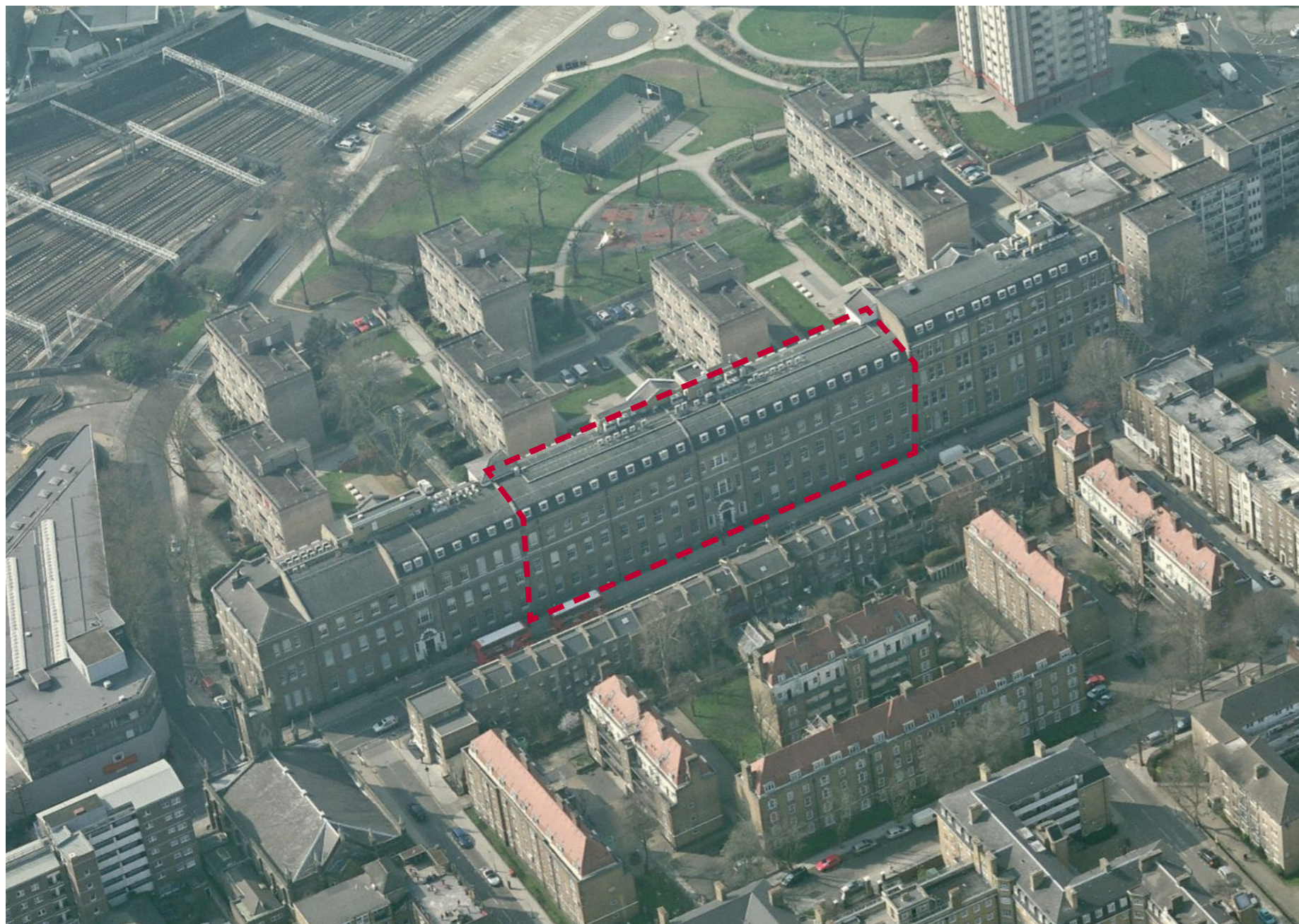


Ground Floor (South) -183 Eversholt Street

Listed Building Consent - Design Statement

25.01.16

halebrown



Hale Brown Architects have been asked to look at options for refurbishing a number of the office floors and reception areas at 163-203 Eversholt St.

This design statement to accompany the Listed Building Consent, sets out the proposals for the refurbishment of the office floor on the ground floor (south) of No.183. The main design moves are:-

- Strip-out of existing modern finishes including low-level partitions, radiators, lighting and WC fixtures and fittings
- New ceiling-mounted feature light fittings and exposed mechanical high-level ductwork
- Refurbished WC areas with minor alterations to the WC access corridors to provide additional wcs
- New structural openings in the separating spine wall
- Removal of existing staircase and introduction of new feature staircase to mezzanine
- Installation of new internal air-handling plant (including window alterations - subject to separate planning application)

The proposals set out in this statement have been submitted to Camden for pre-application advice and discussed with Nick Baxter, the Conservation Officer at Camden, on site, who had no major objections to the proposed works.

Application Number: **2015/6508/PRE**

Please refer to the accompanying document for details of the written response: "Conservation Officer Response to PreApp Advice - 30.11.15.pdf".

