

# Design & Access Statement

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RIBA Chartered Practice

Site Address:

2 Fellows Road  
NW3 3LP, London

Owner:

Caroline Schuck & Jeremy Lewison  
2 Fellows Road  
NW3 3LP, London

Agent:

Southstudio



## 01 Introduction

Caroline Schuck and Jeremy Lewinson, owners of 2 Fellows Road, NW3 3LP, are applying for permission to enhance the internal and external spaces of their current residence to meet the needs of a family home.

## 02 Site & Context

No 2 Fellows Road is a single family dwelling, believed to date from the 1850's. It is a detached 3 and 4 storey stuccoed 'Italianate styled' house facing onto Fellows Road, incorporating a driveway and an integrated garage together with a self-contained rear garden.

The original four storey house with hipped gable roof is well proportioned, with a symmetrical front facade composed of three bays articulated with Corinthian topped pilasters and entablature at second floor level. Steps lead to a central entrance and portico at raised ground floor level, flanked with semi-circular topped picture windows. Upper storey windows are rectilinear sashes set within the moulded stuccoed masonry. The side and rear elevations are also stuccoed but with minimal decoration and windows set in plain openings. A narrow balcony exists at the rear raised ground floor level, which has undergone modification.

The property was substantially altered in the mid twenty century when it was converted into a guest house. A large two and three storey side extension was added, comprising a lower ground floor garage and entrance with dwelling accommodation above.

Internally, a new main concrete staircase replaced the existing timber staircase, and most of the original rooms were converted to bed-sitting rooms with ensuite bathrooms. The existing upper ground floor became a reception/office with a communal dining/lounge to the rear. The rear balcony was adapted and a new flight of stairs added to access the rear garden from the upper ground floor. The existing lower ground floor was converted to a kitchen/preparation area, with a dumb waiter hoist connected to the upper ground floor dining area.

In the 1990's the property reverted into a single dwelling when some of the en-suite rooms were removed or modified together with other minor internal alterations.

## 03 Proposal

The proposal is to remove an internal existing bed-sitting en-suite at the rear of the lower ground floor and reorganise it into one study space, extended into the rear garden to within half a metre less than existing projecting rear elevation. The new build footprint is approximately 18.3m<sup>2</sup> and extends out from the rear main elevation by 2.7m (see image 08).

