

# **4-8 MAPLE STREET PLANNING STATEMENT**

**SUBMITTED ON BEHALF OF NFU MUTUAL INSURANCE SOCIETY LTD**  
DECEMBER 2015

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## 1 INTRODUCTION

1.1 This Planning Statement has been prepared in support of an application for planning permission at 4-8 Maple Street, London.

1.2 This application has been prepared on behalf of NFU Mutual Insurance Society Ltd ('the applicant') for determination by the London Borough of Camden ('the Council'). The application seeks permission for the:

*"Internal refurbishment of the existing office floorspace and external alterations comprising changes to the Maple Street and Midford Place elevations, creation of a flexible A1/A3/B1 unit at ground floor level, an extension to the existing third floor to create 175 m2 (GIA) of additional office floorspace and relocation and replacement of plant".*

1.3 In addition to the necessary forms, certificates, plans and drawings the application is supported by the following reports:

- A Planning Statement prepared by Carter Jonas (this document);
- A Design and Access Statement (including a schedule of areas) prepared by Buckley Gray Yeoman;
- A Daylight Sunlight Assessment prepared by Brooke Vincent and Partners;
- A Noise Assessment Report prepared by Philip Acoustics Ltd; and
- A Sustainability Statement prepared by Flatt Consulting.

1.4 This Statement now turns to describe the site and the detail of the proposals before carrying out a planning assessment of the scheme.

1.5 Overall it is considered that the application documents present a compelling case for the proposed development.

## 2 SITE AND SURROUNDING AREA

### Site Features

- 2.1 The site relates to the building known as 4-8 Maple Street within the London Borough of Camden. It is a single building with access from both Maple Street and Midford Place.
- 2.2 The building currently comprises three distinct blocks. The southern block rises to four storeys and fronts Maple Street. The central block includes three storeys with associated plant and services at roof level (adjoined to the third floor of the southern block). The rear block consists of a single storey with secondary access to the building taken from Midford Place. All three blocks share the ground floorspace, with the southern and central blocks also sharing the first and second floorspace.
- 2.3 The existing Maple Street frontage which forms the primary access to the building has painted render finish at all levels with a protruding curved glass screen at the first to third floors sitting in front of the painted render. The Midford Place entrance comprises a painted facade with a glass panelled door and window. A steel staircase is situated to the left hand side of the entrance and provides access to the first floor terrace as well as two residential properties (Nos. 6a and 6b Midford Place).

### Surrounding Area

- 2.4 Located on the northern side of Maple Street, the site is situated within Fitzrovia.
- 2.5 Maple Street itself is characterised by a mixture of heights and uses including commercial, retail and residential. No. 2 Maple Street (which adjoins the site the east) is a Grade II Listed Building and occupied by a pub at ground floor level with offices on the upper floors. No. 10 Maple Street (which adjoins the site to the west) is a Turkish Cultural Centre.
- 2.6 The northern perimeter of the building lies adjacent to the Fitzroy Square Conservation Area boundary but the application site itself is not located within any Conservation Area.
- 2.7 Located perpendicular to Tottenham Court Road, Maple Street is located less than 300m from Warren Street and Goodge Street Underground Stations, with Euston Train Station a 10 minute walk away. In addition, there are numerous bus stops situated along Tottenham Court Road.

### 3 DEVELOPMENT OF PROPOSALS

- 3.1 The proposals have evolved against the background of a thorough assessment of the opportunities and constraints associated with the site and pre-application consultation with the Council.

#### Pre-Application Advice (2015/5339/PRE)

- 3.2 On 15 October 2015 a pre-application meeting and site visit took place with Kathryn Moran, London Borough of Camden Senior Planning Officer. The pre-application submission document prepared by Buckley Gray Yeoman is included at **Appendix 1** and shows the proposed extension of the third floor to provide an increase in employment floorspace, alterations to the Maple Street and Midford Place elevations, rationalisation of the plant at roof level and internal refurbishment works.
- 3.3 At the pre-application meeting and within the subsequent written advice received by email on 30 October 2015 (**Appendix 2**) the officer provided the following comments for consideration:
1. The principle of the third floor (roof) extension to increase employment floorspace was considered acceptable subject to the amenity impact on the surrounding properties with a Daylight/Sunlight report being required. It was recommended that *“the rear elevation could be made more solid rather than fully glazed as proposed”*.
  2. In terms of the extension, the proposed rationalisation of the plant was considered acceptable.
  3. As the pre-application scheme proposed a 234 m<sup>2</sup> increase in employment floorspace, the officer stated that Policy *“DP1 would be applicable and 50% of the additional floorspace should be provided as housing on site. Therefore on the basis of the proposal 117m<sup>2</sup> of residential accommodation would be required. If it can be demonstrated this cannot be provided on site we could seek provision off site in the vicinity of the site and only in very exceptional circumstances we may accept a Payment in Lieu”*. As a result, the increase in proposed floorspace has been reduced as part of this application.
  4. The alterations to the Maple Street elevation were welcomed and seen as *“a significant improvement to the streetscene”*. The alterations to the Midford Place elevation were also considered an improvement to the appearance of the building. It was noted that the acceptability of the elevations would be reliant on the proposed detail.
- 3.4 Overall it was recognised that the proposals would bring about significant improvements to the appearance and functionality of the building.
- 3.5 Following the receipt of the written advice contained in Appendix 2, additional information was submitted providing further detail on the Midford Place elevation (**Appendix 3**). The officer responded by email on 12 November 2015 (**Appendix 4**) expressing no objections in principle and noting that the acceptability of the changes would depend on the quality/type of materials proposed.

## Proposed Scheme

3.6 The proposals have been amended since the request for pre-application advice was submitted to accommodate the evolution of the design process as well as the comments received from the officer at the pre-application stage. The proposed development now comprises:

- Maple Street elevation:
  - Removal of glazed feature and red paintwork to modernise and declutter the appearance of the building;
  - Retention of panelised masonry, replacement paintwork, new folded metal architraves;
  - Replacement of ground floor windows with larger windows to enhance the streetscape;
  - Enlarged windows at third floor level to match the window sizes at first and second floor levels;
  - Recoating of retained first and second floor windows to match (or be similar in colour) to the proposed bay framing;
  - Provision of a flexible A1/A3/B1 unit to provide any future tenant with the opportunity to maximise activity on the Maple Street frontage (the building otherwise has a very oversized reception area which may not be attractive to all occupiers); and
  - Provision of level access from the street.
- Midford Place elevation:
  - Removal of existing steel staircase and provision of replacement spiral staircase to the first floor terrace level;
  - Provision of a roof light to improve the quality of the office space at ground floor level;
  - Replacement of existing Midford Place entrance which consolidates the existing railings and improves the appearance of this elevation (so that it is no longer the 'back' entrance to the building).
- Third floor extension:
  - Whilst there is an existing third floor on the southern block of the building (fronting Maple Street) the central block currently comprises a plant room and condenser units on top of the existing second floor. The third floor office floorspace will be extended to include the central block maintaining an area of terrace on the north and east elevations (i.e. the extension will be set back);
  - Overall, the existing floorspace will be increased by 175 m<sup>2</sup> GIA; and
  - Existing plant will be replaced with more efficient modern plant at roof level on the central block (therefore it will not be visible from street level).
- Internal alterations:

- Complete refurbishment of the existing office floorspace at ground to third floor levels (this does not require planning permission but detail is shown for context);
- Conversion of the existing basement plant room to provide for:
  - 40 cycle parking spaces;
  - 40 lockers;
  - Four showers; and
  - Cycle repair stand.

3.7 The proposed changes are shown in detail on the planning application drawings and within the Design and Access Statement prepared by Buckley Gray Yeoman.

## 4 PLANNING POLICY CONSIDERATIONS

### POLICY CONTEXT

- 4.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that planning applications should be determined in accordance with the Development Plan unless material considerations indicate otherwise. In this case the Development Plan comprises the Further Alterations to the London Plan (London Plan) (2015) and the documents forming part of Camden's Local Development Framework. Relevant national and local policy guidance will also form a material consideration in the determination of the application.

### National

- 4.2 The National Planning Policy Framework (NPPF) was published in March 2012 and provides the basis of the Government's planning policy guidance. It effectively reinforces the Government's message for authorities to adopt a 'presumption in favour of sustainable development'. The relevant paragraph (14) states that:

*"At the heart of the planning system is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan making and decision taking".*

- 4.3 The NPPF goes on to set out a number of 'Core Planning Principles'. Core Planning Principle 3 states that planning should proactively drive and support sustainable economic development to deliver the homes, business and industrial units, infrastructure and thriving local places that the country needs. It also confirms that Plans should respond to market signals, such as land process, and set out a clear strategy for allocating sufficient land which is suitable for development in their area, taking account of the needs of the business communities.