The existing building



- The building and attached railings are Grade II listed (list entry no. 1342048), and the building is situated just outside the Camden Town conservation area
- The building is sub-divided into 3no. units: 163, 183 and 203 Eversholt St, each with its own entrance, reception and stair/ lift core.
- The main building comprised of 3 storeys and a basement, with a Northward extension consisting of 4 storeys and a basement. The ground and first floors have double-heights spaces with mezzanine walkways
- The building is constructed of yellow stock brickwork with stone cornice and blocking course. The entrances are made up of rounded, architraved archways with stucco block dressings, keystones and fanlights.
- The property has circa 53 windows, with the façade broken up by slightly recessed bays and changes in cornice height.
- Windows are made up of timber sash windows with glazing bars which are recessed below gauged brick flat arches.
- The buildings have a main stone cornice, which runs the length of the building, is at 2nd floor level and cast-iron railings to the front of the building, with urn finials.
- A modern, full-width extension has been added to the rear elevation of all 3no. buildings
- All 3no. buildings are used as modern commercial office spaces and have have been heavily altered internally

Ground Floor South, 183 Eversholt Street

Listed Building Consent - Design Statement - 25.01.16



- Formally known as the London and North Western Region Railway Clearing House, the main section of Eversholt House was constructed circa 1846-1848
- The building was designed by railway architect, Philip Hardwick, who also designed the original Euston Station, opened in 1837 as the first mainline terminus station in a capital city anywhere in the world. Hardwick also designed the iconic Euston Arch, which was demolished in the 1960s.
- The Northward additions to the building were carried out in 1850 and between 1874 – 1902, to the South corner of Barnby Street.
- Staff divided the takings from all the railways across Britain between all the different companies that provided and maintained them
- The property was renovated in the late 20th Century, with the interior being remodelled by JB Stansby, during the same period.
- The English Heritage listing description notes that the interior of Eversholt House was not inspected and the interior of all the buildings has continued to be heavily and regularly modified with modern finishes, due to the building's use as a modern office space.
- The works proposed in this report will not alter the appearance of the building externally, as all works will be carried out to modern internal finishes and will therefore not make an impact on Camden's built and historic environment.

The existing ground floor



The ground floor office space is comprised of 2no. large rooms, separated by a masonry wall. A mezzanine walkway (original to the building) runs through the entirety of the space on the rear (west) wall. There are 2no. existing openings through this dividing wall.

The recent modern addition to the rear of the existing building creates additional office space, split over 2no. floors. Access is provided between the original and modern spaces through a number of small punched openings through the thick rear masonry wall of the original building. In addition to the extremely compact original stair up to the mezzanine level, there is another modern staircase in the rear modern addition.

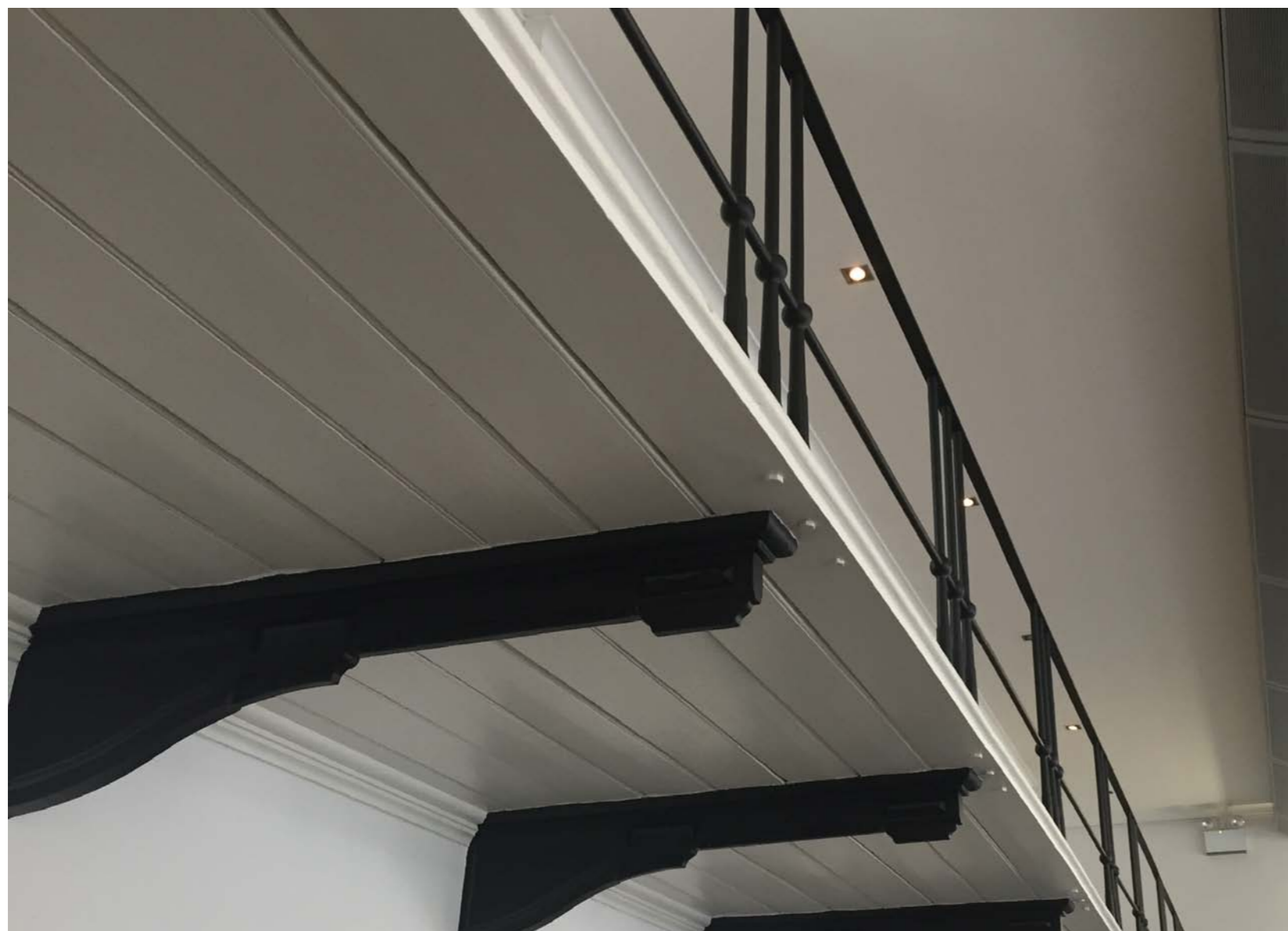
The original mezzanine walkway is a key feature of the space and is made up of black metal ornate supports and railings, with a painted timber plank soffit.

