

Mr. Tom Bickford
TMD Building Consultancy Ltd
One Bridge Wharf
156 Caledonian Road
London
N1 9UU

Application Ref: **2015/6776/L**
Please ask for: **Charles Rose**
Telephone: 020 7974 **1971**

1 February 2016

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
7 Highgate West Hill
London
N6 6JR

Proposal:

Repair and maintenance works to the external fabric of the building including replacement of roof slates guttering and existing lead/zinc flashing. Installation of new leadwork, repairs to felt roof covering and general redecoration.

Drawing Nos: Ex01; ex02; pl01; pl02.

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new work and work of making good shall be carried out to match the original



work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 The works include general maintenance and refurbishment which would be consistent with the existing condition and use of materials on the building. The works would preserve the character and significance of the grade II listed building.

Public consultation was undertaken by means of a site notice and press notice, but no responses were received. The planning history of the property was taken into account when arriving at this decision.

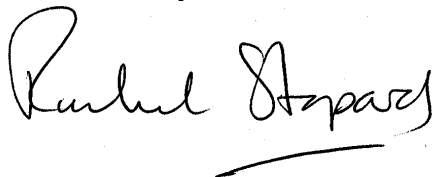
As such, the proposal is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 of the London Borough of Camden Local Development Framework.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Rachel Stopard
Director of Culture & Environment