- 4.4 In respect of reusing previously developed land, Core Planning Principle 8 seeks to:

*"Encourage the effective use of land by reusing land that has been previously developed (brownfield land), provided that it is not of high environmental value".*

- 4.5 This is relevant in this case where a more efficient use of the existing building is being promoted which includes an increase in employment floorspace and improved sustainability measures.

### Regional

- 4.6 The London Plan sets out an integrated social, economic, transport and environmental framework for London, looking forward 20 to 25 years.
- 4.7 The application site is located within London's Central Activity Zone (CAZ) where the London Plan seeks to enhance and promote the area as the globally iconic core of one of the world's most competitive business locations.
- 4.8 The proposals seek to further the aims of the London Plan.



## Local

- 4.9 In this instance, the Development Plan comprises the London Borough of Camden Core Strategy (2010), Camden Development Policies (2010) and the Fitzrovia Area Action Plan (2014).
- 4.10 Also of relevance to this application are Camden Planning Guidance 3 (Sustainability) and the London Borough of Camden Community Infrastructure Levy Charging Schedule (2015).
- 4.11 It is with this policy context in mind that the following planning considerations are made.

## PLANNING CONSIDERATIONS

### Principle of Development (Increase in Employment Floorspace)

- 4.12 Camden's Planning Policy Map does not identify the subject site for a specific land use. However, 4-8 Maple Street has historically been in employment use (as Use Class B1a offices) and this use is sought to be retained and intensified as part of the application. Camden Core Policy CS8 seeks to secure a strong economy within the Borough and will promote growth within "*Central London to meet the forecast demand of 615,000 sq m to 2026*".
- 4.13 Policy 4.2 of the London Plan reinforces this point stating that boroughs should support the redevelopment of office provision within London and "*encourage renewal and modernisation of the existing office stock in viable locations to improve its quality and flexibility*".
- 4.14 Camden's Development Policy DP1 states the following in respect of developments based within the Central London Area:
- "Where more than 200 sq m (gross) additional floorspace is provided, we will require up to 50% of all additional floorspace to be housing".*
- If it can be demonstrated that this floorspace could not practically be achieved on site, the council would seek provision off site within the local vicinity. Under exceptional circumstances, the council would accept a payment in lieu.
- 4.15 The application seeks an increase in commercial floorspace of 175 m<sup>2</sup> (GIA) or 199 m<sup>2</sup> (GEA). As the proposed increase does not exceed the 200 m<sup>2</sup> threshold, the application does not trigger the requirement for 50% of the new floorspace to be housing. Therefore, the scheme is in accordance with Policy DP1.
- 4.16 With the proposal seeking to improve and extend the existing employment floorspace, the development will assist with supporting the increased demand for office floorspace in the Borough whilst providing a modernised working environment which will appeal to a wider variety of occupiers. Therefore, the proposed development is considered to be in accordance with the aims of Policy CS8 of the Core Strategy and Policy 4.2 of the London Plan.

## Design

- 4.17 As well as improving the existing office floorspace and providing additional floorspace at third floor level by way of an extension to attract future occupiers to the building, various other external alterations are proposed to improve the appearance of 4-8 Maple Street. It is considered that the proposed changes to both the Maple Street façade and Midford Place entrance (as described in Section 3 above) will improve the appearance of the building.
- 4.18 Development Policy DP24 states that all developments will need to be of the highest quality of design taking into consideration the character of the existing building, the character of the surrounding area, the quality of materials and the appropriate location for plant/services. This is echoed by the Fitzrovia AAP which seeks to promote a high quality physical environment within the AAP. These principles have been applied to both the proposed extension as well as the alterations to the existing facades. It is considered that the appearance of the building will be vastly improved, making a positive contribution to the surrounding area as well as being an attractive location for future occupiers.
- 4.19 Furthermore, a predominantly glazed third floor extension was presented at the pre-application stage. The level of glazing has been reduced as part of the application to bring the design in line with officer comments.

## Heritage

- 4.20 As already mentioned, the site abuts the Fitzroy Square Conservation Area (the Conservation Area boundary is adjacent to the northern boundary of the building) and is also adjacent to a Grade II Listed Building (No. 2 Maple Street). Therefore, heritage factors should be considered in relation to the proposed scheme.
- 4.21 Camden's Development Policy DP25 seeks to conserve the borough's heritage. In terms of Conservation Areas, the Council will "*not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area.*" A similar approach is taken toward listed buildings as the Council will "*not permit development that it considers would cause harm to the setting of the listed building*".
- 4.22 The heritage factors have been carefully considered as part of the design proposals. Views of the proposed extension from the Conservation Area are limited given that this is at third floor level and set back from the northern and western elevations of the building. It is considered that the extension will actually improve the appearance of the building from the Conservation Area by replacing the existing plant area and providing a well-designed extension. Similarly, the proposed improvements to the Maple Street façade are considered to improve the setting of the adjacent Listed Building, particularly with the removal of the existing glazed feature.

## Overlooking

- 4.23 The Council seeks to protect the amenity of occupiers and neighbours to nearby developments. This is reinforced by Development Policy DP26 which stipulates that developments would not be permitted which would lead to overlooking and risks to visual privacy.
- 4.24 As the proposed rooftop extension is a storey higher than the neighbouring residential properties at Midford Place as well as set back from the existing building line, there would be no direct overlooking from the northern elevation of the proposed third floor extension into the residential properties at Midford Place. The western elevation of the proposed third floor extension faces 100-102 Whitfield Street, however the majority of the windows in this elevation are hallways and landings rather than habitable rooms. The proposed rooftop extension has been designed in such a way that there will be no overlooking into any kitchens at 100-102 Whitfield Street.

## Sustainability

- 4.25 As the proposed increase in floorspace is less than 500 m<sup>2</sup>, Development Policy DP22 and Camden Planning Guidance 3 note that there is no requirement for the application to be accompanied by a Sustainability Statement or Energy Strategy. However, a Sustainability Statement has been prepared to demonstrate that the development will generally improve the sustainability of the building.
- 4.26 As the existing building services equipment is proposed to be replaced with modern plant, the energy efficiency of the building will be much improved. The Sustainability Statement notes that emissions will be reduced by 65% and energy use will be reduced 61%. Generally the building will be fitted with low water flow taps and dual flush WCs. It is therefore considered that the development promotes the principles of sustainable development and will be an improvement on the existing situation in sustainability terms.
- 4.27 Development Policy DP18 notes that the Council will seek to ensure that developments provide the minimum necessary parking spaces. Both the existing building and the proposed development are car-free. In terms of cycle parking, Development Policy DP18 notes that developments will be expected to meet the minimum cycle parking levels in accordance with Appendix 2 of the Development Policies document. For office development, Appendix 2 states that for staff, one cycle parking space should be provided per 250 m<sup>2</sup> or part thereof. The Design and Access Statement shows that 40 cycle parking spaces are proposed. Given the total size of the building including the proposed extension, the Council's standard would be a minimum of nine cycle parking spaces. Clearly the proposed development provides a much greater quantity of cycle parking in comparison to adopted policy and represents a significant improvement to the existing facilities which do not include any cycle parking spaces.
- 4.28 Overall, it is clear that the proposed development seeks to improve the sustainability of the building.

## Daylight/Sunlight

- 4.29 As with overlooking, Development Policy DP26 seeks to protect the amenity of neighbours and local occupiers, including Daylight, Sunlight and artificial light levels. Whilst no specific Daylight/Sunlight targets are referenced in Policy DP26, the Daylight and Sunlight Report prepared by Brooke Vincent and Partners in support of the application notes that the assessment has been carried out with regard to the British Research Establishment (BRE) publication “*Site Layout Planning for Daylight and Sunlight. A Guide to Good Practice*” (2011).
- 4.30 The results in the Daylight and Sunlight report refer to Vertical Sky Component (VSC) which is the most readily adopted method of calculating daylight. VSC is a measure of daylight through the centre of an existing window. Adverse effects to existing levels of daylight are considered noticeable when VSC is less than 27% and less than 0.8 times its former value. Similarly, daylight distribution in neighbouring rooms is adversely affected when the daylight distribution result is less than 0.8 times the former value – this is a secondary test with VSC taking priority.
- 4.31 The report notes that one window on the first floor at 6 Midford Place is at 0.79 times the former value but that this is the equivalent of 0.8 and only a computer reading could tell the difference. At second floor level there are five windows, three of which are marginal (at 0.75, 0.77 and 0.77 times the former values). At 7 Midford Place, there is one window at second floor level which is at 0.79 times the former value, as above this is considered equivalent to 0.8. Given the location of the development in Central London, these results are not unusual and the BRE advises that their guidance should be interpreted flexibly. In addition, all of the other surrounding properties considered would experience no adverse impact on their daylight levels.
- 4.32 In terms of sunlight, this is only relevant to neighbouring residential windows which have a view of the proposed development and face 90 degrees of south. Sunlight is considered to be adversely affected if the Annual Probable Sunlight Hours (APSH), when measured at the centre of the window, are reduced by more than 4%. The report concludes that the majority of the neighbouring residential windows with a view of the site are not south facing and therefore there would be no sunlight criteria to satisfy. The south facing windows considered at Midford Place, Grafton Way and Tottenham Court Road would all satisfy the BRE's criteria for Sunlight.