The main office space features painted timber panelling to all walls apart from the rear, and timber panelling next to the mezzanine walkway. The plasterboard ceiling incorporates 2no. access panels and a series of recessed downlights and appears to be modern, along with the cornice.

The space is currently heated by a series of large panel radiators beneath the windows, with additional ceiling fixed fan coil units.

The WCs are designated separate male and female and are located in the rear modern addition.





View of the historic mezzanine floors to the lower floors

The design proposals set out in this document aim to bring the office space up to modern standards, while also respecting and enhancing the historic fabric of the building.

Where possible, materials and details are proposed that will respect and compliment the historic aspects of the building.

The current lighting is not adequate for a modern office environment so new ceiling-mounted feature lighting and exposed ductwork add modern servicing requirements, as well as visual interest while simple wall-mounted fan-coil units sit under existing refurbished windows.

The lights are designed to have minimal profiles and take inspiration from the square panelling on the walls. The existing metal bulkhead is replaced with exposed ductwork painted to the same colour as the ceiling.

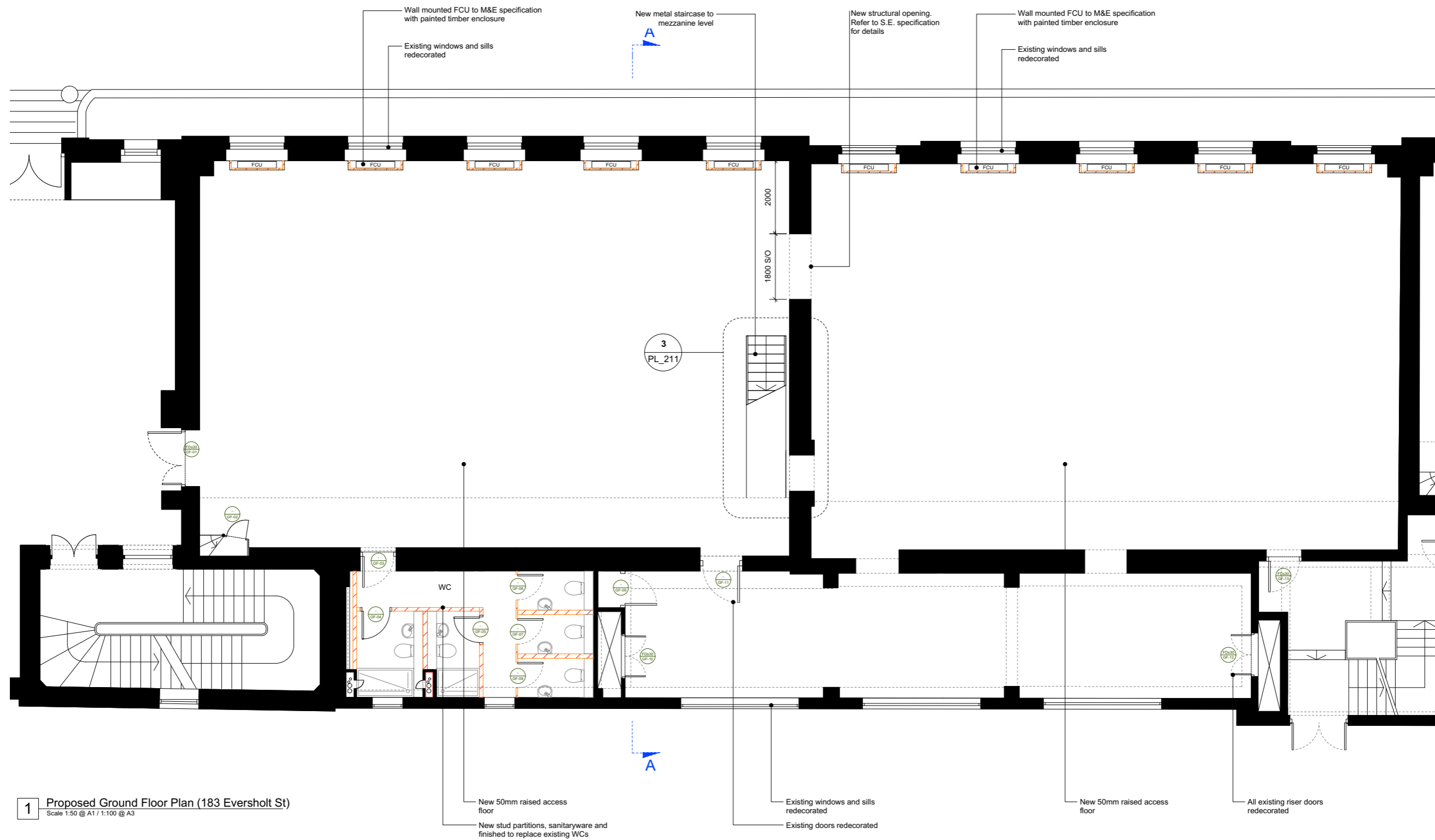
New structural openings are proposed to the spine wall as on other floors to improve visual and physical connection between the 2no. halves of the space.

