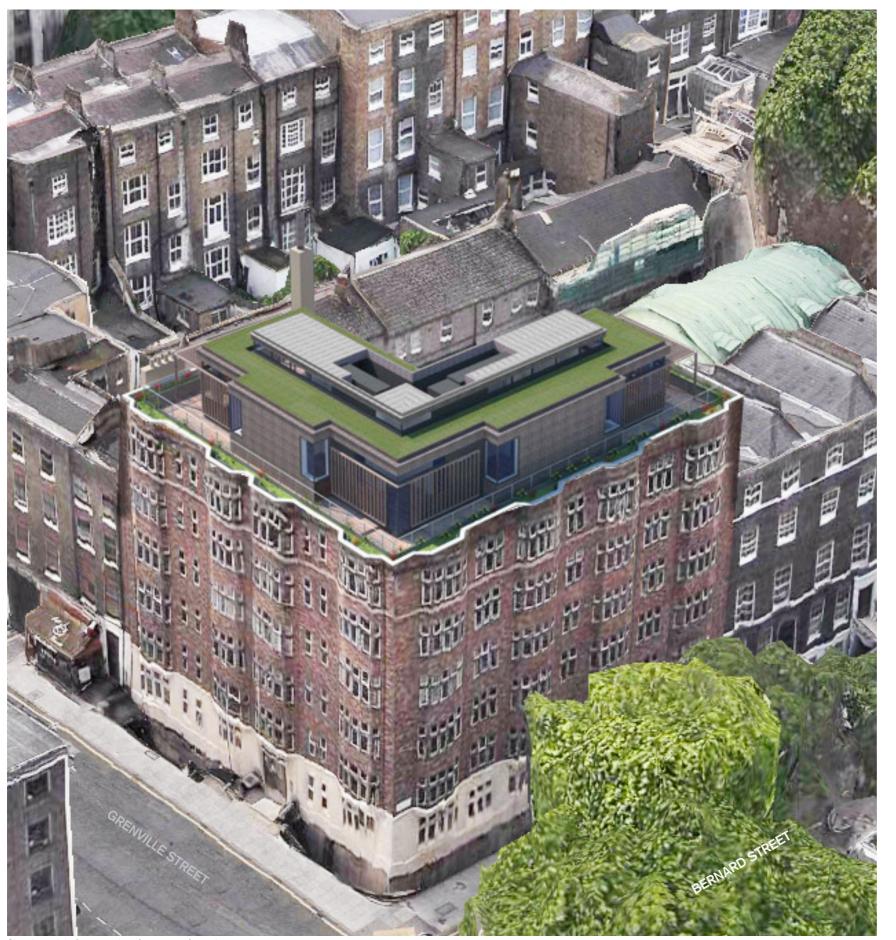


View of proposed roof extension from Brunswick Square

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Sketch model of proposed roof extension from above

# 4.0 Proposed development

# 4.1 Summary:

The proposal is for a small **single storey rooftop extension** to the existing residential building, providing **two new 2-bedroom apartments**. It is set back from the existing parapet and includes landscaped terraces. New plant areas are concealed at roof level.

### 4.2 Use and amount of development

Use will be **residential** (Use Class C3), as the existing building.

The total net additional floorspace proposed in the roof level extension is **134m<sup>2</sup>**. This compares to the existing floorspace in the building of approximately 2165m<sup>2</sup>.

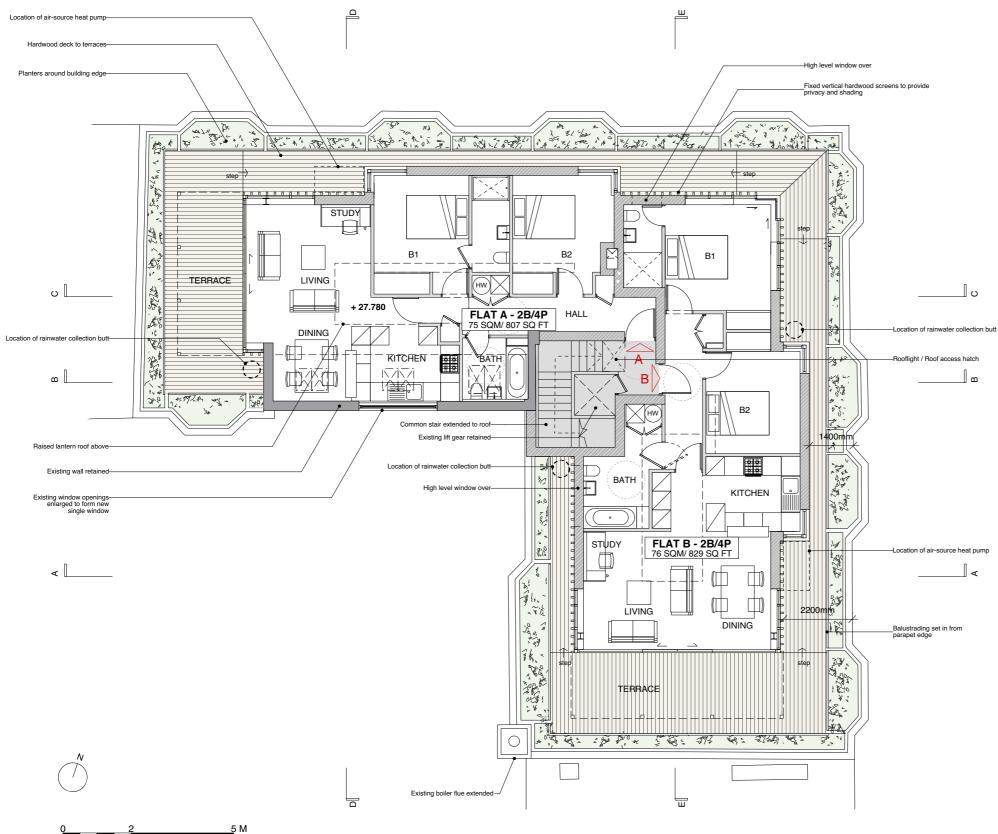
The two new flats, at **75m<sup>2</sup> and 76m<sup>2</sup>** respectively, both meet the council's minimum floorspace standards for 4-person (2-bedroom) self-contained dwellings. The design also meets the other guidance on space standards set out in CPG2.