## Noise

- 4.33 The proposed development seeks to rationalise the existing plant on site by providing modern units which will be located at roof level. Development Policy DP28 states that the Council “*will only grant permission for plant or machinery if it can be operated without cause harm to amenity and does not exceed our noise thresholds*”.
- 4.34 The Noise Assessment Report prepared by Philip Acoustics Ltd has been submitted in support of the application. Following the Council's noise guidance, the assessment based the study on any new equipment proposed being designed to at least 10dB below the existing  $L_{A90}$ dB background noise level, this condition is

used for equipment with a noise which has a distinguishable discrete note (whine, hiss, etc.). Although none of the proposed equipment matches this description, this threshold was used to provide a robust noise assessment (compared to the alternative threshold of 5dB below the existing  $L_{A90}$ dB background noise level).

- 4.35 A background noise survey was conducted to determine the typical lowest measured background noise level for daytime periods (generally in the range 7am to 7pm). These measurements were conducted as close to the nearest potential noise sensitive (residential) properties as possible. In this instance, the properties are the residential flats over upper floor levels within Irvine Court at 100 Whitfield Street, those flats on the upper floors at 104 Whitfield Street and the residential premises at Midford Place. The report concludes that noise levels from the proposed equipment would comply with Camden's noise requirements.
- 4.36 In addition, the report considers vibration from the proposed equipment – it is considered that there would be no vibration transfer to any neighbouring residential properties. Nonetheless, vibration isolators and noise reduction treatments are proposed as good practice.
- 4.37 The development is considered to comply with Development Policy DP28.

## CIL

- 4.38 As the proposed development comprises an increase in floor area, the net increase in floorspace (GIA) will be liable to pay for both Mayoral and Camden's local CIL. As the existing floorspace has been occupied for a continuous period of at least six months within the last three years (the building has been vacant since April 2014), the existing floorspace is CIL exempt.
- 4.39 In terms of Mayoral CIL, Camden falls within the Mayor's charging Zone 1 and will be liable to pay £50 per  $m^2$  on the net increase in floorspace. As the total GIA increase created by the proposed development is  $175m^2$ , the Mayoral CIL charge will be £8,750.
- 4.40 Camden's local CIL charging schedule was adopted in April 2015 and Maple Street is located within Charging Zone A. New office development in Zone A is charged at £45 per  $m^2$ . The local CIL charge will therefore be £7,875.
- 4.41 The combined Mayoral and local CIL contributions will therefore be £16,625. The relevant 'determining whether a development may be CIL liable' form has been completed and submitted in support of the application.

## 5 CONCLUSION

- 5.1 4-8 Maple Street comprises an existing office building in Fitzrovia. The building has been vacant since 2013 and is in need of significant refurbishment in order to attract high quality office occupiers.
- 5.2 In addition to improving the quality of the existing office floorspace, this application seeks to increase the quantity of floorspace at third floor level by way of an extension and to enhance the appearance of the Maple Street and Midford Place elevations.
- 5.3 The proposals have been the subject of pre-application discussions with the Council and the appearance of the rooftop extension has been revised in order to accommodate comments received from officers.
- 5.4 It is considered that the proposals reflect adopted policy and guidance as the development seeks to:
- Improve the quality of employment floorspace within the CAZ;
  - Increase the quantity of employment floorspace within the CAZ;
  - Improve the appearance of the existing building in the context of the adjacent Fitzroy Square Conservation Area;
  - Improve the appearance of the existing building in the context of the adjoining Grade II Listed Building at No. 2 Maple Street;
  - Enhance the sustainability of the existing building by way of replacing existing plant and building services with modern alternatives; and
  - Provide cycling and showering facilities.
- 5.5 In addition to the above improvements, the proposed extension and alterations have been designed with the amenity of neighbouring residents in mind and it is considered that there will be no adverse effects on neighbouring properties.
- 5.6 In the above assessment it has been demonstrated that the application proposals accord with the NPPF as well as the adopted Development Plan. Furthermore, the proposals seek to improve and enhance the existing building within the context of the surrounding area; making it more attractive to businesses looking for office space in the CAZ and will assist in bringing a vacant office building back into active use.

## **APPENDIX 1: PRE-APPLICATION SUBMISSION DOCUMENT**

# No. 4-8 MAPLE STREET, W1T

Pre-Application Submission | September 2015

BuckleyGrayYeoman



**NFU Mutual**



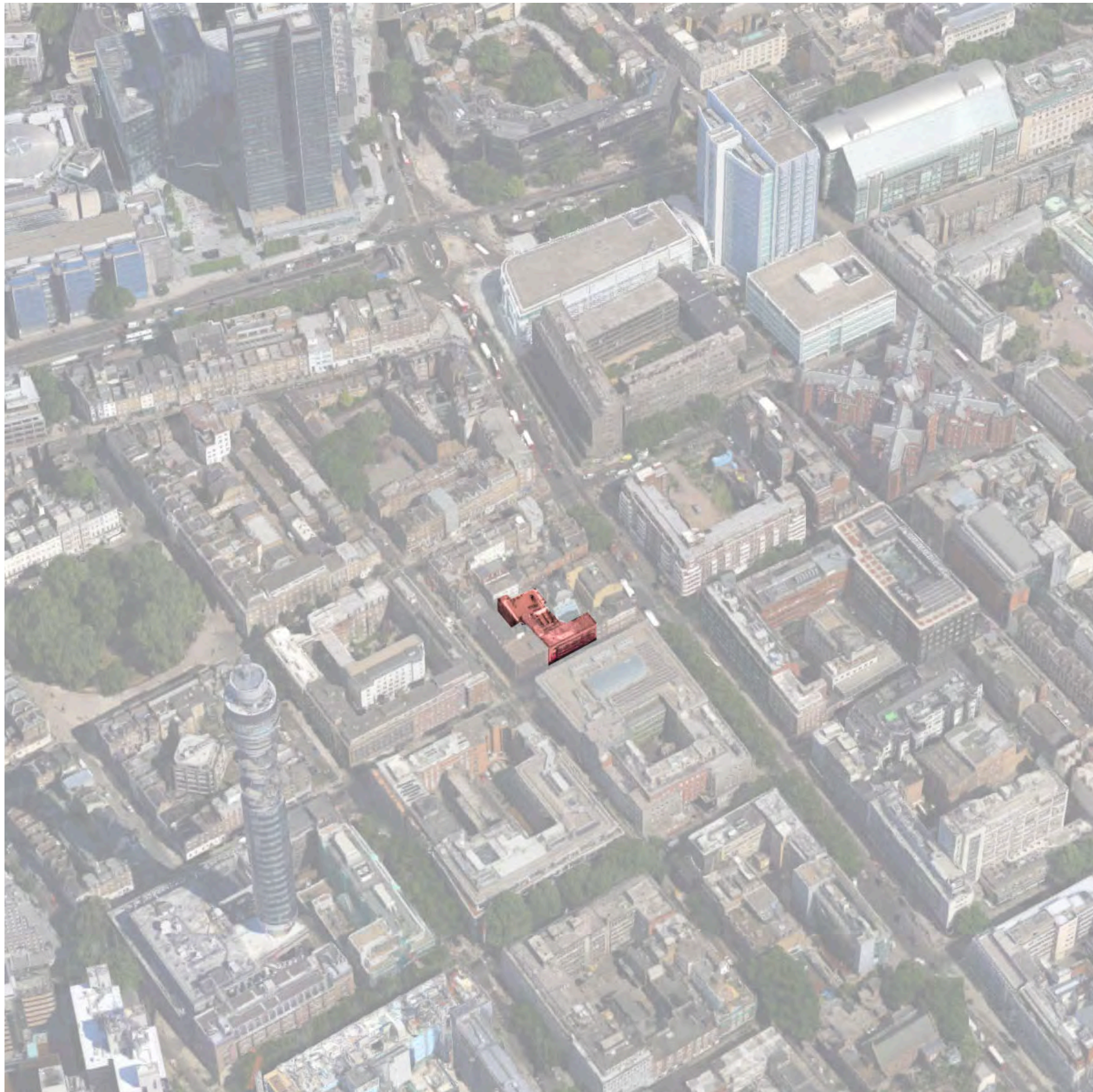
1.0 Introduction



# 1.01 Contents

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## 1.02 Purpose of Report

This report has been prepared by Buckley Gray Yeoman on behalf of NFU Mutual.