A new high-quality staircase is also proposed to link the ground floor and the mezzanine floor, sensitive to the materiality of the mezzanine balconies, replacing a modern, poor-quality addition.

Where possible and the existing materiality of the space and the building in general, is mirrored in elements such as the new WC taps, and existing painted doors are to be removed and replaced with new exposed timber doors

The proposed ground floor

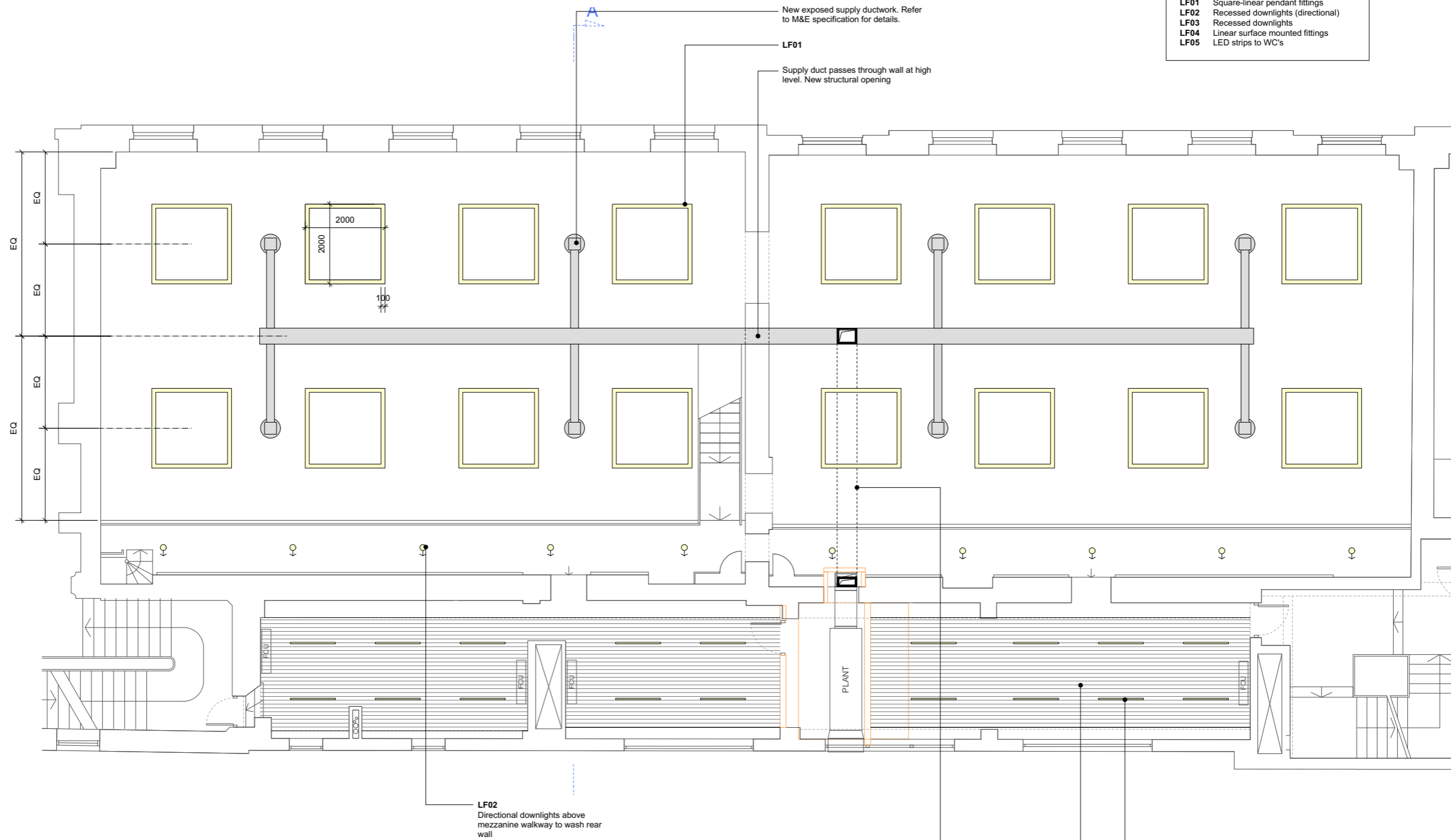
Proposed plan



The proposed ground floor

Proposed reflected ceiling plan

Lighting Key	
<i>NOTE: Refer to M&E Specification for details</i>	
LF01	Square-linear pendant fittings
LF02	Recessed downlights (directional)
LF03	Recessed downlights
LF04	Linear surface mounted fittings
LF05	LED strips to WC's

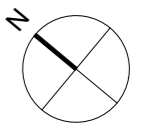
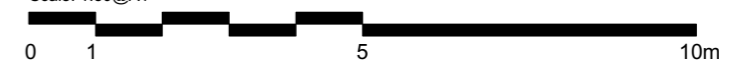


1 Proposed Ground Floor RCP - High level (183 Eversholt St)
Scale 1:50 @ A1 / 1:100 @ A3

New supply ductwork concealed within ceiling void. Refer to M&E specification for details.

LF04
Spec Code: K13/150
Painted T&G ceiling (white)