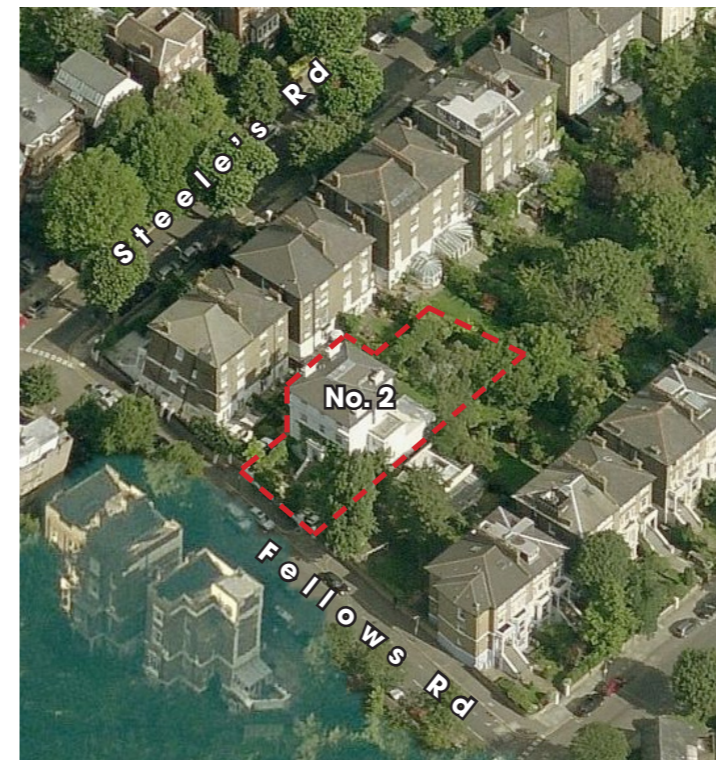


Image 02 - Birds Eye view showing No. 2 Fellows Road



Image 03 - Birds Eye view showing No. 2 Fellows Road



Image 01 - Front elevation from Fellows Road



Image 04 - Rear (garden) elevation

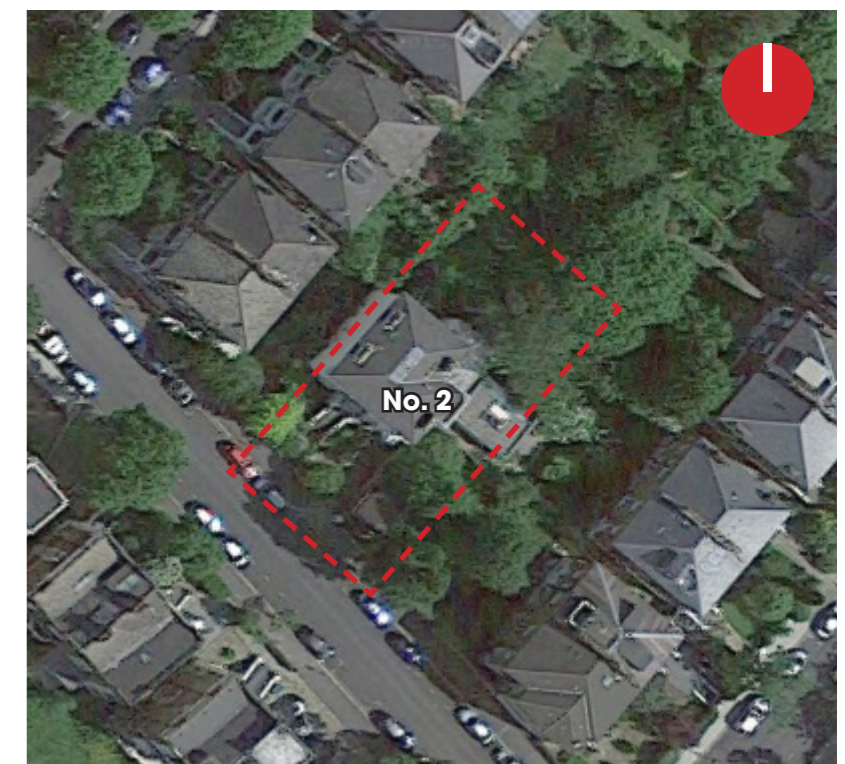


Image 05 - Aerial view showing No. 2 Fellows Road



This single storey extension will require the removal and recreation of the raised ground floor balcony integral with the roof of the extension, which together with a new stair flight maintains access into the rear garden from the upper accommodation.

It is also proposed to resurface and upgrade the existing flat roof on the three storey wing to incorporate improved thermal insulation.

Internally, the existing kitchen/dining room is to be refurbished with new doorways connecting to the hall and rear living room.

Similarly, at first floor level, several rooms are to be modified, with removal of some non-original lightweight walls, in order to provide more convenient and better proportioned spaces.

The design concept is to create a discrete single storey rear extension with minimal impact on adjacent properties, but with maximum visual connection from within to the external rear private garden.

The proposed extension will be naturally 'contained' by the existing side projection of the house and is set level with the existing lower ground floor level, which is approximately half a metre below surround ground level. The impact of the extension on surrounding properties is further minimised by the existing storey high brick rear garden walls, which will screen it from surrounding gardens.

The exposed new side elevation of the extension is positioned approximately 1.5m away from the adjacent property's garden wall, where the new metal staircase is located, providing access from the new roof/balcony to the garden. The extended balcony area at the raised ground floor level will be guarded with simple fine metal balusters with an integral flat metal handrail.

#### 04 Appearance

The proposed modest extension is proposed to be expressed as a simple rectilinear volume, which is anchored behind the existing three storey flank and inset four storey rear facade. As seen from the rear garden the proposed space will appear almost transparent, as the entire elevation is proposed as a fixed and opening glass wall.

In contrast to the existing simple white stucco wall surfaces, the new walls and parapet are proposed as anodised metal clad surfaces, which compliment the greenery of the garden.

The new roof balcony finish is proposed as grey stone pavers.

The property, being detached is set apart from its immediate context and is viewed in a tall silhouette. The proposal being of modest scale and set within the curtilage of the building has therefore little or no impact on existing setting.

It is also worth noting that there are no immediate precedents for extension in surrounding properties, which has a variety of rear extensions of varying heights and materials.

#### 05 Access & Refuse

There is no change required to either vehicular or pedestrian access due to the proposed extension. Similarly, the existing refuse provision will not require to be amended.

Access at the lower ground floor into the rear garden is made more accessible due to the proposed direct access from the rear extension study space into the garden.

