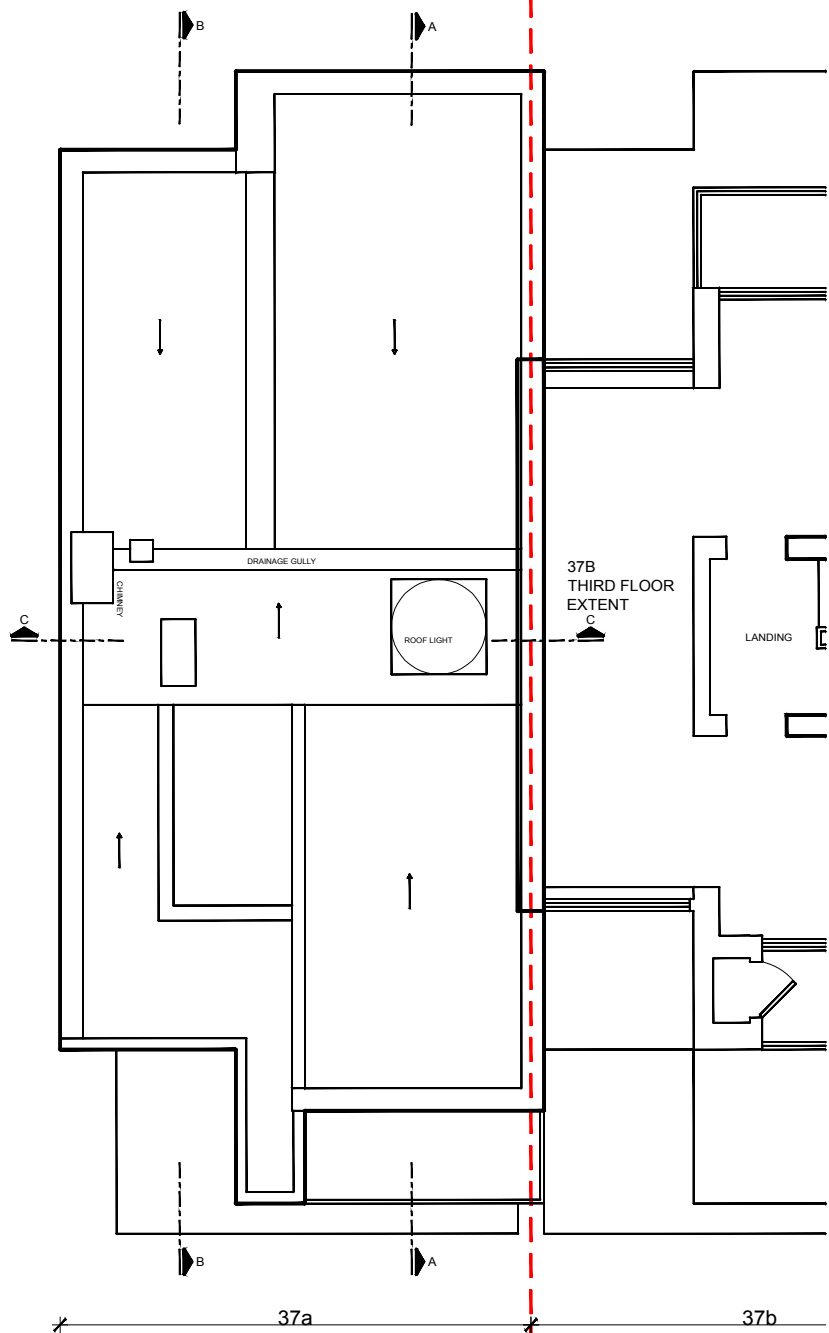
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These drawings are not for construction. No construction work should be undertaken based on these drawings.