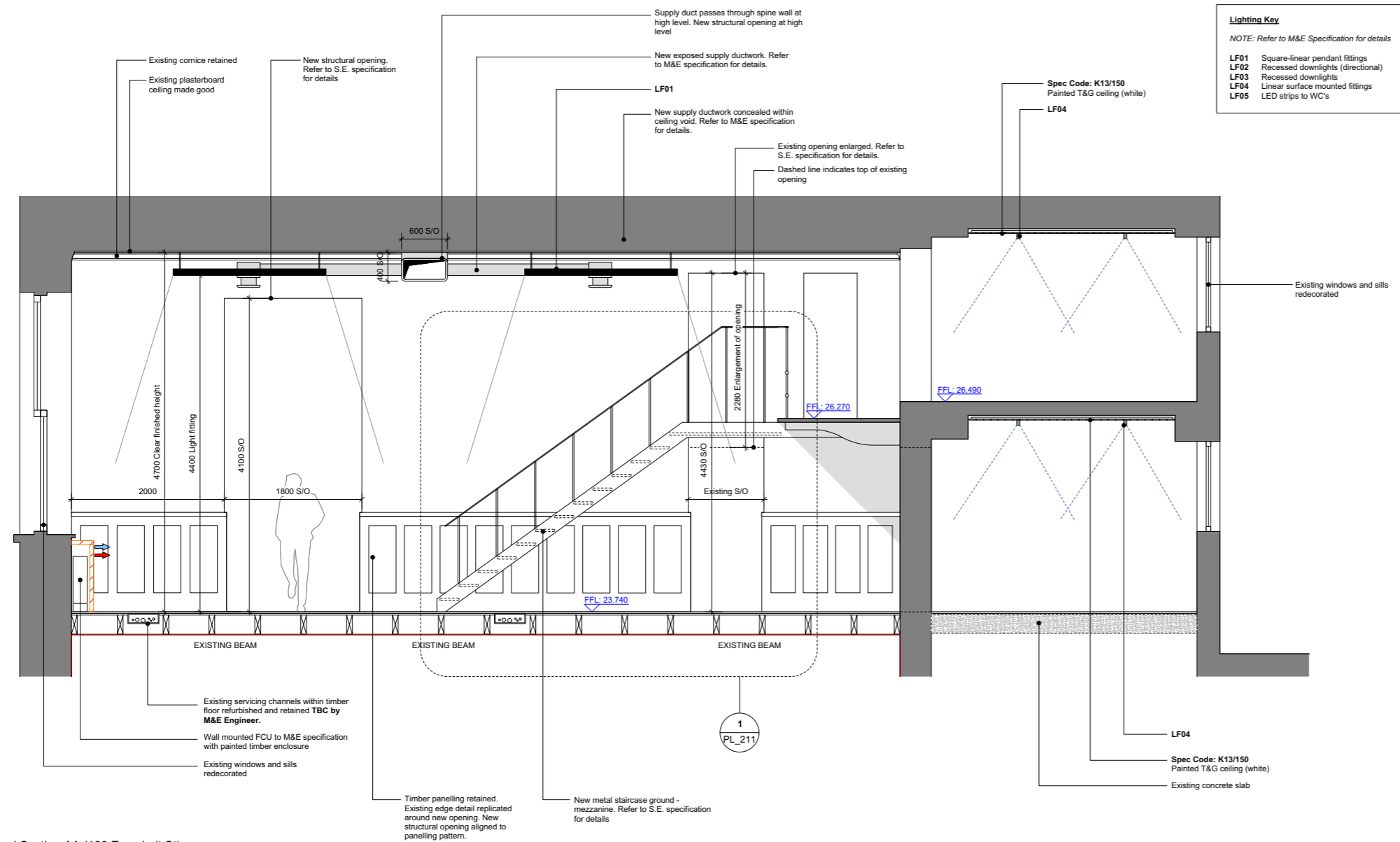
Scale: 1:50@A1



Design Strategy

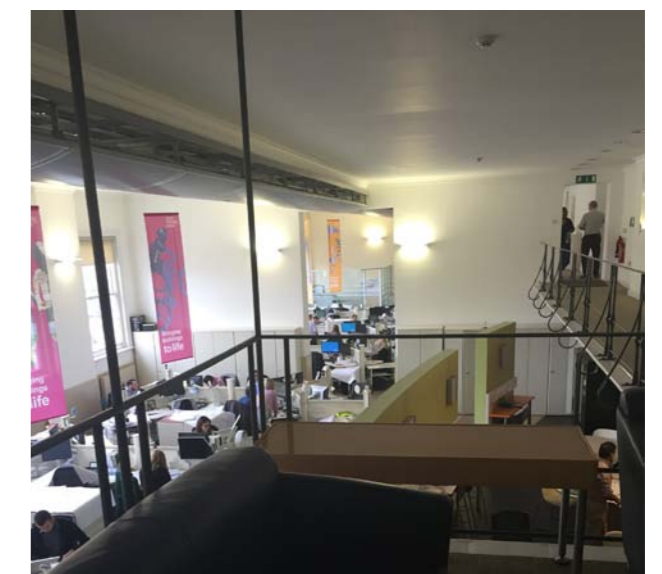
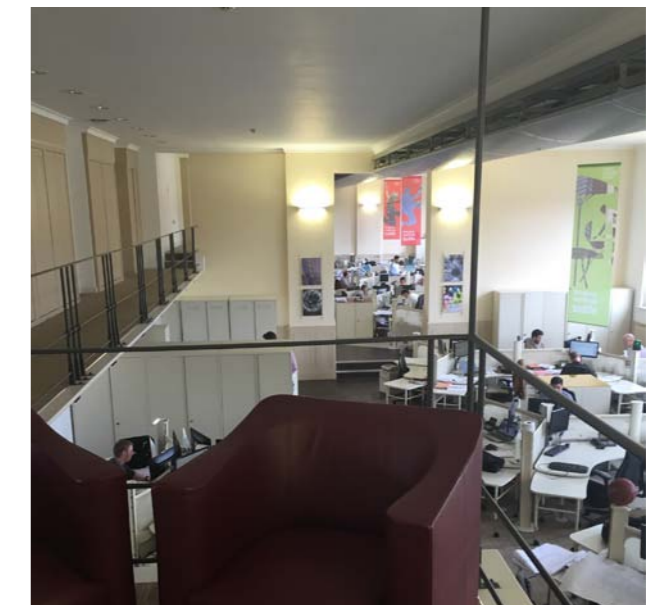
Proposed structural openings

New structural openings are proposed in the existing spine wall to help visually connect the office spaces more than the current arrangement. There is already precedent for this scale and location of openings in spine walls on other floors of the building.



Lighting Key	
NOTE: Refer to M&E Specification for details	
LF01	Square-linear pendant fittings
LF02	Recessed downlights (directional)
LF03	Recessed downlights
LF04	Linear surface mounted fittings
LF05	LED strips to WC's

