

## ROOF PLANT

The approved proposals for the roof incorporate little at this level except for Photovoltaic Panels. There are other ingredients that any tower of this nature would need to accommodate.

- Provision of a means to safely access the façade below for cleaning and maintenance.
- Discharge of flues from Boiler and Generator plant in basement.
- Extract of smoke from protected lift lobbies and corridors in the event of a fire by extract fans in the event of a fire.
- Cooling plant to service environmental systems in apartments.
- Safe access to roof level for maintenance staff.

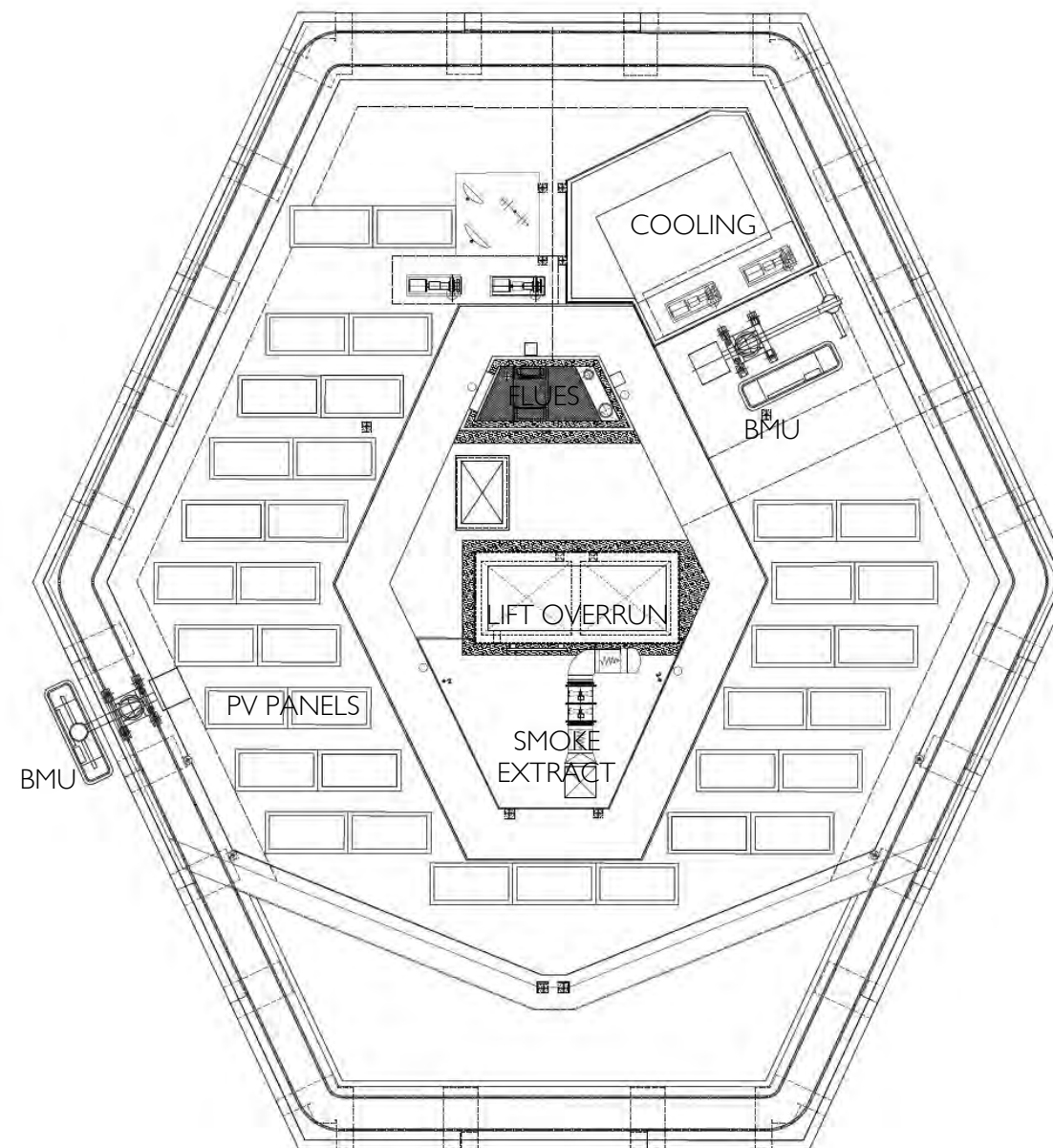
A Building Maintenance Unit (BMU) is proposed to provide safe façade access, with tracks circumnavigating the roof edge, allowing a cradle to be lowered to undertake the work.