EXISTING 2ND FLOOR PLAN



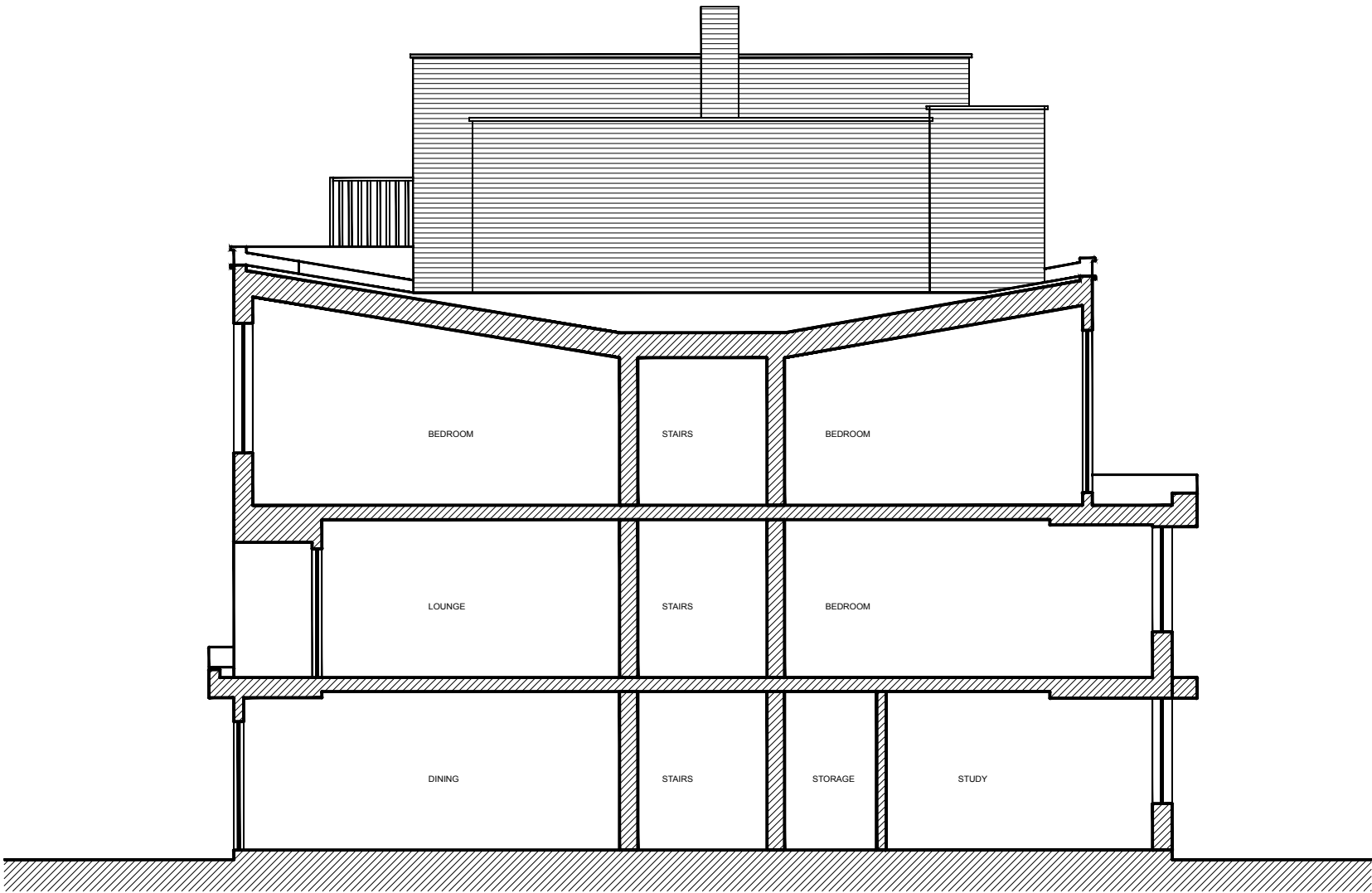
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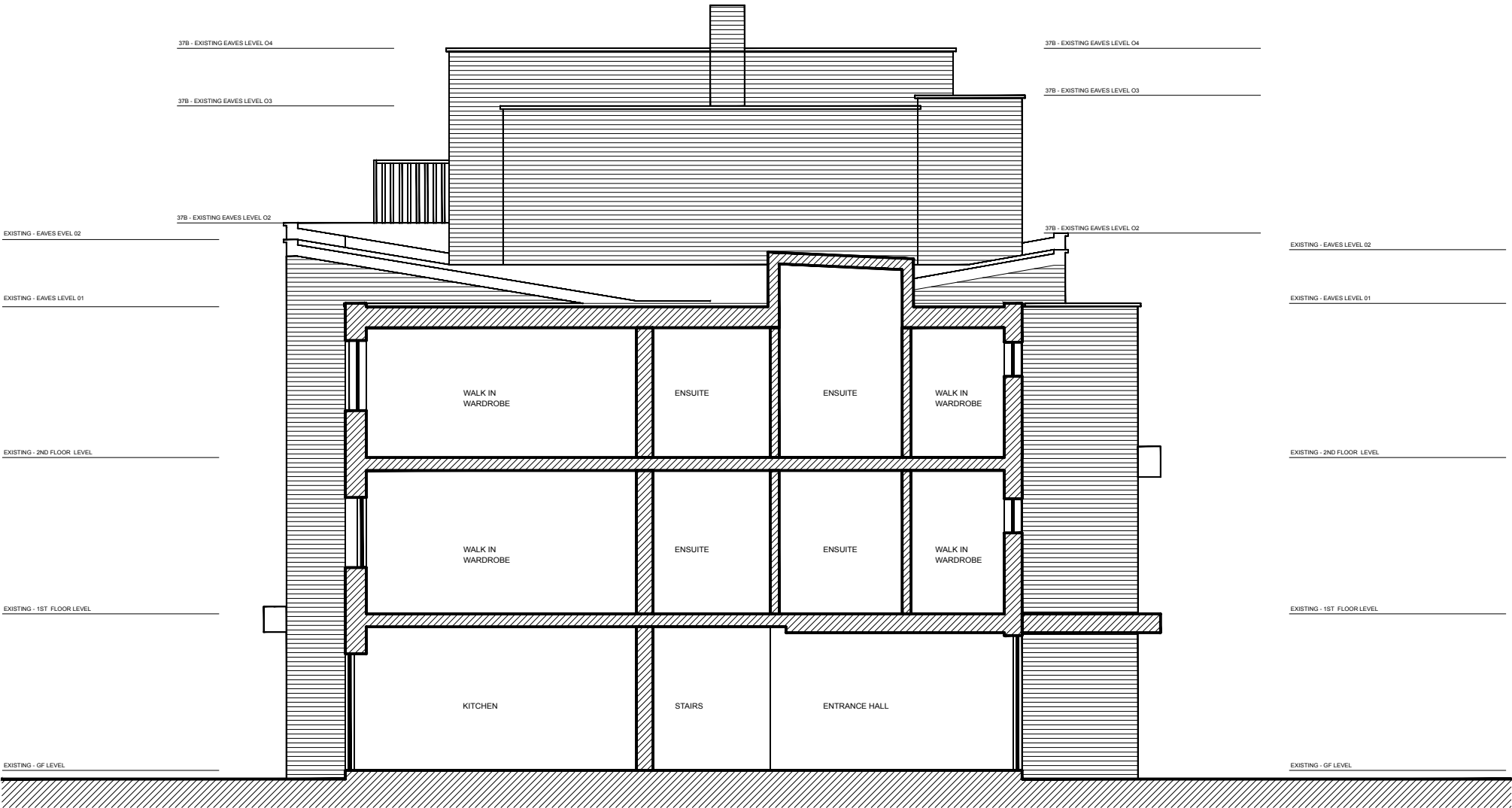
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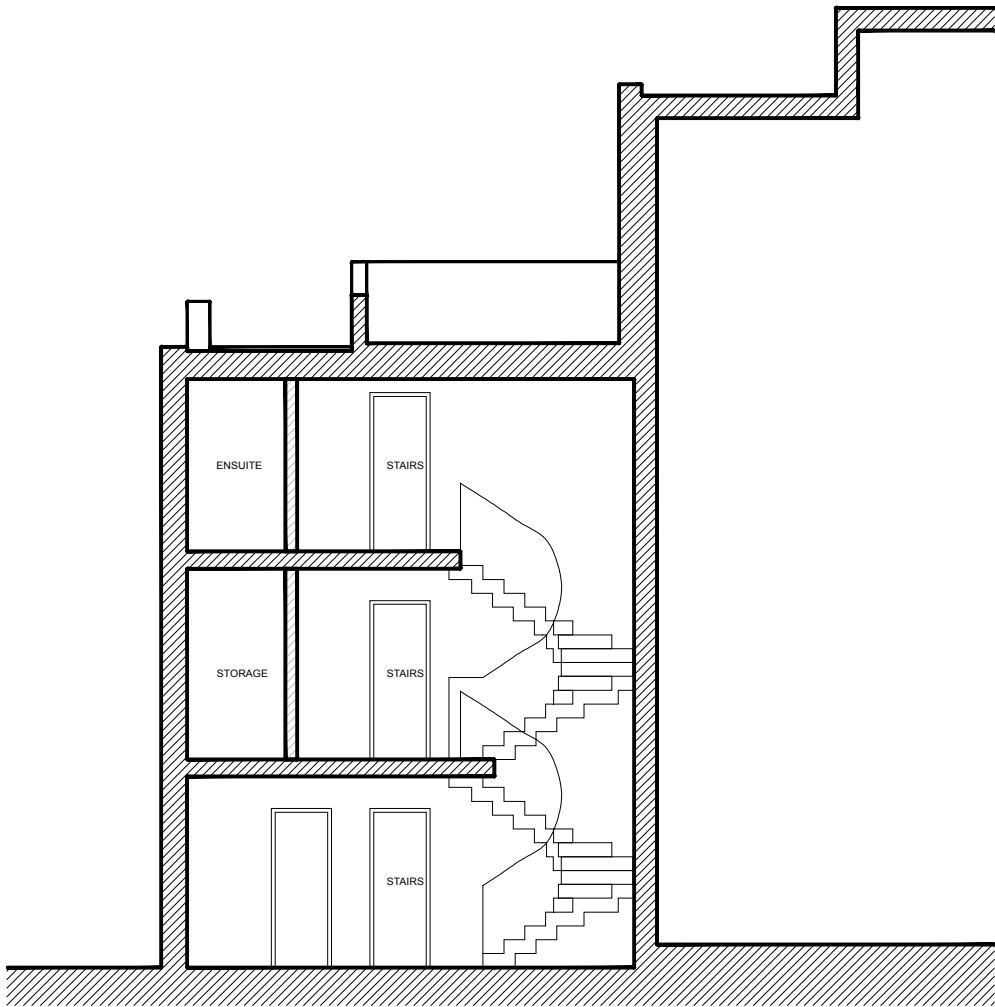
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EXISTING SECTION C-C