Each flat is provided with a **private terrace**- of 26m<sup>2</sup> and 45m<sup>2</sup> respectively (excluding the perimeter planter areas).

#### SCHEDULE OF PROPOSED AREAS:

Flat A (2-bedroom, 4-person) Flat B (2-bedroom, 4 person) New shared circulation	FLOORSPACE (GIA) 75m <sup>2</sup> 76m <sup>2</sup> 11m <sup>2</sup>
TOTAL new extension at roof level	162m <sup>2</sup>
Demolition (existing plant/stair enclosure at roof)	28m <sup>2</sup>
TOTAL net additional area	134m²

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Proposed Plan at existing roof level (drawing 312.PL.003)

## 4.3 Access and parking

The development will be **car-free**, in line with council policy, reflecting the central location and excellent public transport connectivity, so patterns of travel to the site will be sustainable. Existing parking provision for current residents will not be affected and the scheme will have no traffic and transport related impacts. Above the standard required, secure racks for **14no. bicycles** will be provided at the rear courtyard for existing and new residents, accessed from the vehicle ramp.

Access to the new flats will be via the existing shared entrance on Grenville Street and the **existing shared lift/core**. The common stair will be extended to the new floor (existing roof) level, repeating the existing layout below. To minimise impact on neighbours' amenity the small lift will not be extended, so new residents will walk up the last flight.

The scheme is designed to promote **accessible living**. A **Lifetime Homes Assessment** has been carried out of access arrangements for both the proposed extension and existing building- see summary in Appendix C. The proposals generally meet the criteria for accessible living except for some minor details within the existing stair and this is considered reasonable within the context of an existing building.

## 4.4 Layout

The existing water tank enclosure at roof level will be removed, except for its southern wall on the rear elevation which will be retained. The communal tanks repositioned. The existing maintenance access stair will also be removed.

The shared stair at the angle of the 'L' will be extended up to this level and the new **single-storey** 2-bedroom flats positioned on each side of it.

Apart from where the section of rear wall is retained, the new extension is **set back** from the existing parapet on all sides. These set backs have continuous planters all round behind the parapet.

**Bedrooms** are grouped together on the north and east sides, with corner windows looking out obliquely. A bathroom and en-suite shower room are provided for each flat, along with ample storage off central corridor and in bedrooms. **Living**-dining areas are at the south and west ends, with have full width sliding doors opening onto private **terraces**. Kitchens open off dining areas and are screened from the central circulation.

Replacement water tanks and other **plant** are located above the extension's new roof and screened from view within the lantern enclosure.

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McDowell+Benedetti





Existing view from Brunswick Square

View of proposed roof extension from Brunswick Square



## 4.5 Scale and massing

The proposed new extension is designed to be complementary to the existing building while being subservient to it.

The extension is a single storey and is **set back** from the existing parapets all around, except at the south-facing rear wall where the existing wall at roof level is retained. Height around the eaves level is kept **low**. These measures ensure the overall scale has the minimum impact and it will not be prominent from street level.

The design responds to the composition and symmetry of the existing building. Projecting **central bays** on the Bernard and Grenville Street sides are set back less than the rest of the perimeter, and align with the existing central pair of projecting bay windows on each elevation below. This helps to anchor the new form to the existing building and create an appropriate top to it as viewed against the **skyline**.

A higher 'lantern' down the centre of the building, providing clerestorey lighting to the interior and concealing new plant areas, is set-back on each side from the edge of the new roof. It is only 800mm higher and will be little visible, even from a distance.

(scale and massing at rear continues over...)

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