The document relates to the building at 4-8 Maple Street, London W1T 5HD.

The report is a pre-application to the London Borough of Camden for development of the site.



## 2.0 History and Context

## 2.01 Site Location

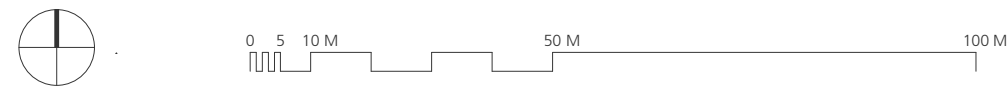
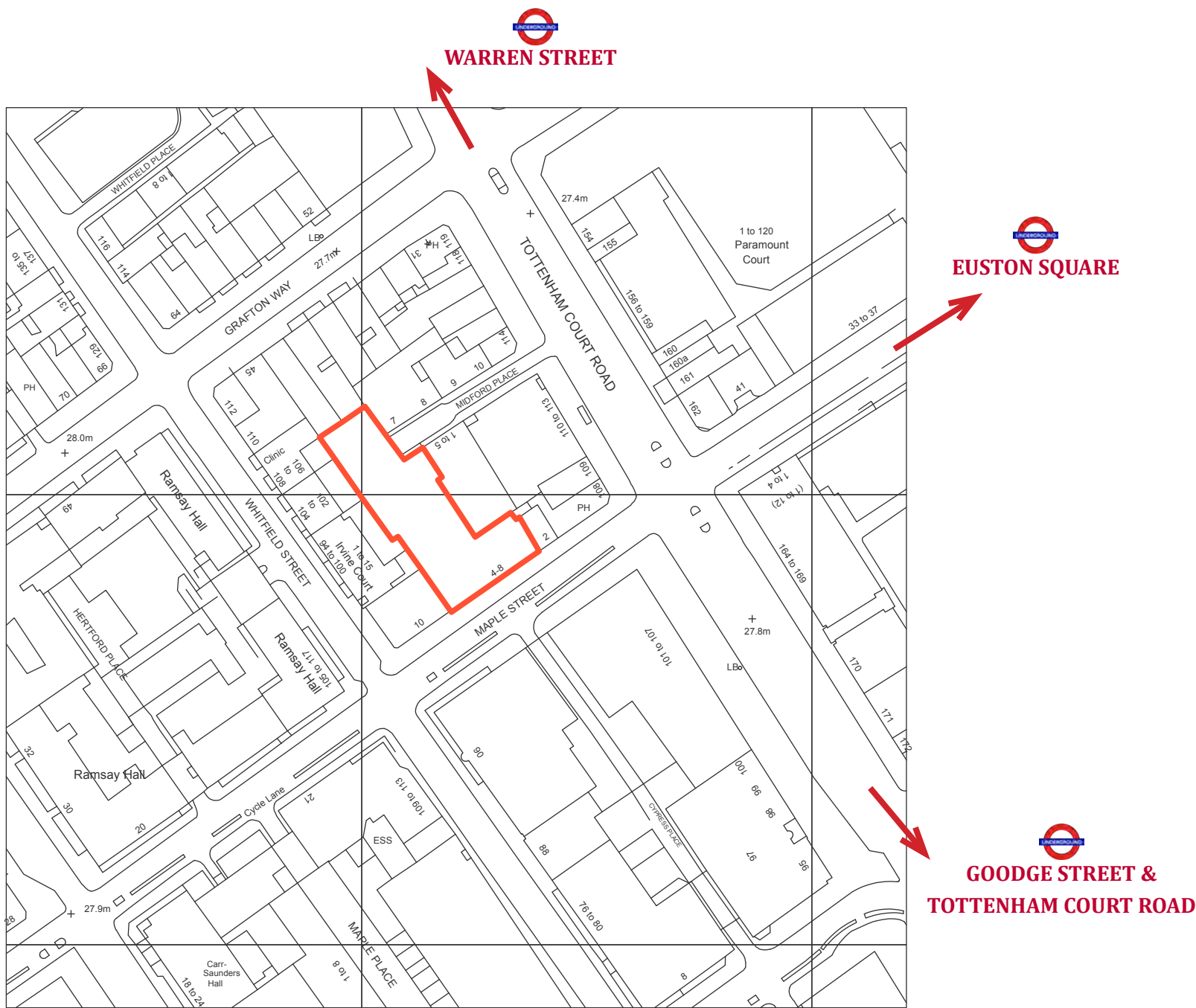
Maple Street is located in the north east of Fitzrovia within the London Borough of Camden. Fitzrovia is bordered by Soho to the south, Marylebone Village to the west, Bloomsbury to the east and Regent's Park to the north; in proximity to the BT Tower and University College Hospital.

The area has evolved into a fashionable district for commercial, leisure and educational uses. The media, fashion, leisure and educational sectors are particularly attracted to Fitzrovia, with tenants including Estée Lauder, Havas, Sony, LinkedIn, Saatchi & Saatchi, Time Warner, UCL and Twentieth Century Fox, amongst many others.

The building has two existing frontages; Maple Street to the south and Midford Place to the east.

Warren Street Station (London Underground) lies approximately 260m to the north of the site.

Also within walking distance of the site are Goodge Street, Euston Square, and Tottenham Court Road transport interchanges.