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EXISTING FRONT ELEVATION

NOTES:

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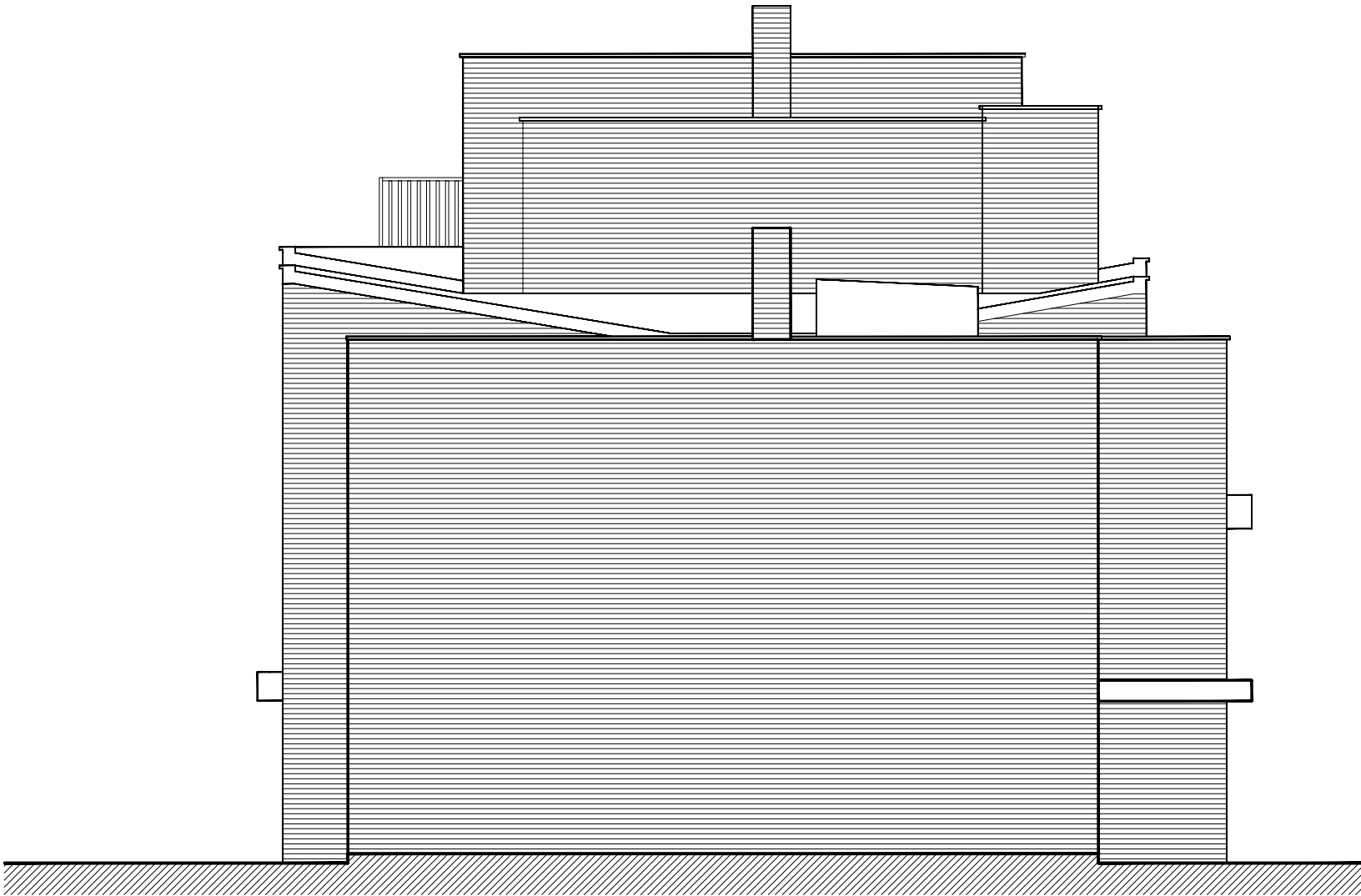
EXISTING REAR ELEVATION

