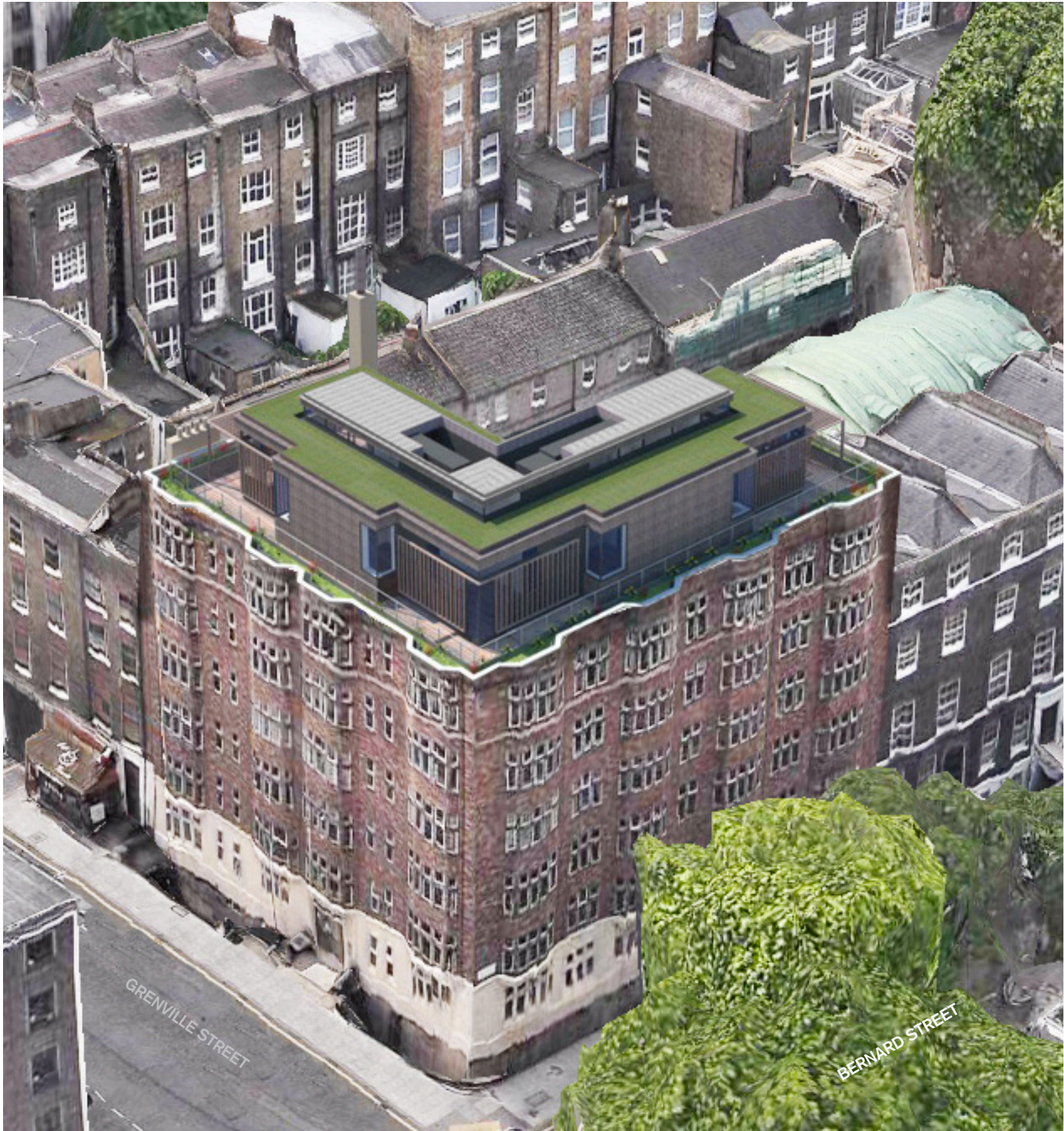




View of proposed roof extension from Brunswick Square



Sketch model of proposed roof extension from above

4.0 Proposed development

4.1 Summary:

The proposal is for a small **single storey rooftop extension** to the existing residential building, providing **two new 2-bedroom apartments**. It is set back from the existing parapet and includes landscaped terraces. New plant areas are concealed at roof level.

4.2 Use and amount of development

Use will be **residential** (Use Class C3), as the existing building.

The total net additional floorspace proposed in the roof level extension is **134m²**. This compares to the existing floorspace in the building of approximately 2165m².

The two new flats, at **75m²** and **76m²** respectively, both meet the council's minimum floorspace standards for 4-person (2-bedroom) self-contained dwellings. The design also meets the other guidance on space standards set out in CPG2.

Each flat is provided with a **private terrace**- of 26m² and 45m² respectively (excluding the perimeter planter areas).

SCHEDULE OF PROPOSED AREAS:

	FLOORSPACE (GIA)
Flat A (2-bedroom, 4-person)	75m ²
Flat B (2-bedroom, 4 person)	76m ²
New shared circulation	11m ²
TOTAL new extension at roof level	162m²
Demolition (existing plant/stair enclosure at roof)	28m ²
TOTAL net additional area	134m²



Existing view from Brunswick Square



View of proposed roof extension from Brunswick Square

4.5 Scale and massing

The proposed new extension is designed to be complementary to the existing building while being subservient to it.

The extension is a single storey and is **set back** from the existing parapets all around, except at the south-facing rear wall where the existing wall at roof level is retained. Height around the eaves level is kept **low**. These measures ensure the overall scale has the minimum impact and it will not be prominent from street level.

The design responds to the composition and symmetry of the existing building. Projecting **central bays** on the Bernard and Grenville Street sides are set back less than the rest of the perimeter, and align with the existing central pair of projecting bay windows on each elevation below. This helps to anchor the new form to the existing building and create an appropriate top to it as viewed against the **skyline**.

A higher '**lantern**' down the centre of the building, providing clerestorey lighting to the interior and concealing new plant areas, is set-back on each side from the edge of the new roof. It is only 800mm higher and will be little visible, even from a distance.

(scale and massing at rear continues over...)