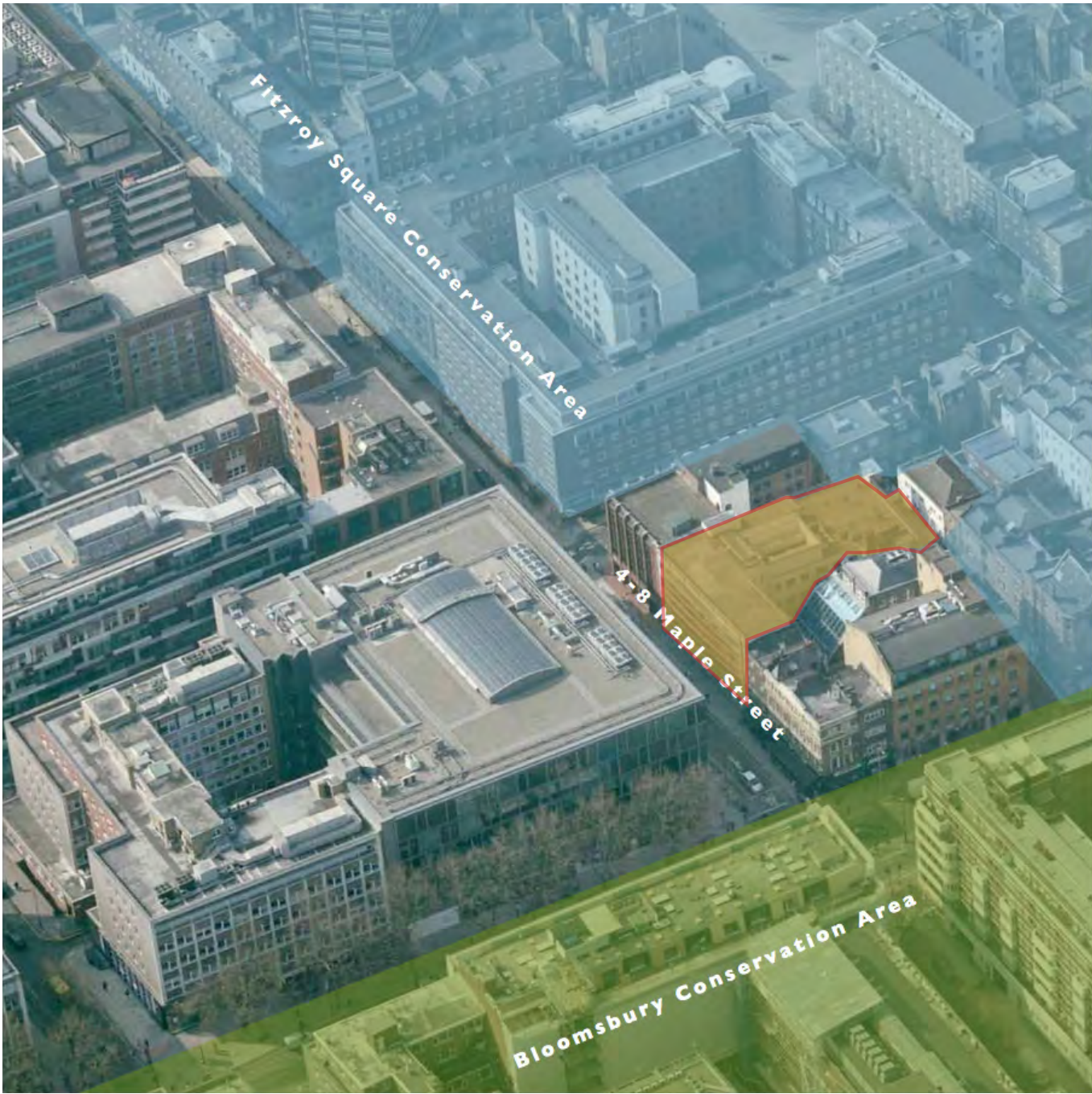
Location plan of Site

Warren Street	3 minutes	
Goodge Street	4 minutes	
Euston Square	5 minutes	
Euston	9 minutes	
Tottenham Court Road	10 minutes	

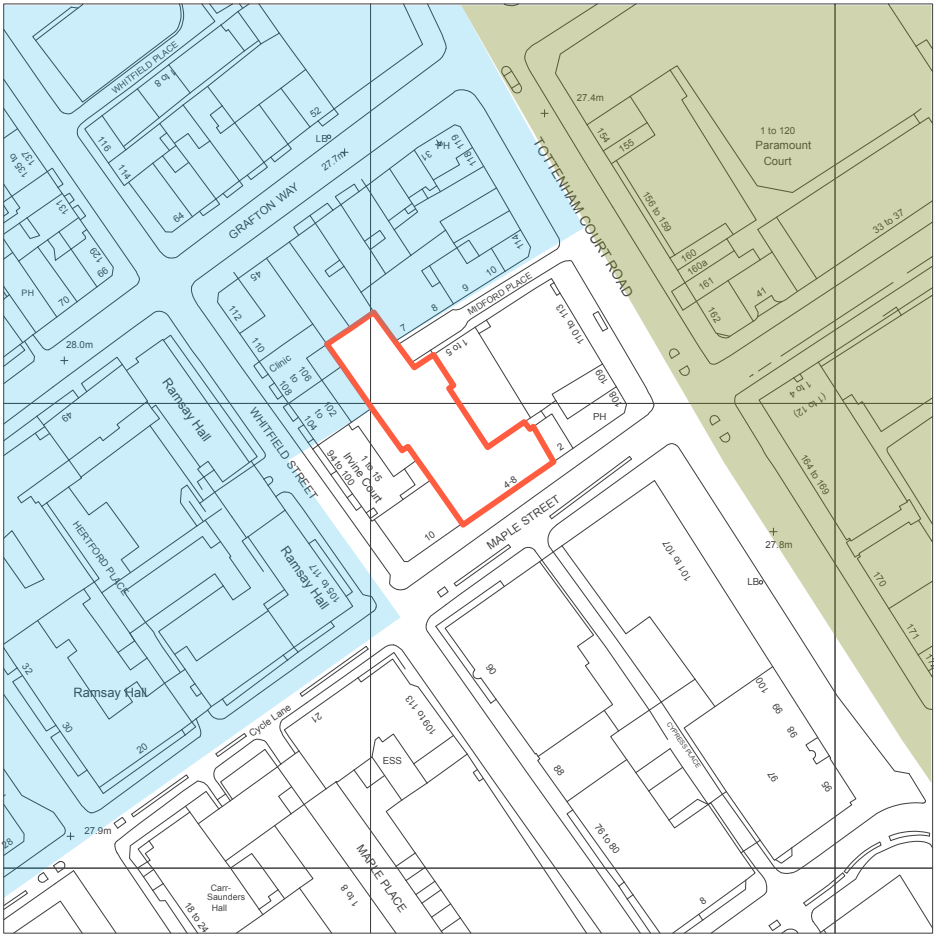


## 2.02 Conservation Areas

The site (highlighted) lies within London Borough of Camden’s planning authority but does not lie within any of its conservation areas. It is in proximity to the Fitzroy Square Conservation Area to the east, the Bloomsbury Conservation Area to the north and Charlotte Street Conservation Area to the south.