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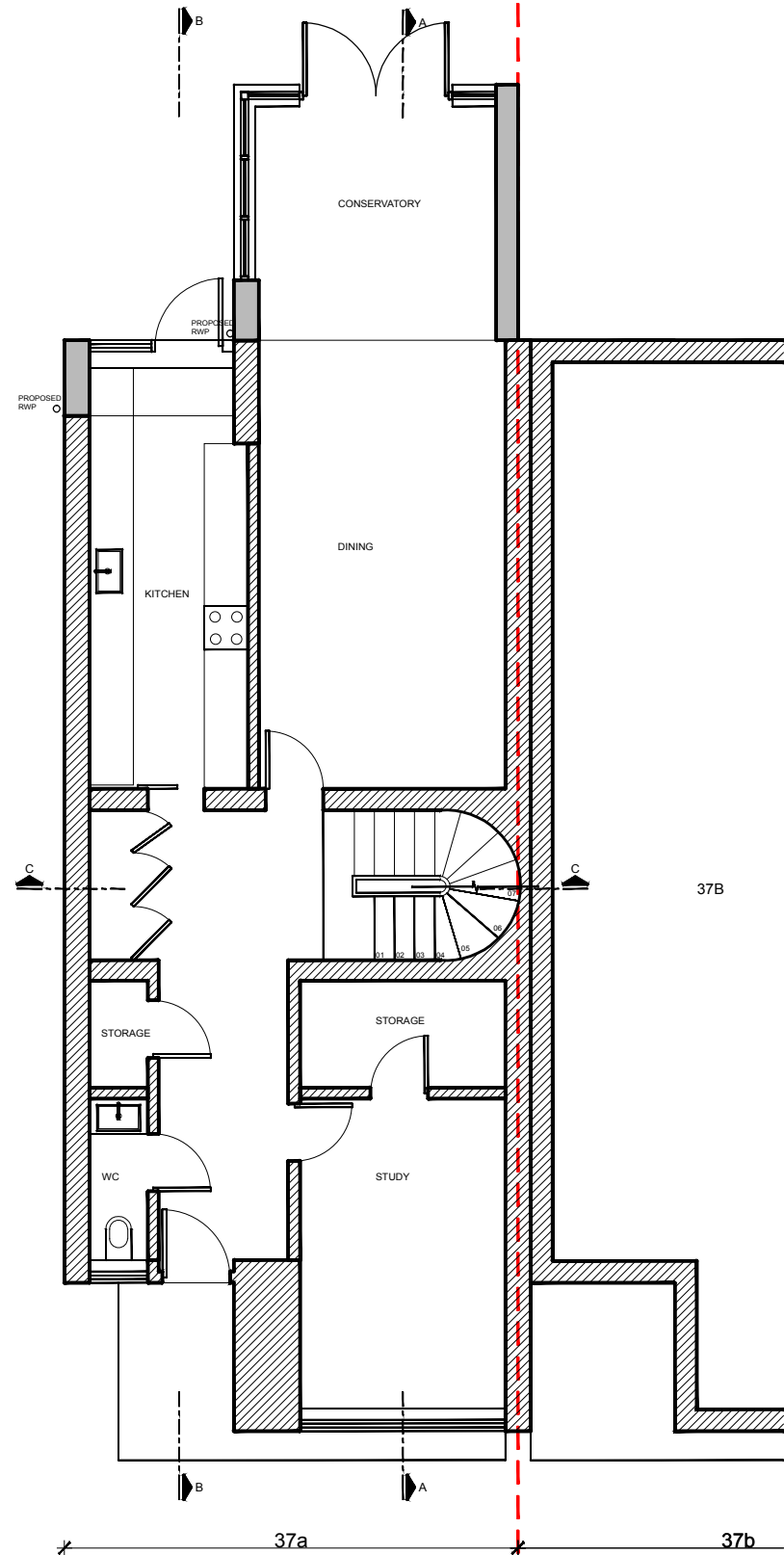
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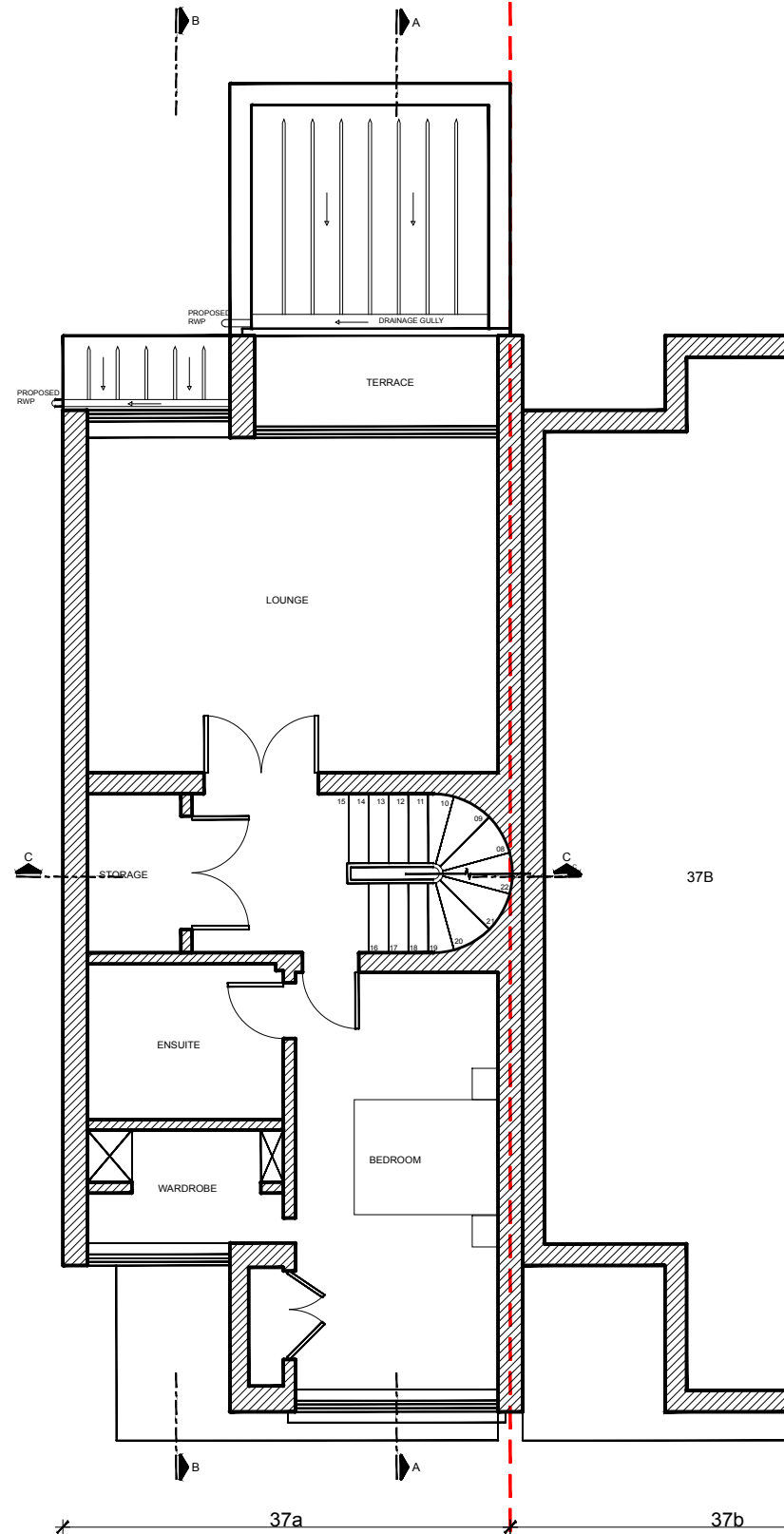