Access to the roof and flue discharge at a suitable level, have been combined by extending the shaft enclosure to provide flue termination and an access door to roof level.

Emergency smoke extraction is a requirement of the Fire Safety Strategy and Building Regulations. The fan units are strictly functionable, but necessary. They will be screened by louvred enclosure and only operate in an emergency or for routine testing.

Cooling plant is located at the rear (north) of the roof, away from most site lines to the building along the open east to west aspect.

The roof will continue to house PV panels, over a Brown Roof.

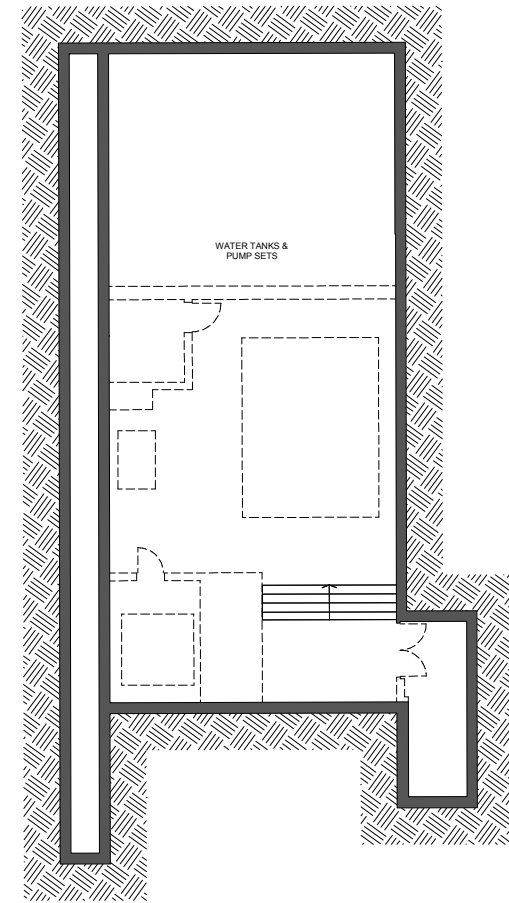
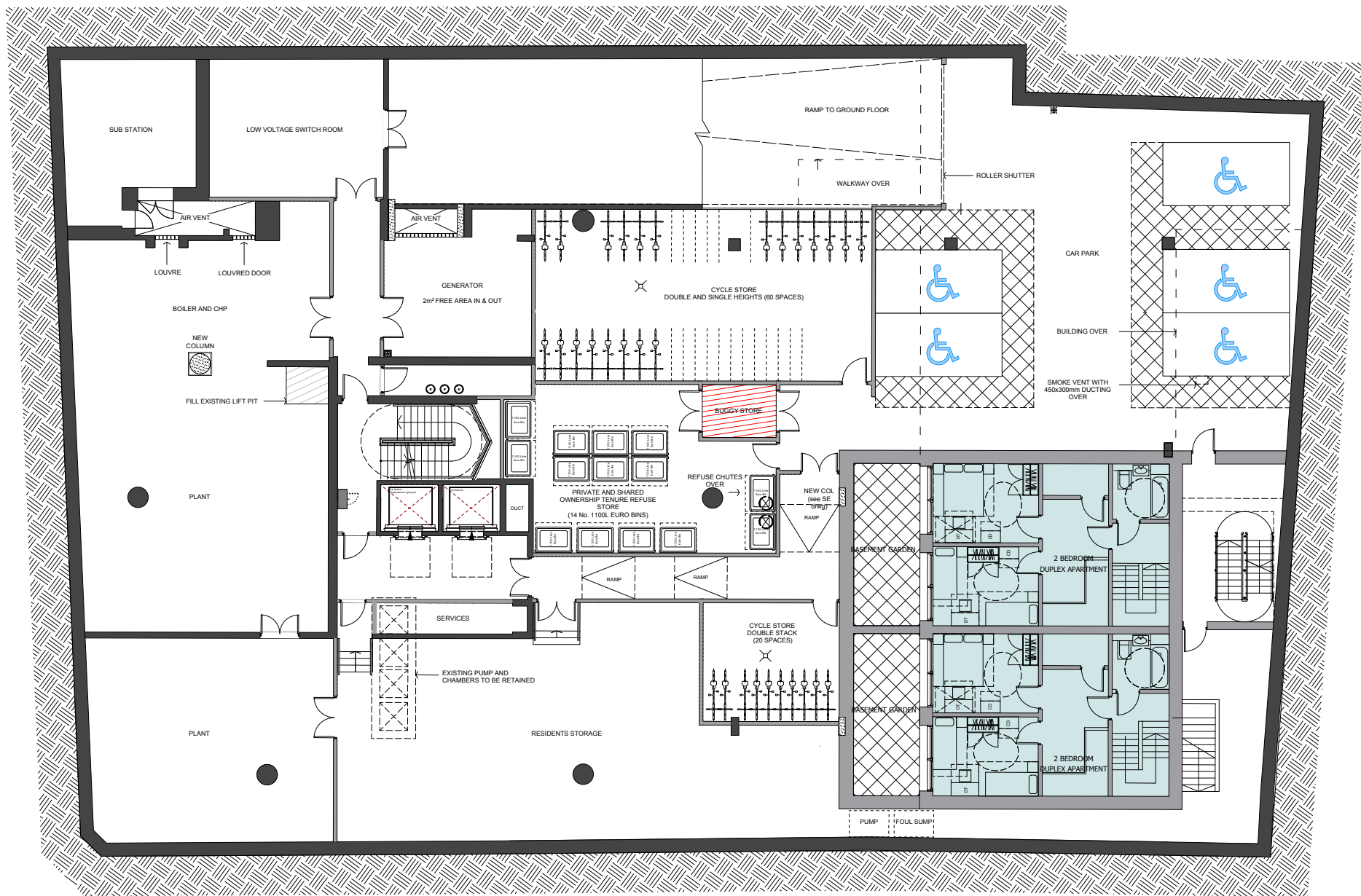