1 Proposed Section AA (183 Eversholt St)
Scale 1:50 @ A1 / 1:100 @ A3



Examples of existing large openings created on other office floors

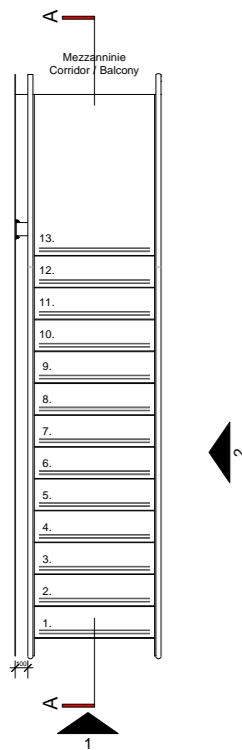
Design Strategy

Proposed new stair

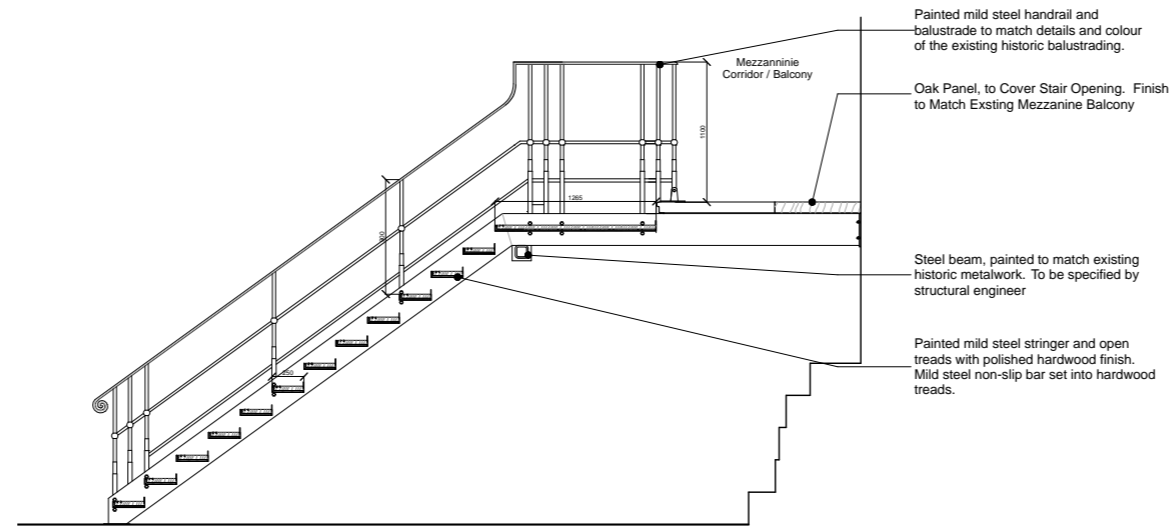
A new stair is proposed linking the ground and mezzanine floor within the main space. The proposed stair will link directly with the existing mezzanine meaning a small section of the existing balustrading will need to be removed.

The design and materiality of the new accommodation stair will match the existing materials.

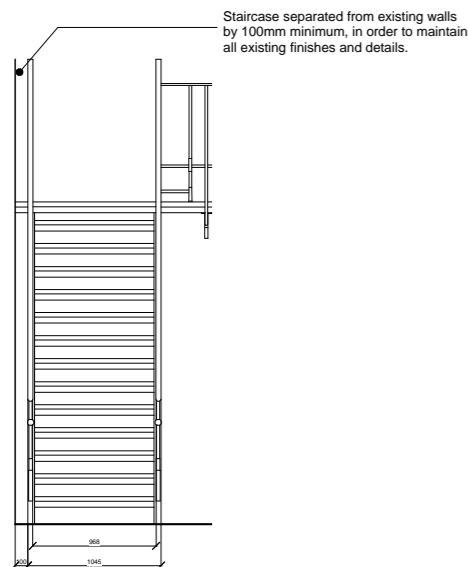
A similar stair has been consented and installed in the ground floor of No.163



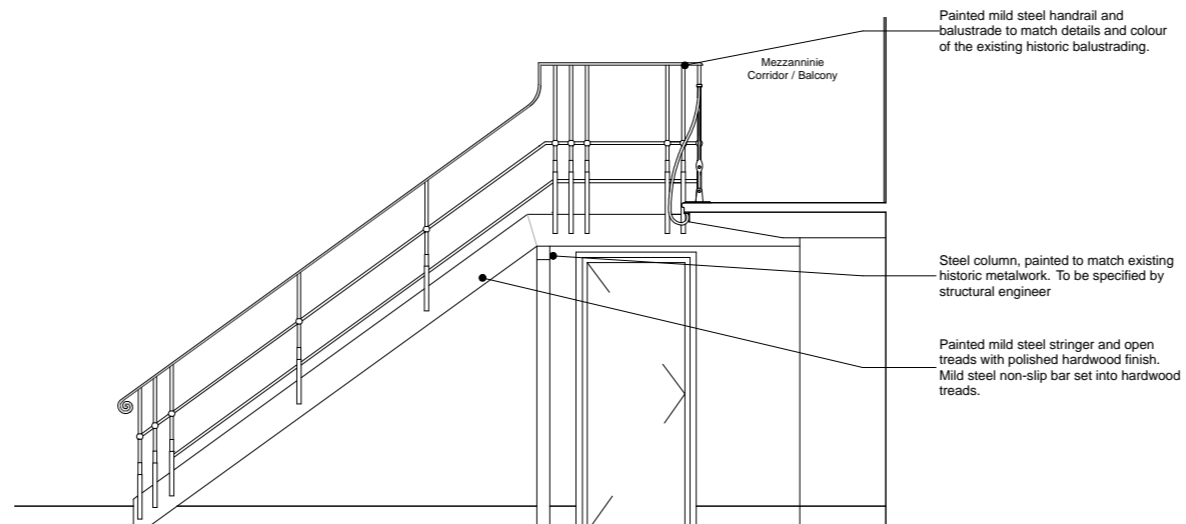
FIRST FLOOR STAIR: PLAN



FIRST FLOOR STAIR: SECTION A



FIRST FLOOR STAIR: ELEVATION 1



FIRST FLOOR STAIR: ELEVATION 2

General Notes

1. Drawings based on Cadplan survey dated 07/05/15
2. All dimensions to be checked on site
3. To be read in conjunction w/ Structural & other consultant's information
4. Furniture layouts based on Absolute Interior's drawing TRAGUS_1ST_GA 08/04/15
5. Do not scale from these drawings