EXISTING SIDE ELEVATION

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PROPOSED GROUND FLOOR PLAN



PROPOSED 1ST FLOOR PLAN

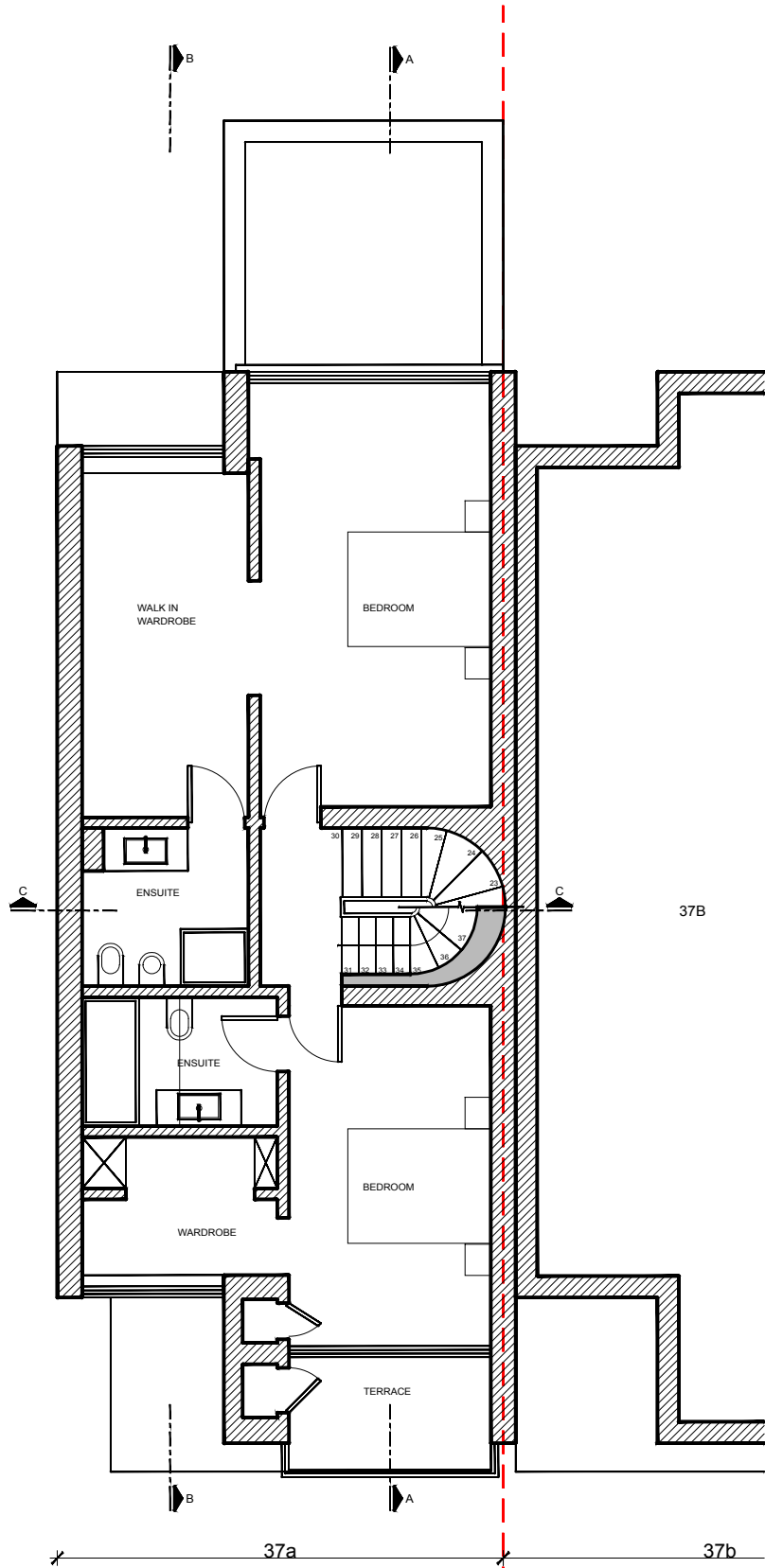
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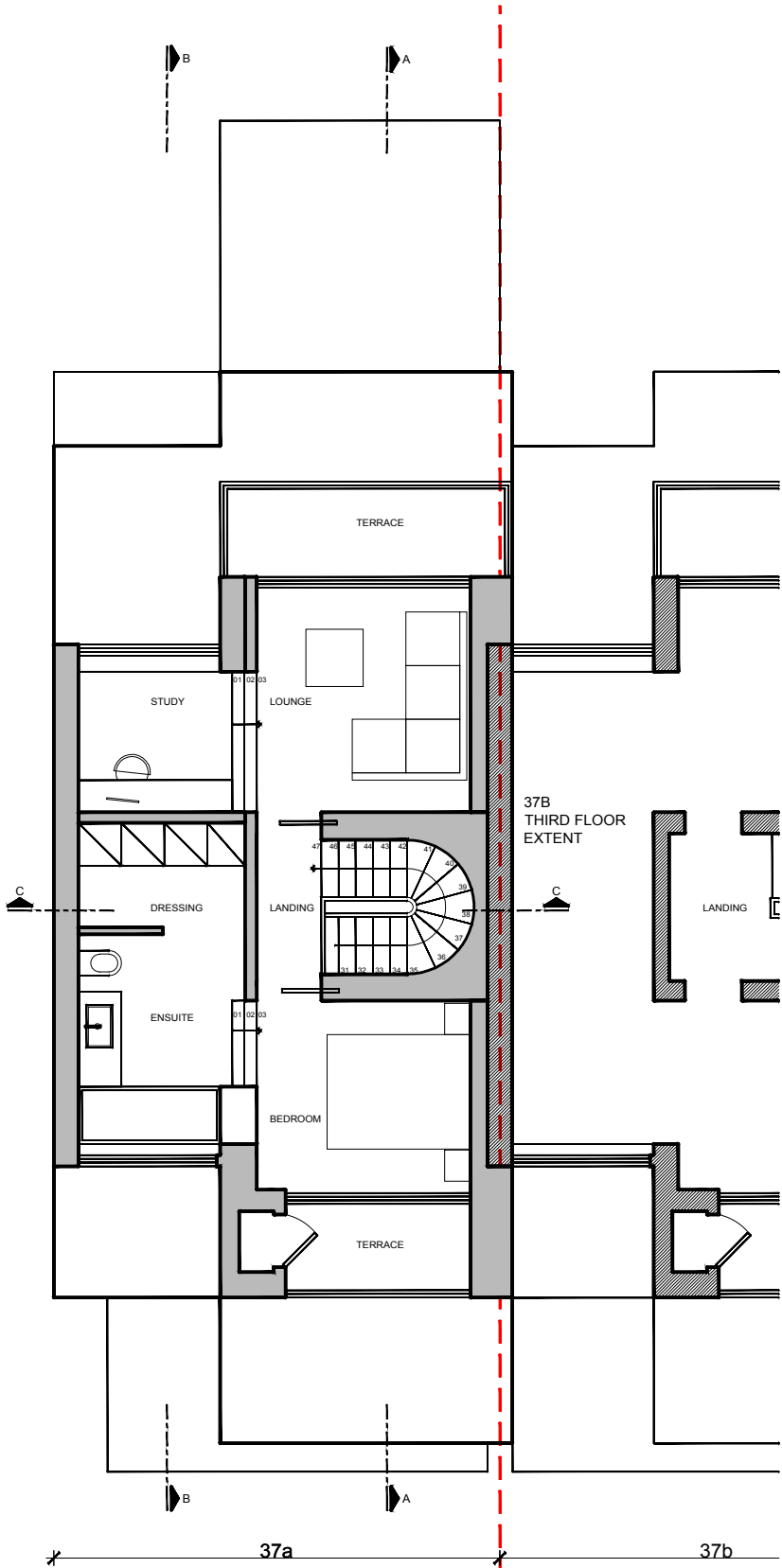
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PROPOSED 2ND FLOOR PLAN