# SECTION 73 • COMPARATIVE DRAWINGS

December 2015

PARKER TOWER • PARKER STREET • COVENT GARDEN



PROPOSED SUB-BASEMENT

0 10 50 100mm  
 DIMENSION AT ORIGINAL SHEET SIZE  
 Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported to the Architect before proceeding © This drawing is Copyright

APPROVED

PLANNING

REVISION	DRN	CHKD	DATE
Issue for planning	K/C	KC	12/08/15
rev A - Issue for planning - revised cycle storage to accommodate Camden's comments	K/C	KC	14/08/15

**A&Q**  
 PARTNERSHIP

CLIENT  
 BNP Paribas Real Estate

PROJECT  
 Parker Tower  
 Covent Garden, London

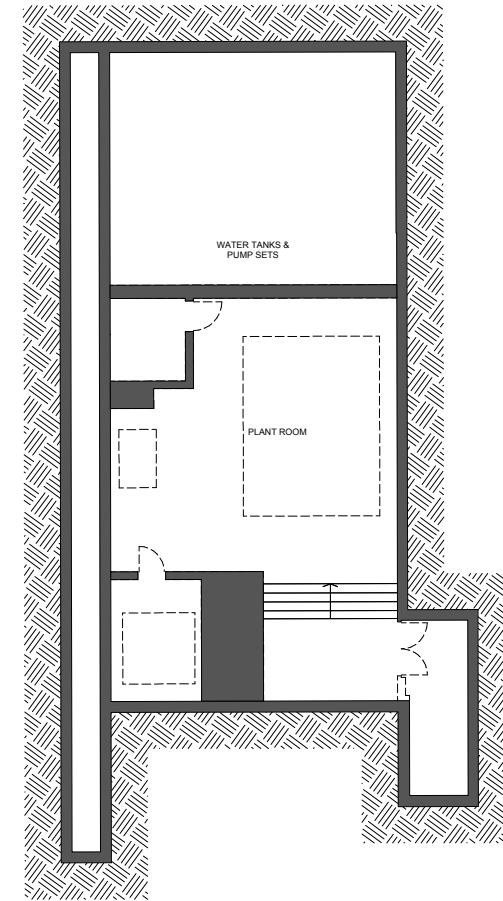
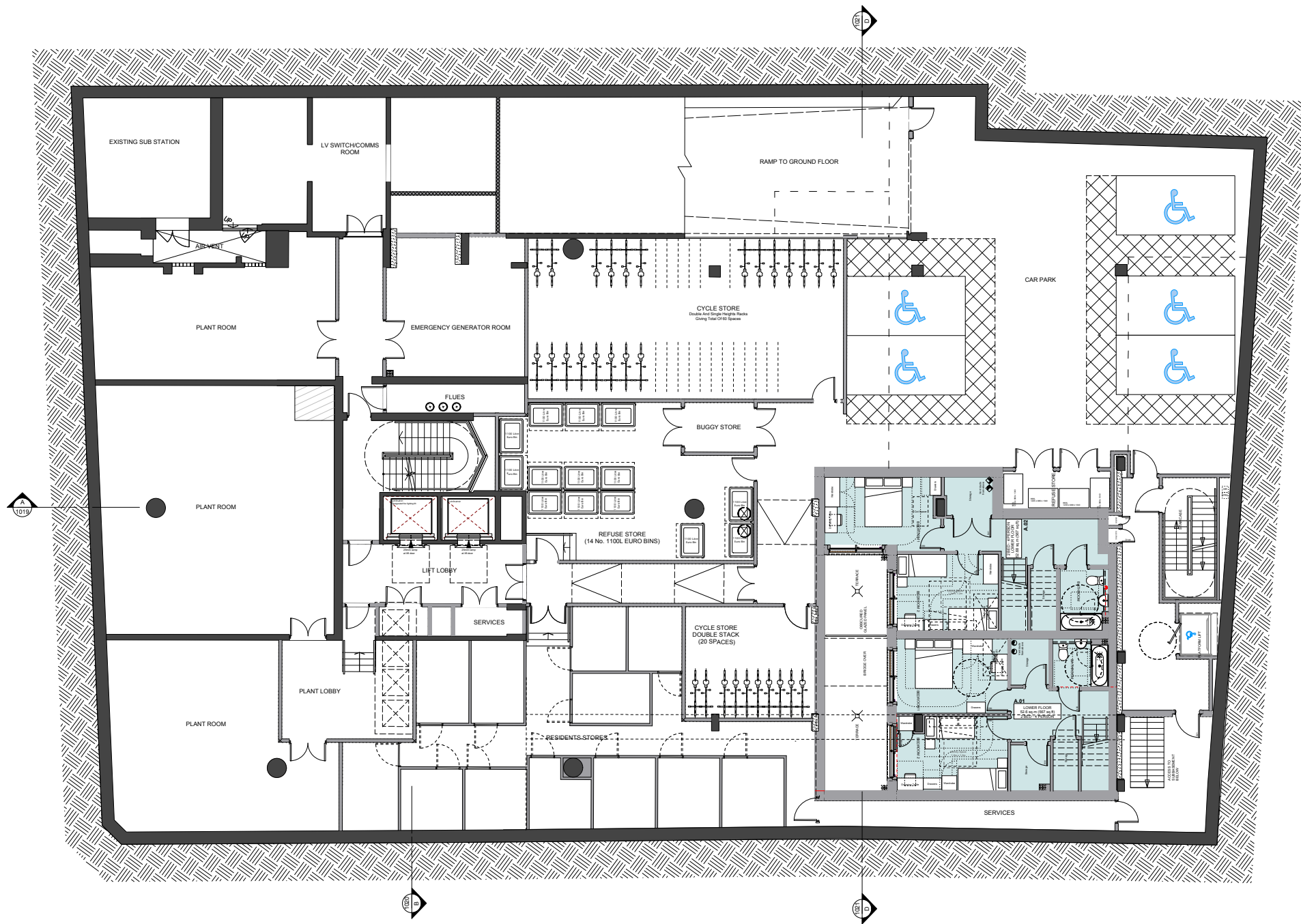
DRAWING  
 Proposed Basement/Sub-Basement Plan