Aerial of Conservation Areas



Location Key of Conservation Areas

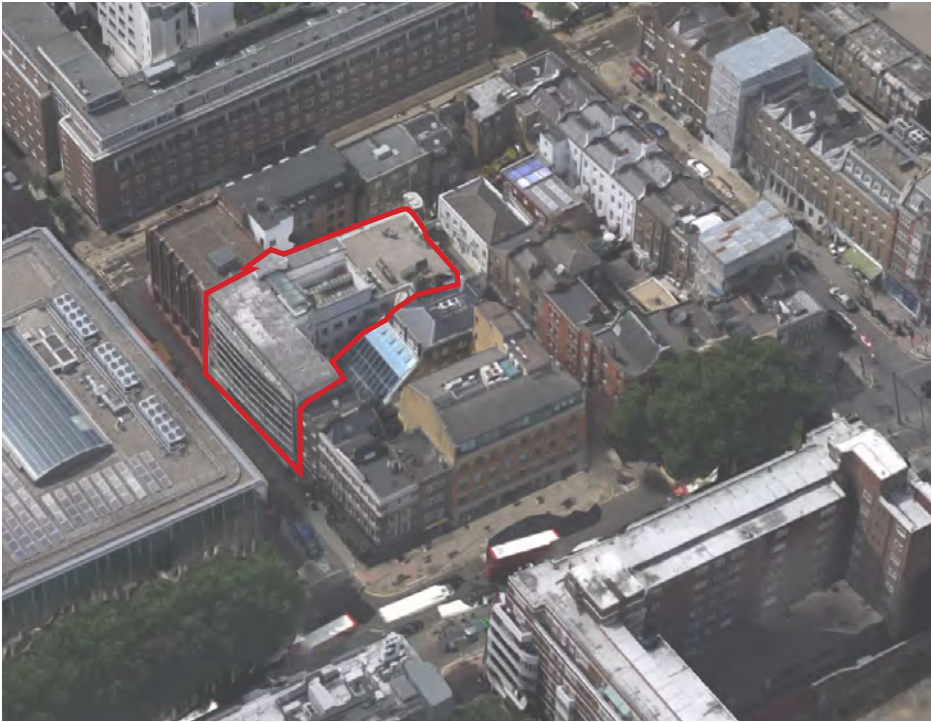


2.03 Immediate Context

Aerial - Northwards



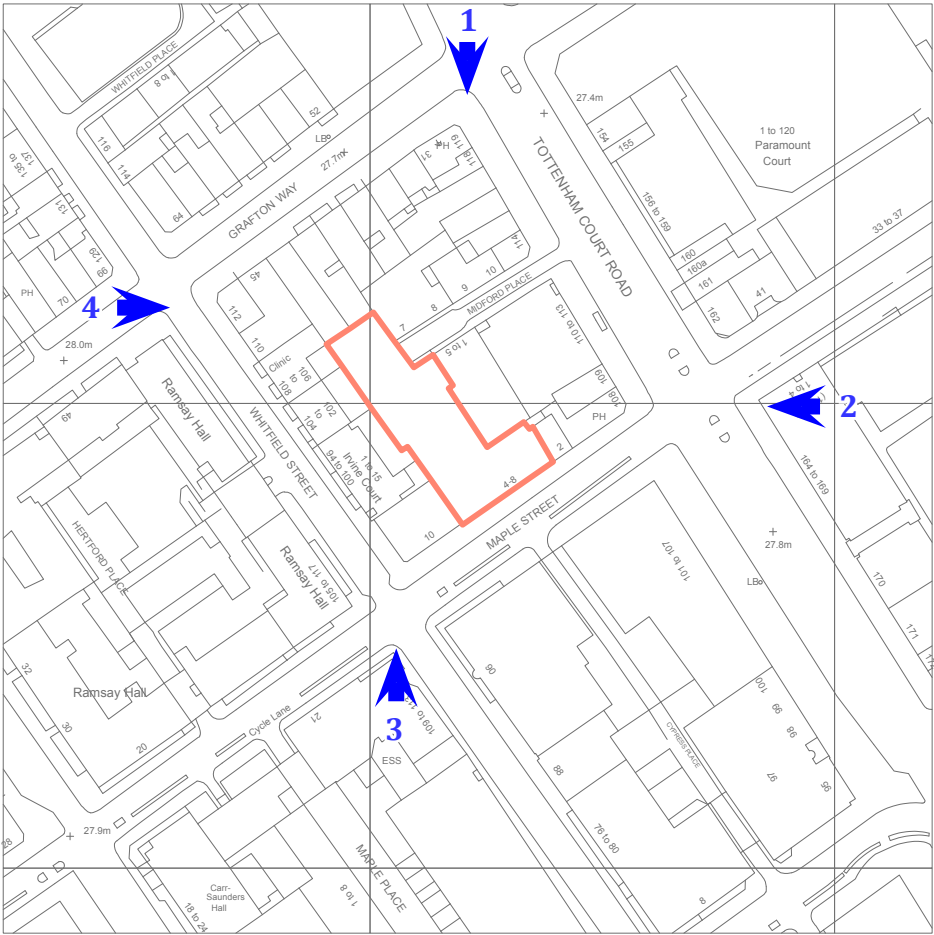
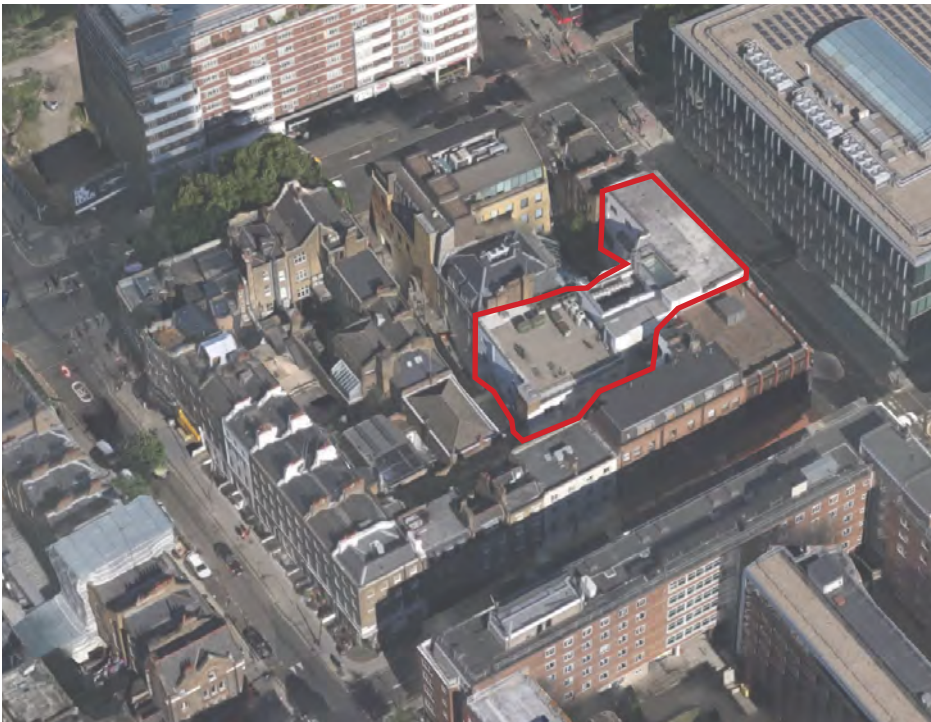
Aerial - Eastwards



Aerial - Southwards



Aerial - Westwards



Location Key of Immediate Context

Aerials of Conservation Areas



## 2.04 Surrounding Buildings



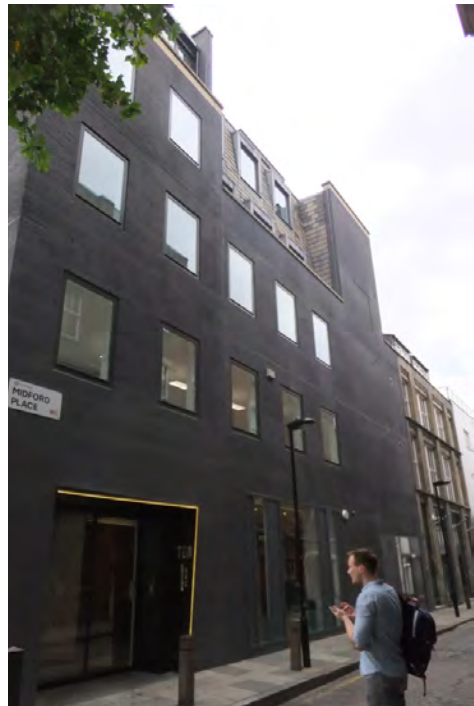
No. 2 Maple Street

(1) Adjacent to the site, to the east, is a Grade 2 listed building. Formerly a terraced house, and later a shop, it now forms part of the Roebuck Public House - c1777-8.

(2) To the west of the site is No. 10 Maple Street, the Turkish Cultural Centre.



No. 10 Maple Street



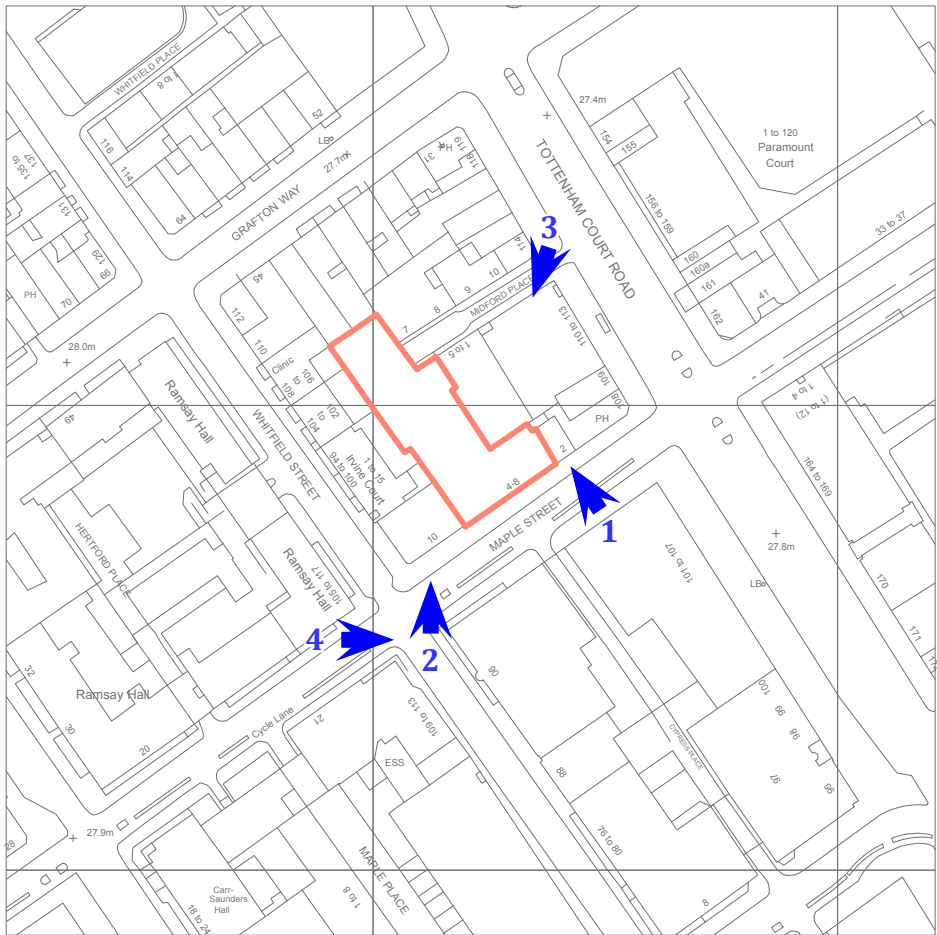
110-113 Tottenham Court road

(3) 110-113 Tottenham Court Road was recently refurbished in 2014, and is a 16,000sqft building set over 5 floors; including a roof addition/terrace, and a newly black painted facade.

(4) Opposite the site is the Qube building (90 Whitfield Street), a 100,000 sqft office building with six retail units on Tottenham Court Road, and six residential units on the Whitfield Street side.



The Qube Building (90 Whitfield Street)



Location Key of Immediate Context



## 2.05 History of the Site

Maple Street (formerly London Street) connects Tottenham Court Road with Cleveland Street and crosses Whitfield and Fitzroy Street.