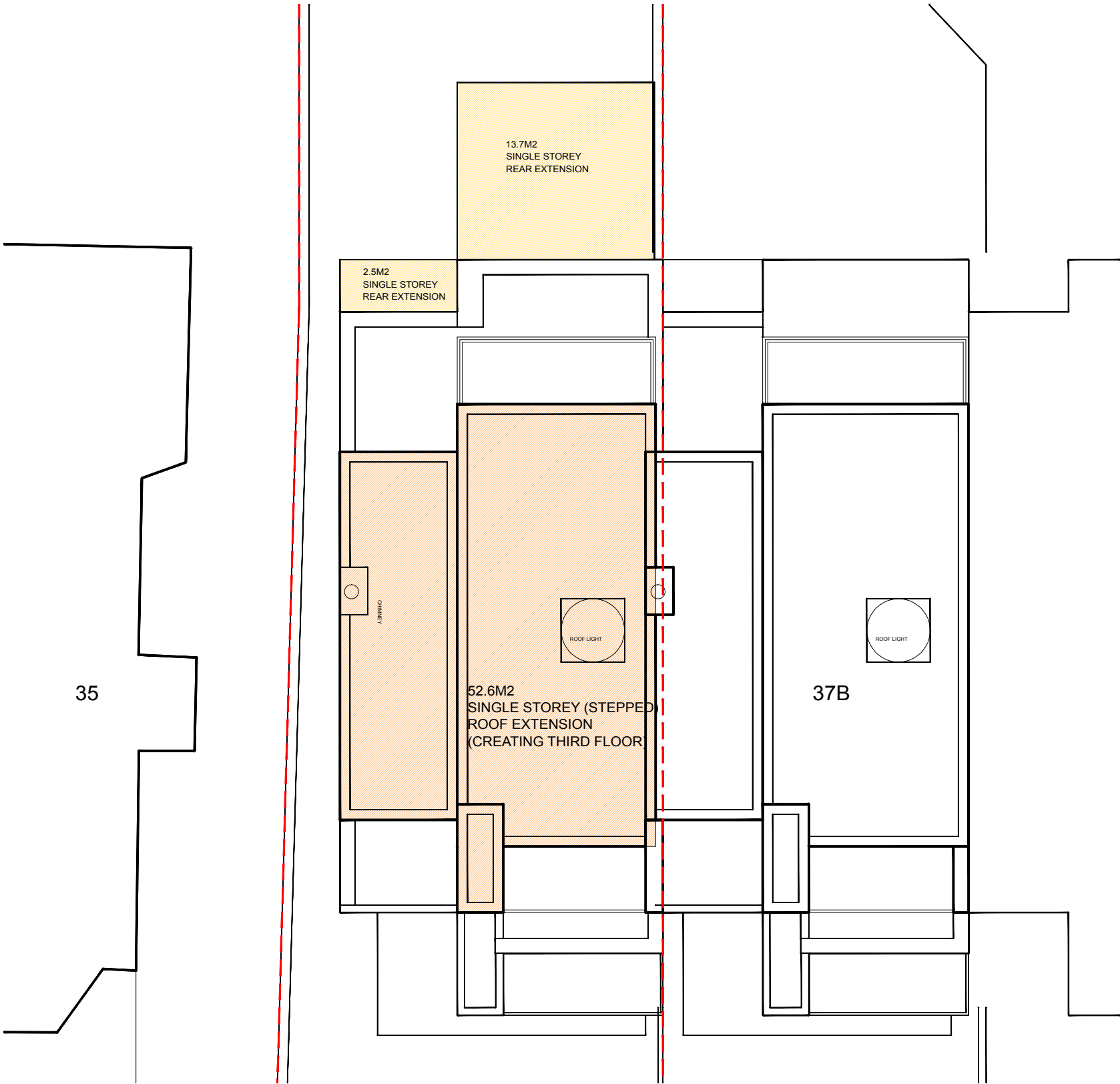
PROPOSED 3RD PLAN

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project:	37A FITZJOHNS AVENUE NW3 5JY		
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NOTES:

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PROPOSED ROOF PLAN

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project:	37A FITZJOHNS AVENUE NW3 5JY		
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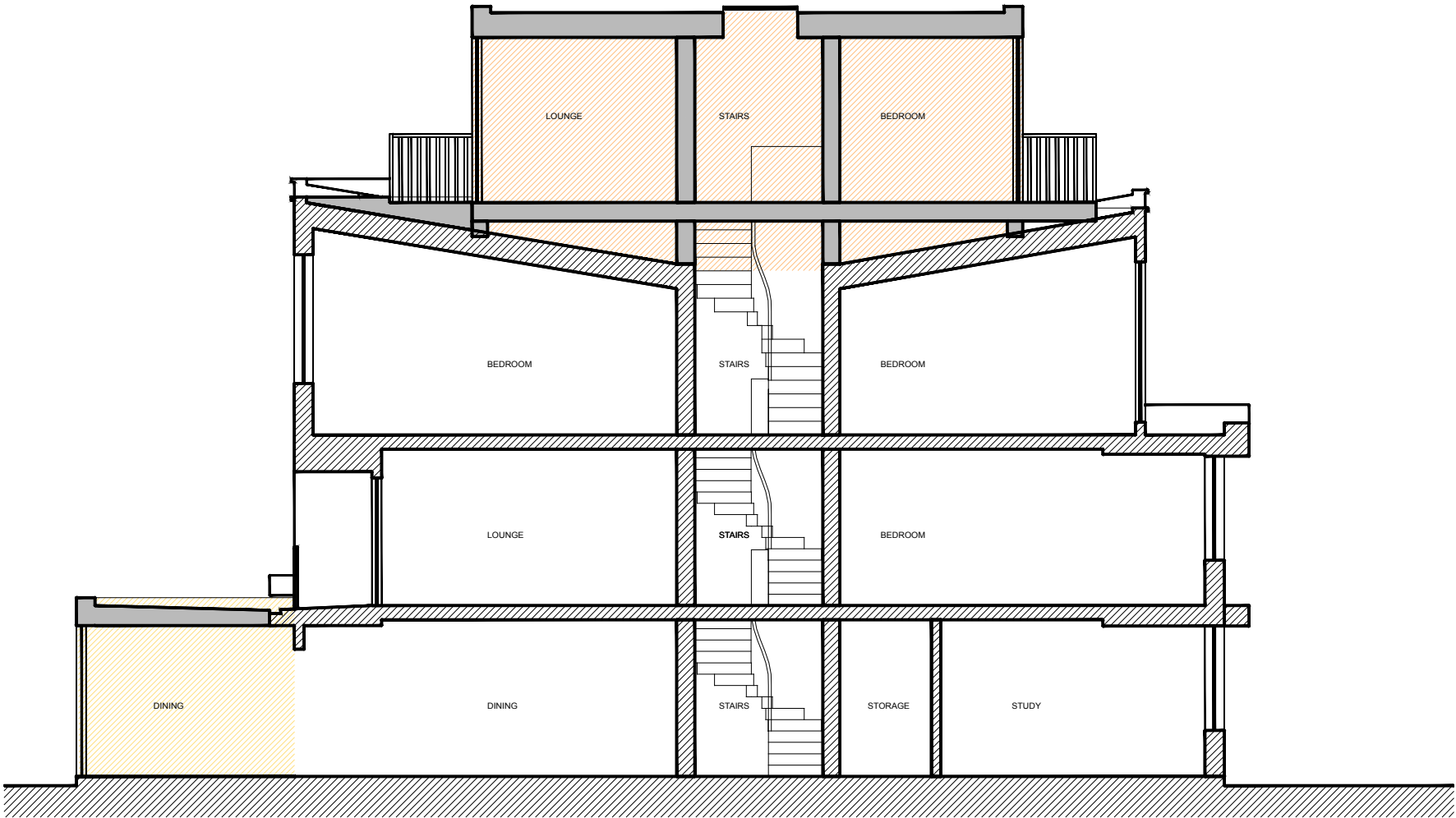
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SINGLE STOREY
REAR EXTENSION