#### 06 Parking Provision

The proposal does not affect current parking provision and does not warrant additional parking spaces.

#### 07 Conclusion

The proposal complies with the local development plan, being well designed and of high quality in terms of detailing and use of appropriate materials respecting the quality of the local environment in its appearance, scale and character.



Image 06 - Existing stair, access from upper ground level to rear garden



Image 07 - Existing balcony, upper ground level

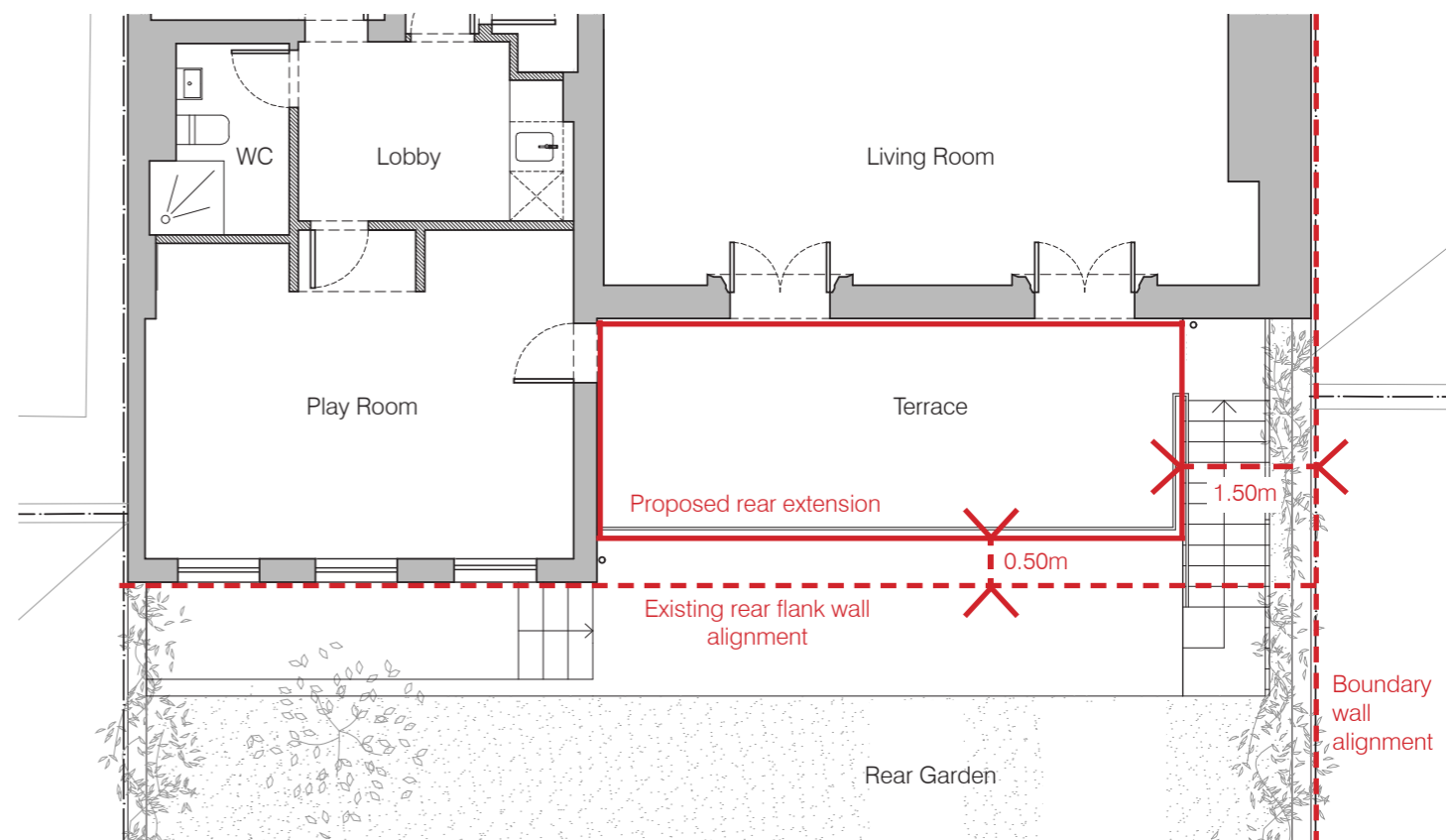


Image 08 - Proposed Upper Ground Floor Level (Drawing no. 041\_103)

29/01/2016