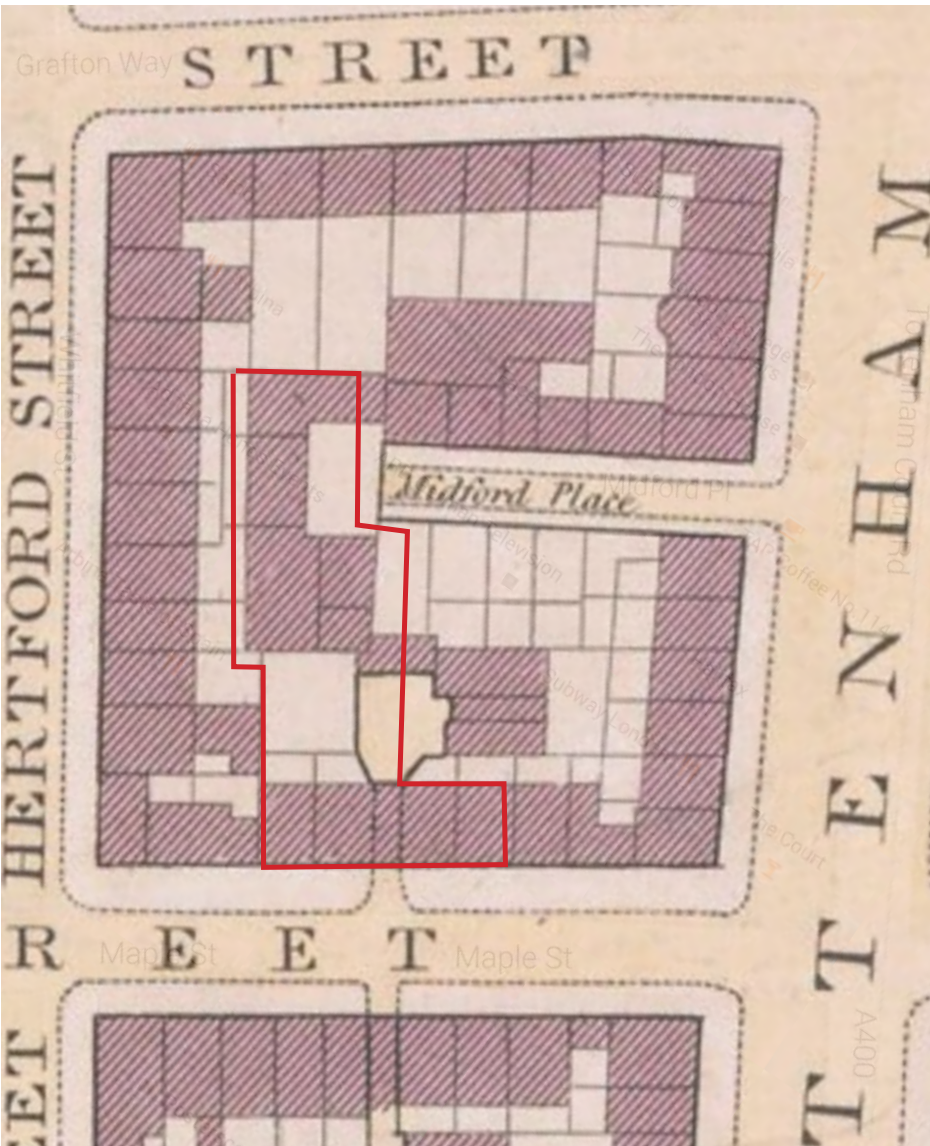
Only the western section between Fitzroy Street and Cleveland Street survived the Second World War.

Marketed as the “Old Fire Station”, 4-8 Maple Street was built in the early 20th Century and part refurbished and redeveloped in 1999.

Prior to this the site was used as a stable block and van storage for the Maple & Co. Furniture Company, based on Tottenham Court Road.

Maple & Co was one of the largest and most popular British furniture retailer and cabinet maker in the Victorian and Edwardian periods.

Renowned for updating older designs and updating them, it soon became one of the largest furniture retailers globally.

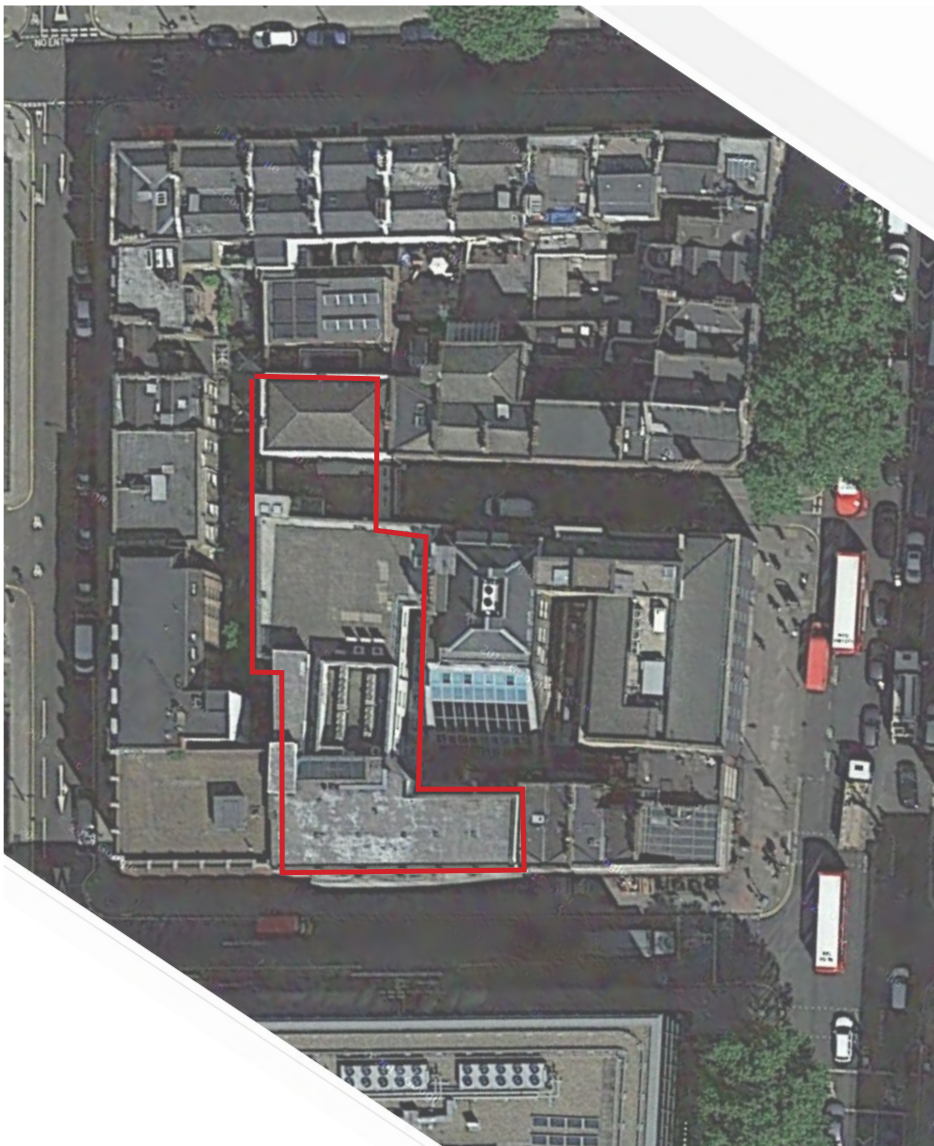


Historical Map of Maple Street/Tottenham Court Road

(1820)



(1899)



(2015)



### 3.0 Existing Building

### 3.01 Existing Facades

The facades on Maple Street and Midford Place contrast in scale and aesthetic.

The Maple Street facade is dated and gives no indication about the interesting building it conceals. A curved glass screen sits in front of a garish painted render finish. The result is an entrance and street frontage that is dark and uninviting, and which detracts from the streetscape.

The single storey Midford Place entrance is nondescript and utilitarian, providing an unresolved, 'dead end' to the street. Access is provided to the two residential units on the northern part of the site via an unsightly steel stair to a first floor terrace.