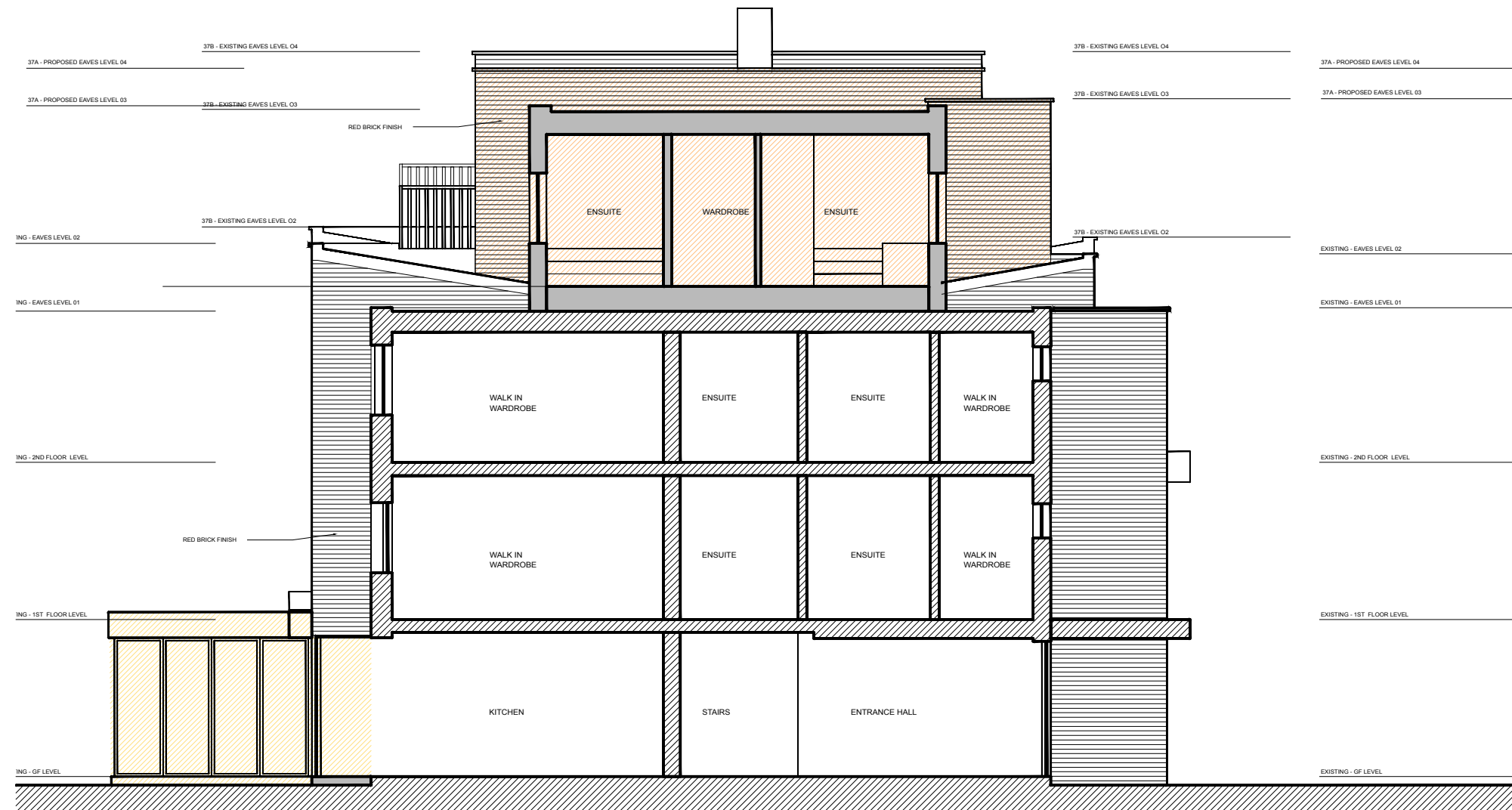
3RD FLOOR EXTENSION




PROPOSED SECTION A-A

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*Dimensions to be verified on site. All levels on this drawing are for guidance only. No dimensions should be scaled from this drawings. Any discrepancies in dimensions are to be reported to Opsis Design.
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 3RD FLOOR EXTENSION