SCALE 1:100 @ A1 DATE June 2015

DRAWING No. 15125A-01P0009 DRAWN BY MP  
 REVISION A

A&Q PARTNERSHIP (LONDON) LTD  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6NU  
 Tel: 020 7613 2244 Fax: 020 7613 2842 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS





PROPOSED SUB-BASEMENT

0 10 50 100mm  
 DIMENSION AT ORIGINAL SHEET SIZE  
 Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported to the Architect before proceeding © This Drawing is Copyright

PLANNING

REVISION	DRN	CHKD	DATE
Issue for planning	K/C	KC	12/08/15
Rev A - Issue for planning - revised cycle storage to accommodate Camden's comments	K/C	KC	14/08/15
Rev B - Updated planning issue	MP	AQP	11/12/15



CLIENT  
 BNP Paribas Real Estate

PROJECT  
 Parker Tower  
 Covent Garden, London

DRAWING  
 Proposed Basement/Sub-Basement Plan

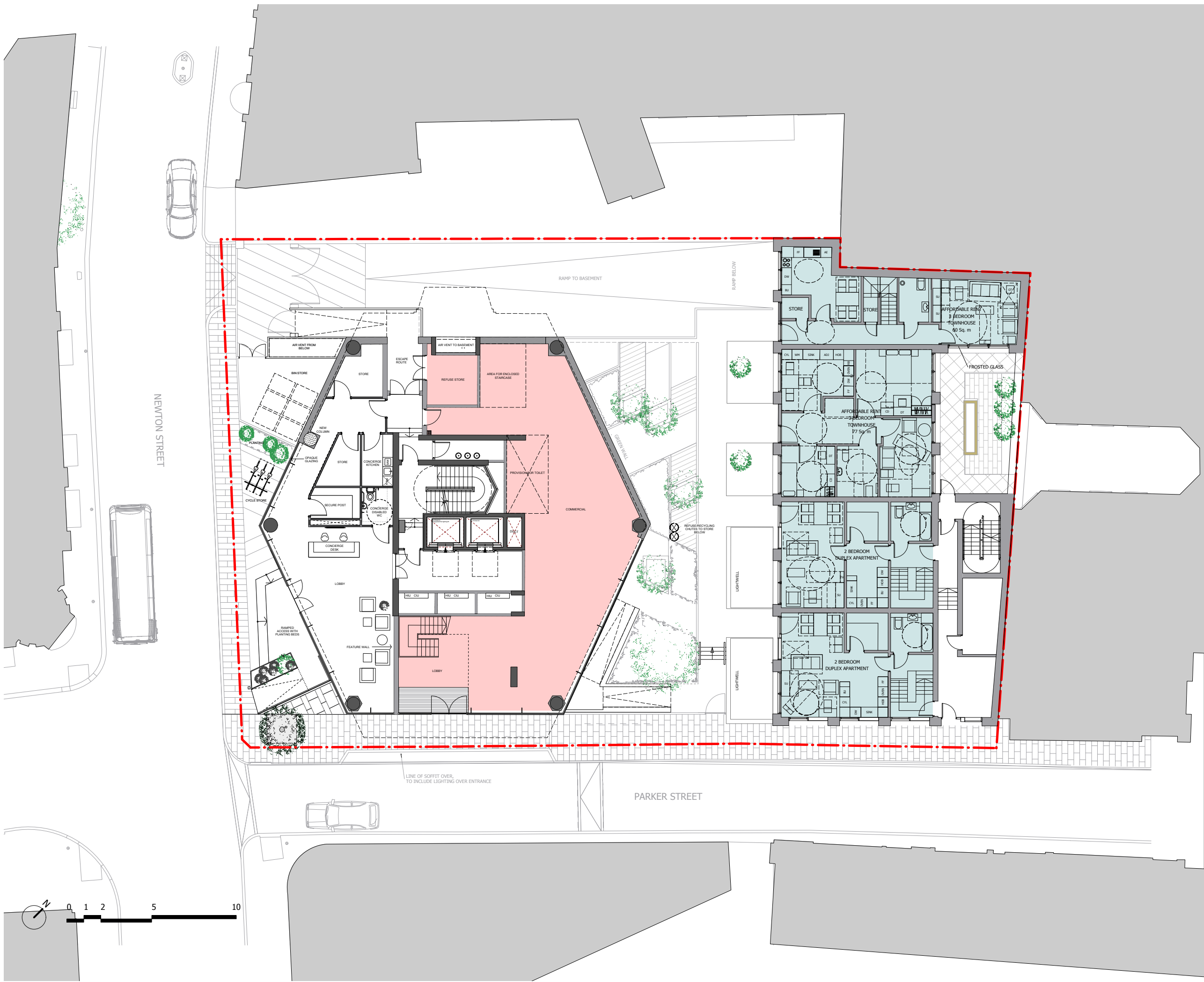
SCALE 1:100 @ A1 DATE June 2015

DRAWING No. 15125A-01P0009 DRAWN BY MP REVISION B

A & Q PARTNERSHIP (LONDON) LTD  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6NU  
 Tel: 020 7613 2244 Fax: 020 7613 2842 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



