

Mr Youn-ou Kim
YKG Ltd
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2nd floor
Worcester Park
Surrey
KT4 7JZ

Application Ref: **2015/6149/P**
Please ask for: **Matthias Gentet**
Telephone: 020 7974 **5961**

1 February 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
32 A Lowfield Road
London
NW6 2PR

Proposal:
Erection of a lower ground floor single storey rear extension to self-contained residential flat (Class C3).
Drawing Nos: [32LR] 01; 02 Rev2; 03 Rev2; 04 Rev2; 5 Rev2; 06 Rev2; Report and Arboricultural Method Statement produced by Simon Pryce dated 08/11/2015.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:[32LR] 01; 02 Rev2; 03 Rev2; 04 Rev2; 5 Rev2; 06 Rev2; Report and Arboricultural Method Statement produced by Simon Pryce dated 08/11/2015.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 All work shall be carried out in accordance with the relevant recommendations of British Standard 3998: 2010. (Recommendation for Tree Work)

Reason: To ensure the preservation of the amenity value and health of the tree(s).

Informative(s):

- 1 Reasons for granting permission.

The proposal includes a single storey rear extension at lower ground floor level that has been revised to reduce its overall width from 5.1m to 3.9m. Its depth would match the neighbouring extension at no. 39. The revised design would be considered subordinate to the main building in terms of its size and scale and would be considered acceptable. The extension would be constructed from brick with timber framed sash windows to match the existing building and would be considered acceptable.

The extension would be set away from the boundary with the neighbouring property at no. 34 by 1.2m and would ensure that an acceptable level of daylight and sunlight would be maintained to this property. A new window in the side elevation of the extension facing the boundary with no. 34 would be obscure glazed. The proposal is not considered to harm the amenity of other neighbouring properties in terms of outlook or privacy.

One objection was received prior to making this decision. This and the planning history of the site have been taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24 and DP26 of the London Borough of Camden Local Development Framework Development Policies and Policy 2 of the Fortune Green and West Hampstead Neighbourhood Plan. The proposed development also

accords with policies 7.4 and 7.6 of the London Plan 2015, consolidated with alterations since 2011; and paragraphs 14, 17 and 56-66 of the National Planning Policy Framework.

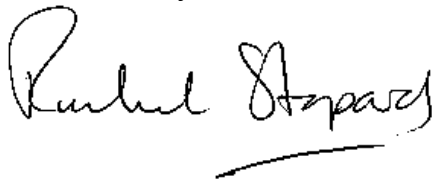
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 4 You are advised that the block plan drawing shown on drawing no 32LR01 does not form part of the approved drawings.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Rachel Stopard
Director of Culture & Environment