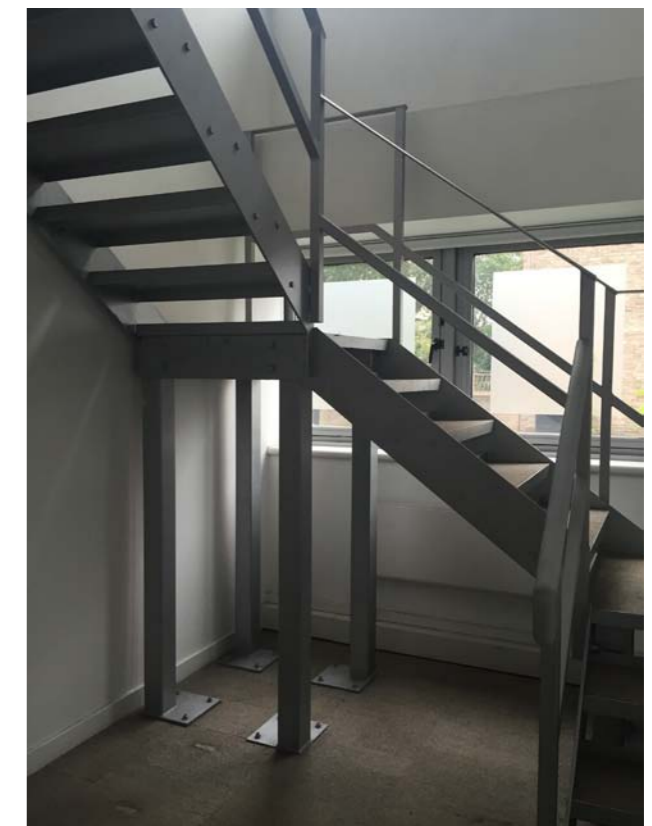


Photo of the existing modern stair which does not reflect the quality of the spaces

Drawings of consented new stair linking mezzanine to Ground Floor (No.163 North)

Application No: 2015/3181/L

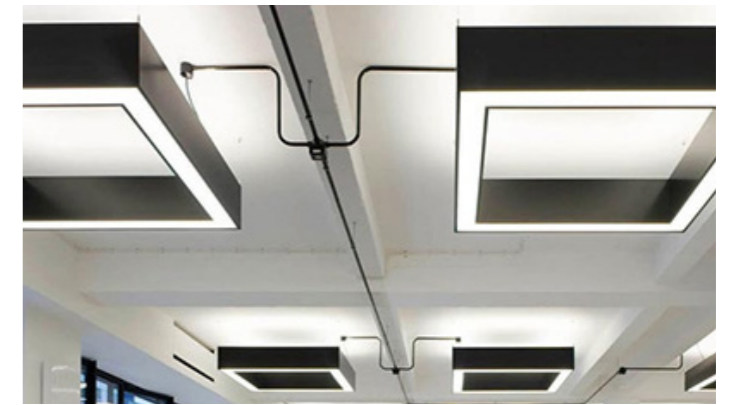
Ground Floor South, 183 Eversholt Street

Listed Building Consent - Design Statement - 25.01.16

halebrown architects

The proposed ground floor

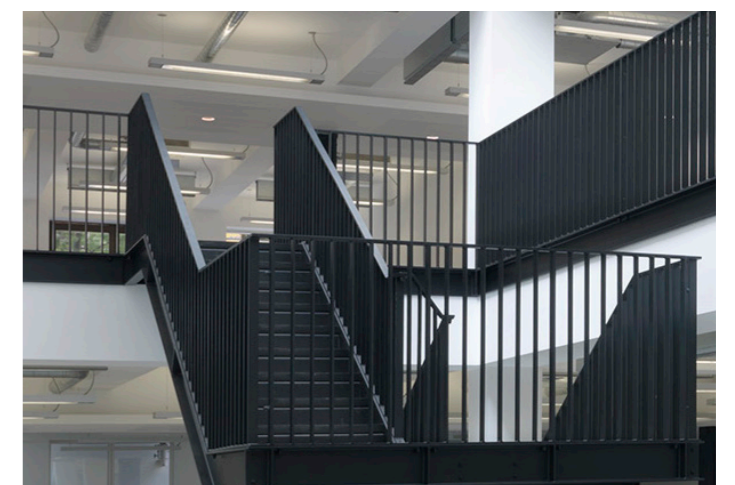
Maximising the space



New feature lighting



Exposed steelwork and ductwork to soffits



New black metal staircase

The proposed ground floor

A new staircase