APPROVED



PLANNING

REVISION	DRN	CHKD	DATE
Issue for planning	KrC	KC	12/08/15

**A&Q**  
 PARTNERSHIP

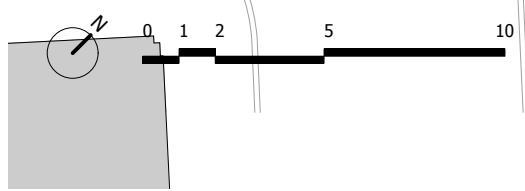
CLIENT  
 BNP Paribas Real Estate

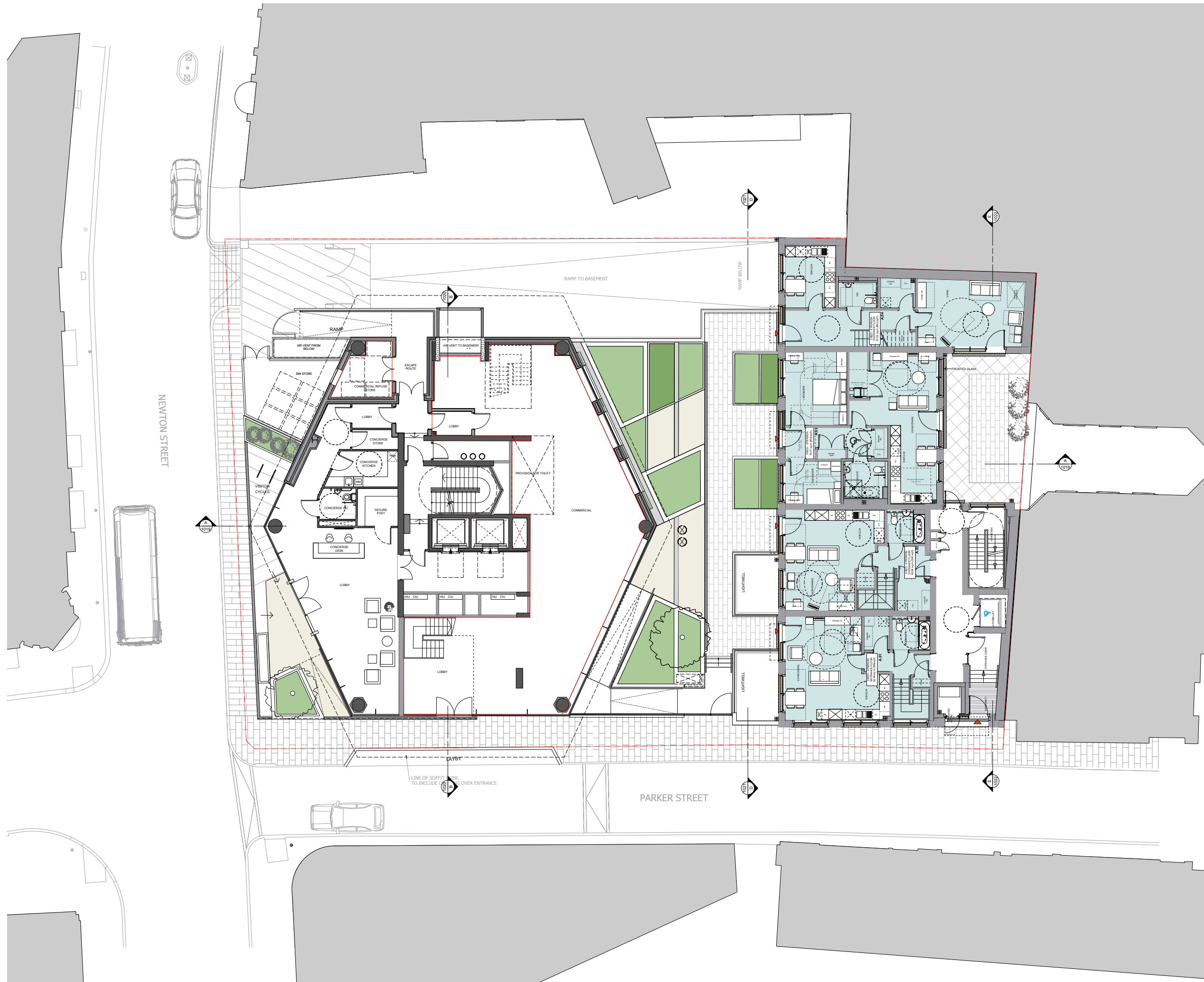
PROJECT  
 Parker Tower  
 Covent Garden, London

DRAWING  
 Proposed Ground Floor Plan

SCALE 1:100 @ A1 DATE June 2015

DRAWING No. 15125Ax00P1000 DRAWN BY MP REVISION





0 10 50 100mm  
 DIMENSION AT ORIGINAL SHEET SIZE  
 Contractors must check all dimensions on site. Only figured dimensions are to be worked from.  
 Discrepancies must be reported to the Architect before proceeding © This drawing is Copyright

**PLANNING**

REVISION	DRN	CHKD	DATE
Issue for planning	KrC	KC	12/08/15
Rev A - Updated planning issue	MP	AQP	11/12/15



