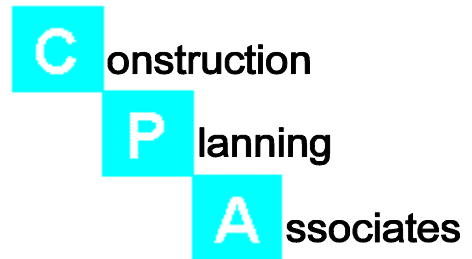


11<sup>th</sup> January 2016

Ref: CPA\1110116



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Dear James,

**Project Planning Services**  
**17 Branch Hill - BIA Audit Report**

As requested, I write to in regard to the comments made in the Basement Impact Assessment Audit report dated November 2015 prepared by Campbell Reith, and in particular paragraphs 1.18 and 4.18.

Campbell Reith have raised concerns at the possible surcharge loading on the existing retaining wall that runs along the southern boundary of the access driveway to 17 Branch Hill. This retaining wall varies in height up to a maximum of approximately 2.5 m. The top 0.6 -1.0m comprises a planter which sits above the level of the driveway. (See attached photograph #1), such that the garden to Nr 1 Branch Hill is 2.0m or less below the driveway level.



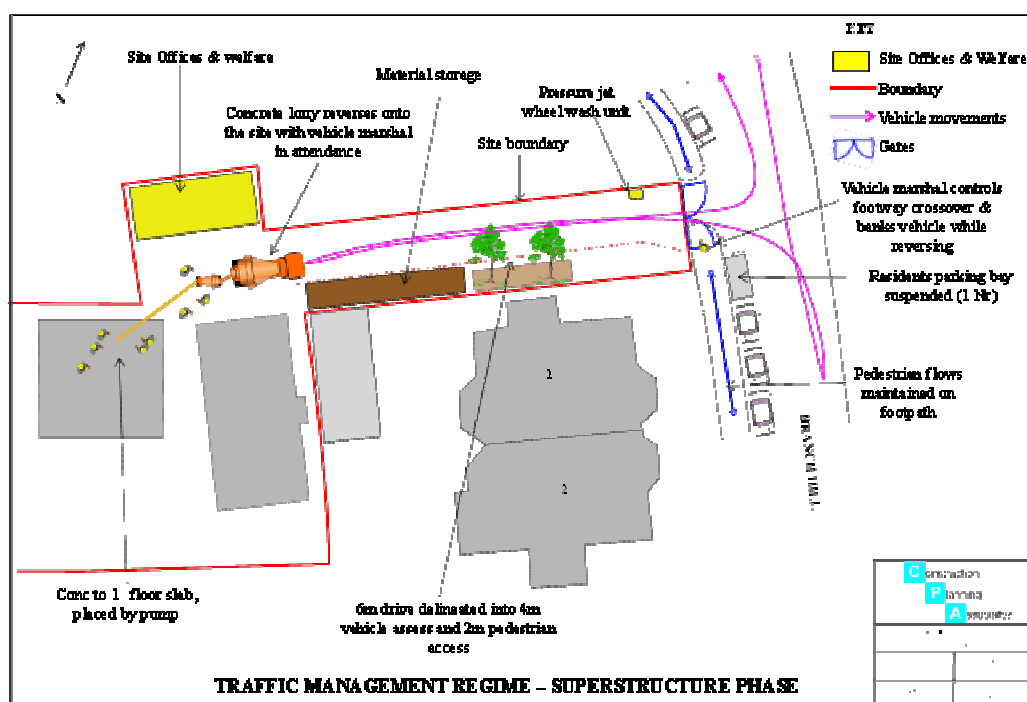
In preparing the CMP we fully considered stability of this wall and discussed this with the project structural engineers Engineers-HRW and we took account of site dimension measurements of this wall provided by SHH.

We concluded that in order to avoid a potential surcharge on this wall all construction vehicles should be kept at least 2.0m back from the face of the existing wall and thus outside of a 45° zone of influence. In the consented scheme the majority of the existing planters are to be removed, and therefore in this area temporary material storage would be permissible up to an equivalent of the 0.6m-1.0m of soil ( 10-18 kN/m<sup>2</sup>).

This conclusion is reflected in the CMP at paragraph 6 of section 3.5

*The existing planter structure on the southern side of the drive will be demolished except for the section containing two retained mature trees. The driveway will be segregated with a 4m section on the northern side dedicated to the vehicles and the remaining southern section (at least 2m wide) will be used for pedestrian access and material storage. This will ensure the existing retaining wall to Nr1 Branch Hill is not surcharged by any vehicle loading.*

This arrangement is also illustrated in the site layout drawings in Appendices C & D which show the 2m pedestrian only zones and the material storage area in the location of removed planter.



We trust that address concerns raised and demonstrates that there will no additional surcharge on the retaining wall the drive as result of the construction work being carried out as described in the CMP.

Yours sincerely

*Clive Winstanley*

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