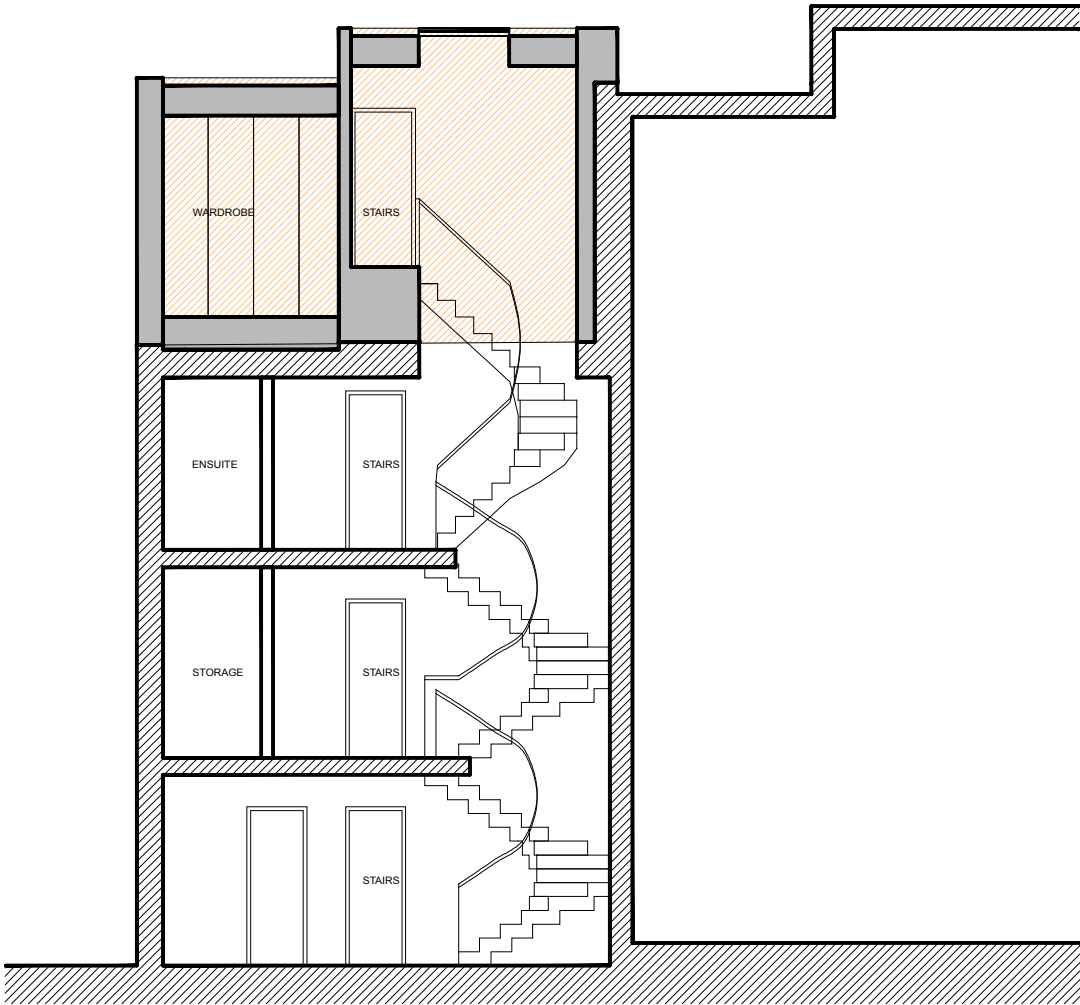
PROPOSED SECTION B-B

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PROPOSED SECTION C-C

3RD FLOOR EXTENSION

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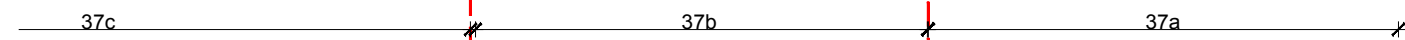
3RD FLOOR EXTENSION





PROPOSED FRONT ELEVATION


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*Dimensions to be verified on site. All levels on this drawing are for guidance only. No dimensions should be scaled from this drawings. Any discrepancies in dimensions are to be reported to Opsis Design.
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 SINGLE STOREY
REAR EXTENSION

 3RD FLOOR EXTENSION

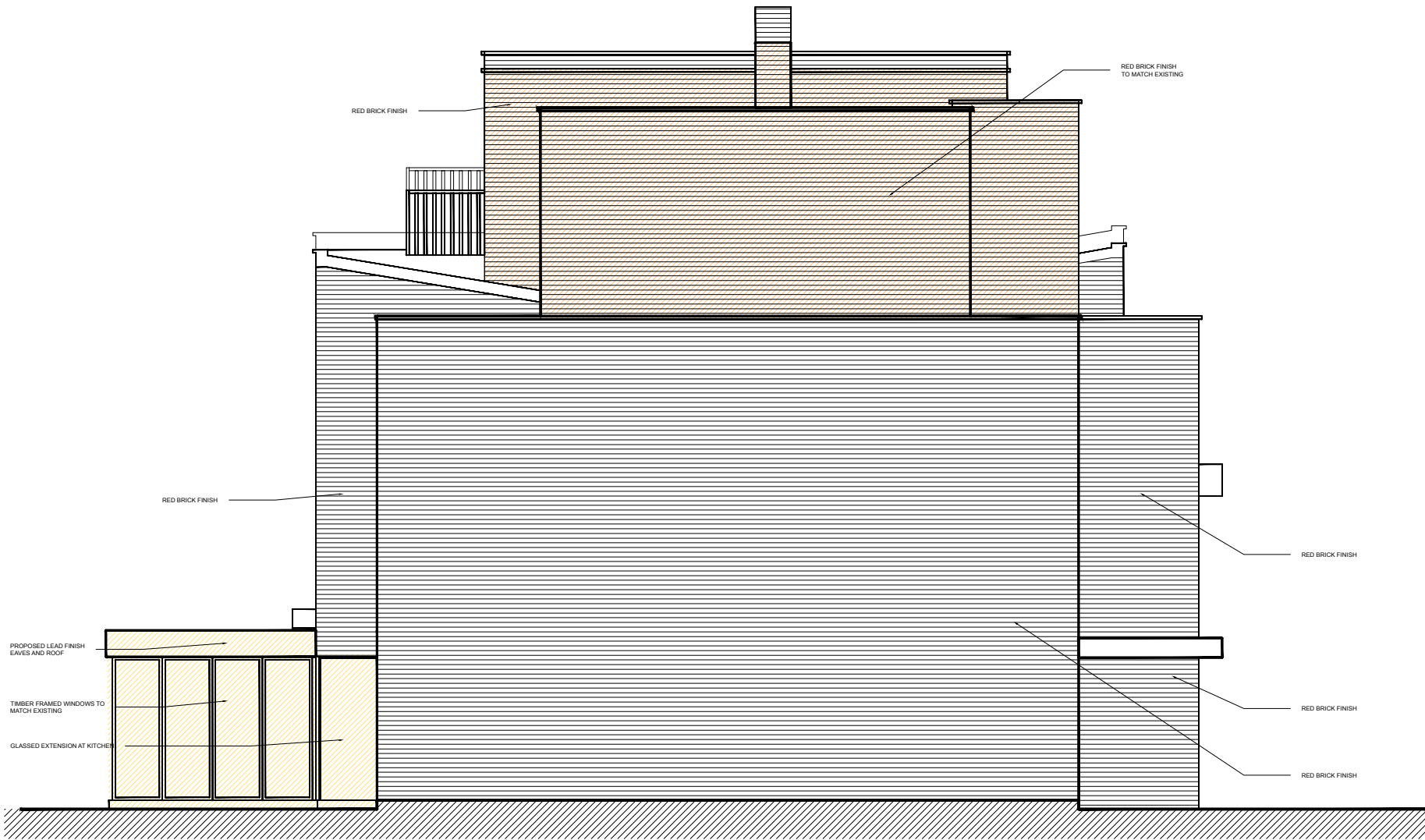
rev:	description:	date:	
<div style="text-align: center;">  <p>www.opsisdesign.com</p> <p>Unit 19 Westbourne Studios Acklam Road Winton W10 5JJ 07884355392 / 07546109236</p> </div>			
client:	OVAIS HALIM	project #:	1513
project:	37A FITZJOHNS AVENUE NW3 5JY		
drawing title	PROPOSED REAR ELEVATION		
drawing #:	1513-PL-131	rev:	/
scale:	1:100@A3	drawn:	GMK
date:	17/JAN/16	checked:	GMK

NOTES:

Dimensions to be verified on site. All levels on this drawing are for guidance only. No dimensions should be scaled from this drawings. Any discrepancies in dimensions are to be reported to Opsis Design.

These drawings are not for construction. No construction work should be undertaken based on these drawings.

- SINGLE STOREY
REAR EXTENSION
- 3RD FLOOR EXTENSION



PROPOSED SIDE ELEVATION

rev:	description:		date:
<div><div>Opsis design</div><div>www.opsisdesign.com</div><div>Unit 19 Westbourne Studios Acklam Road London W10 5JJ 07884355392 / 07546109236</div></div>			
client:	OVAIS HALIM	project #:	1513
project:	37A FITZJOHNS AVENUE NW3 5JY		
drawing title	PROPOSED SIDE ELEVATION		
drawing #:	1513-PL-132	rev:	/
scale:	1:100@A3	drawn:	GMK
date:	17/JAN/16	checked:	GMK