CLIENT  
 BNP Paribas Real Estate

PROJECT  
 Parker Tower  
 Covent Garden, London

DRAWING  
 Proposed Ground Floor Plan

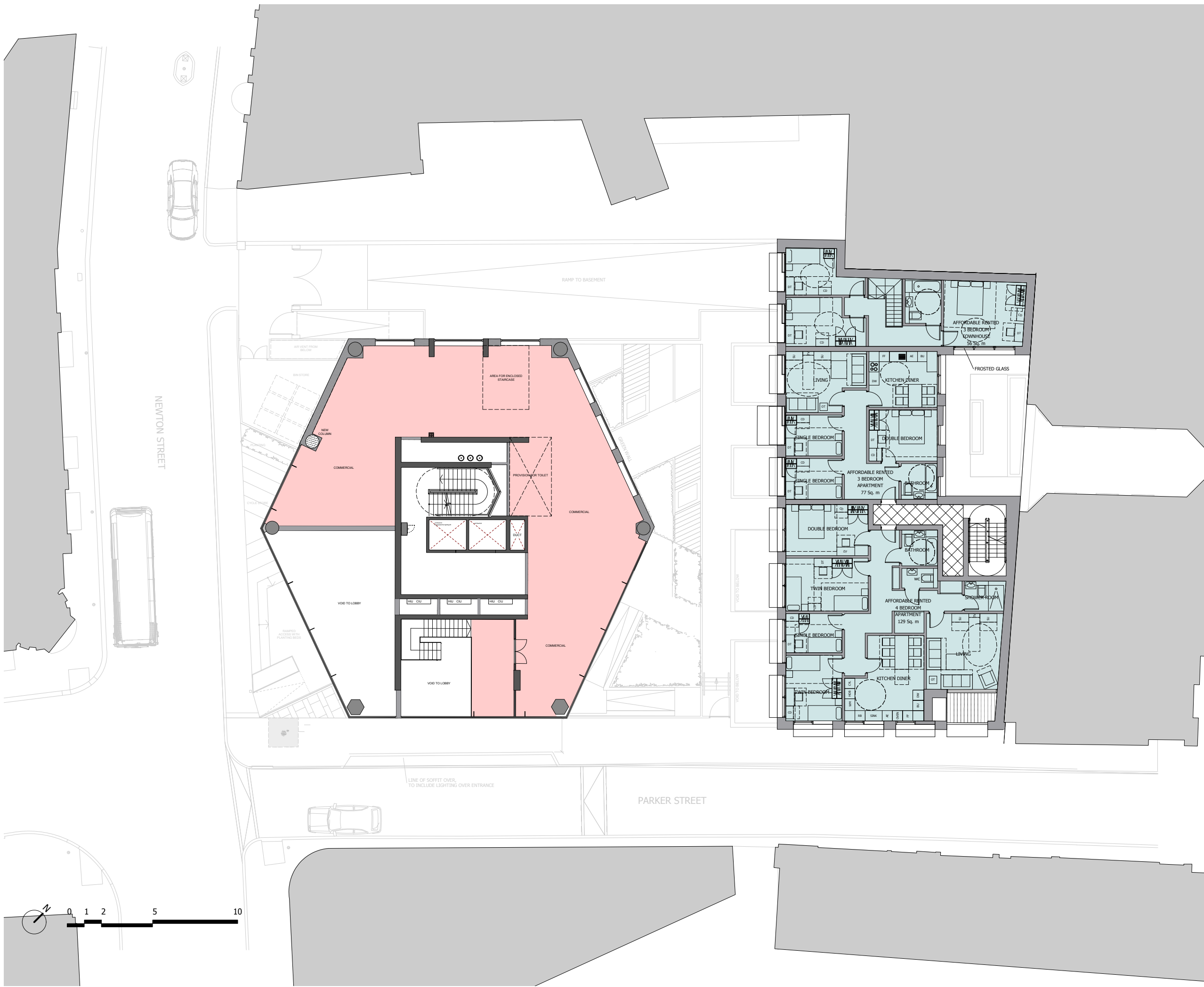
SCALE 1:100 @ A1 DATE June 2015

DRAWING No. 15125Ax00P1000 DRAWN BY MP  
 REVISION A

**A & Q PARTNERSHIP (LONDON) LTD**  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6 NU  
 Tel: 020 7613 2244 Fax: 020 7613 2842 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

DIMENSION AT ORIGINAL SHEET SIZE  
 Contractors must check all dimensions on site. Only figured dimensions are to be worked from.  
 Discrepancies must be reported to the Architect before proceeding © This drawing is Copyright

**APPROVED**



**PLANNING**

REVISION	DRN	CHKD	DATE
Issue for planning	K/C	KC	12/08/15

**A&Q**  
 PARTNERSHIP

CLIENT  
 BNP Paribas Real Estate

PROJECT  
 Parker Tower  
 Covent Garden, London

DRAWING  
 Proposed First Floor Plan

SCALE 1:100 @ A1 DATE June 2015

DRAWING No. 15125Ax01P1001 DRAWN BY REVISION

**A & Q PARTNERSHIP (LONDON) LTD**  
 THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N1 6NU  
 Tel: 020 7613 2244 Fax: 020 7613 2842 Email: london@aqp.co.uk  
 ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