Maple Street Elevation



Midford Place Elevation



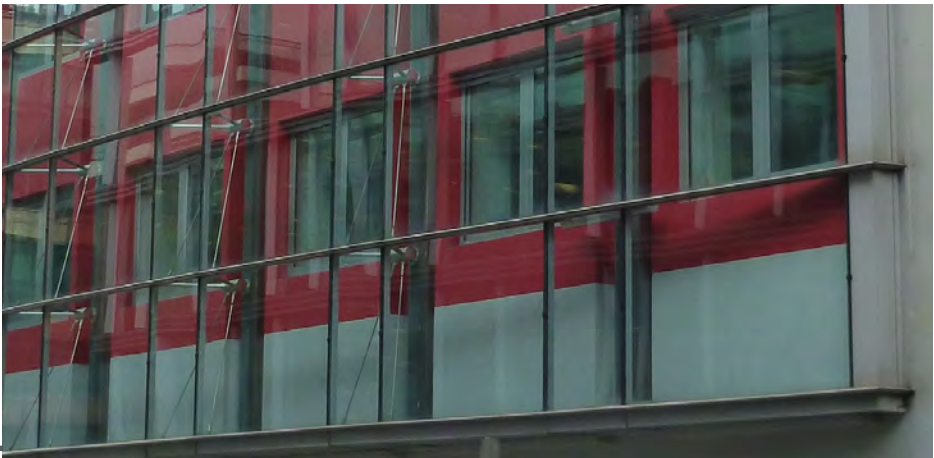
### 3.02 Maple Street Frontage

The Maple Street facade has the following issues:

- The curved glass facade and painted red stripe both contribute to a dated appearance.
- This glazed screen dominates the Maple Street entrance, making the ground floor seem dark, anonymous and uninviting.



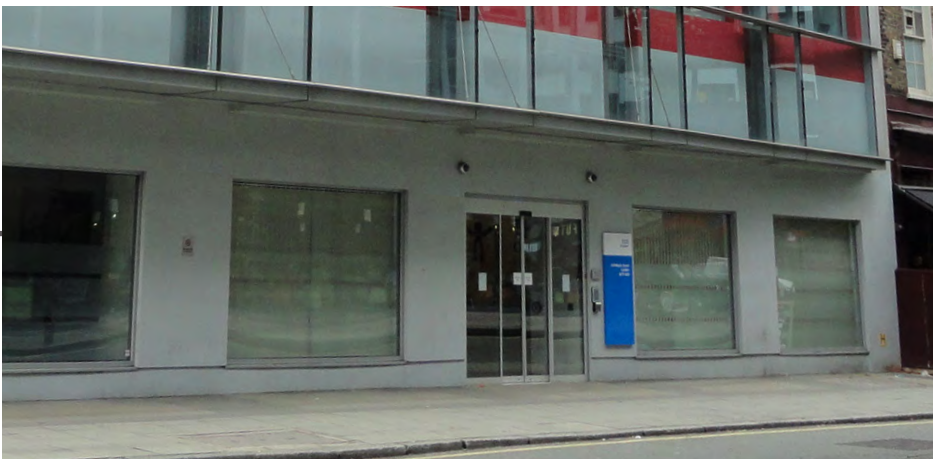
Maple Street Elevation - Approach



Maple Street Elevation - Glazed Screen



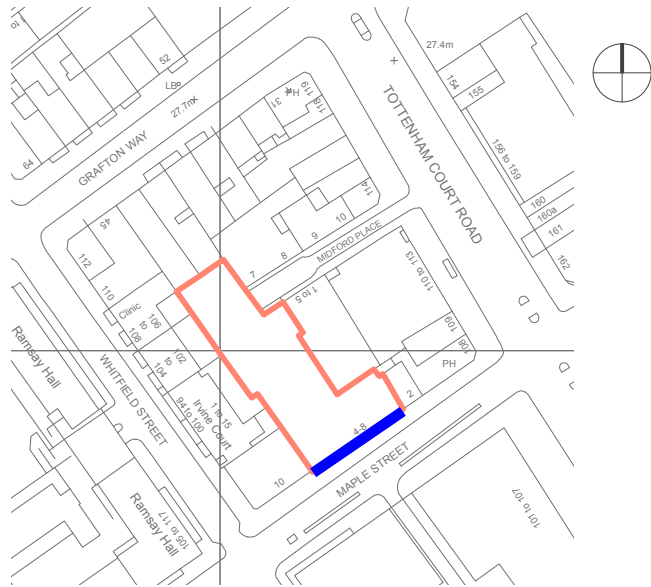
Maple Street Elevation - Coloured Render



Maple Street Elevation - Entrance



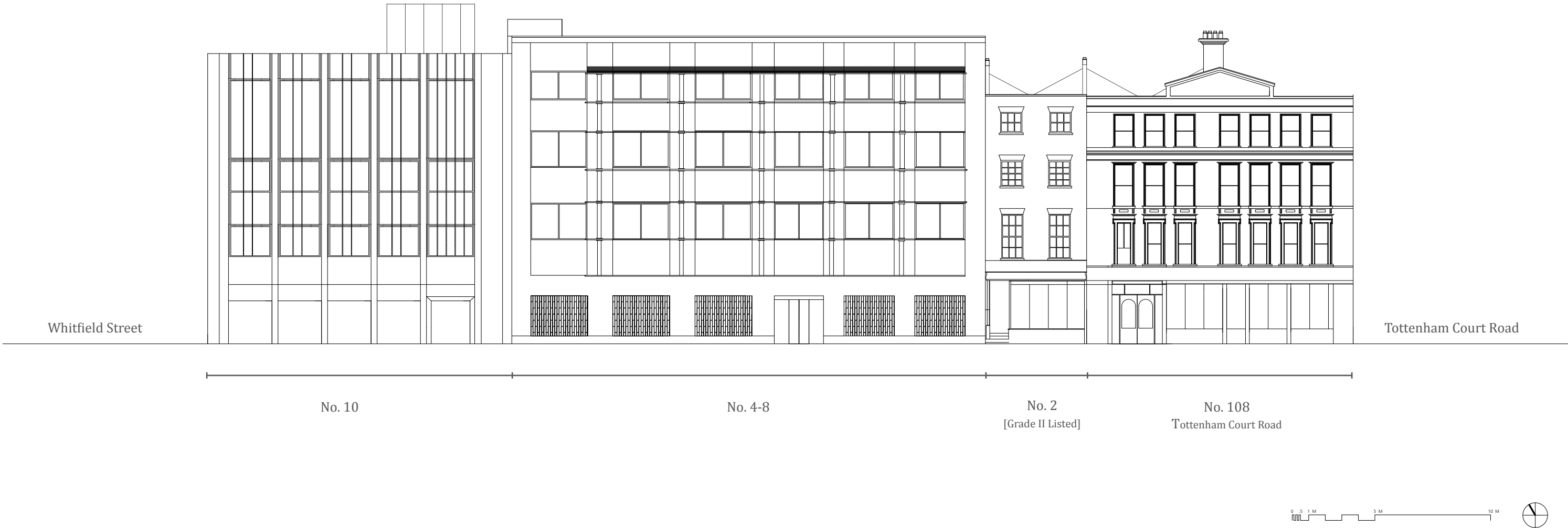
Location Key: Maple Street Elevation



Location Key: Maple Street Elevation

3.03

Maple Street Elevation





### 3.04 Midford Place Frontage

The Midford Place facade has the following issues:

- The entrance provides a ‘dead end’, making no contribution to the streetscape.
- An unsightly stair provides access to the residential units located on the northern part of the site. The space under this stair collects leaves and litter.



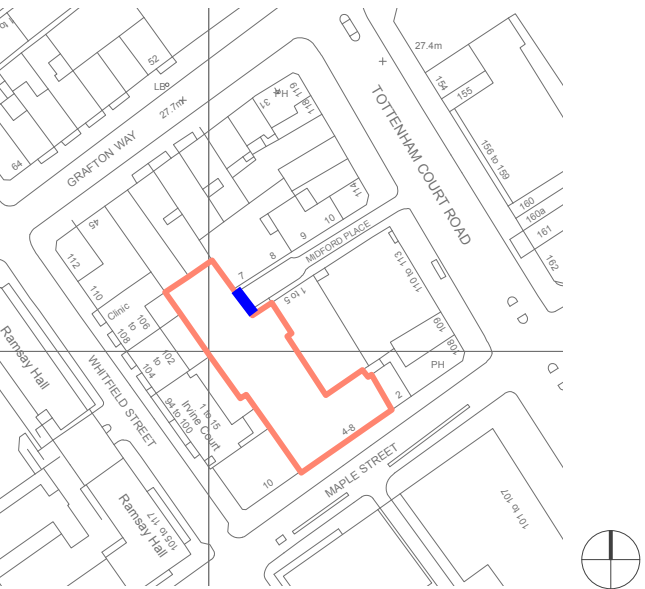
Midford Place Elevation - Approach



Midford Place Elevation - Entrance

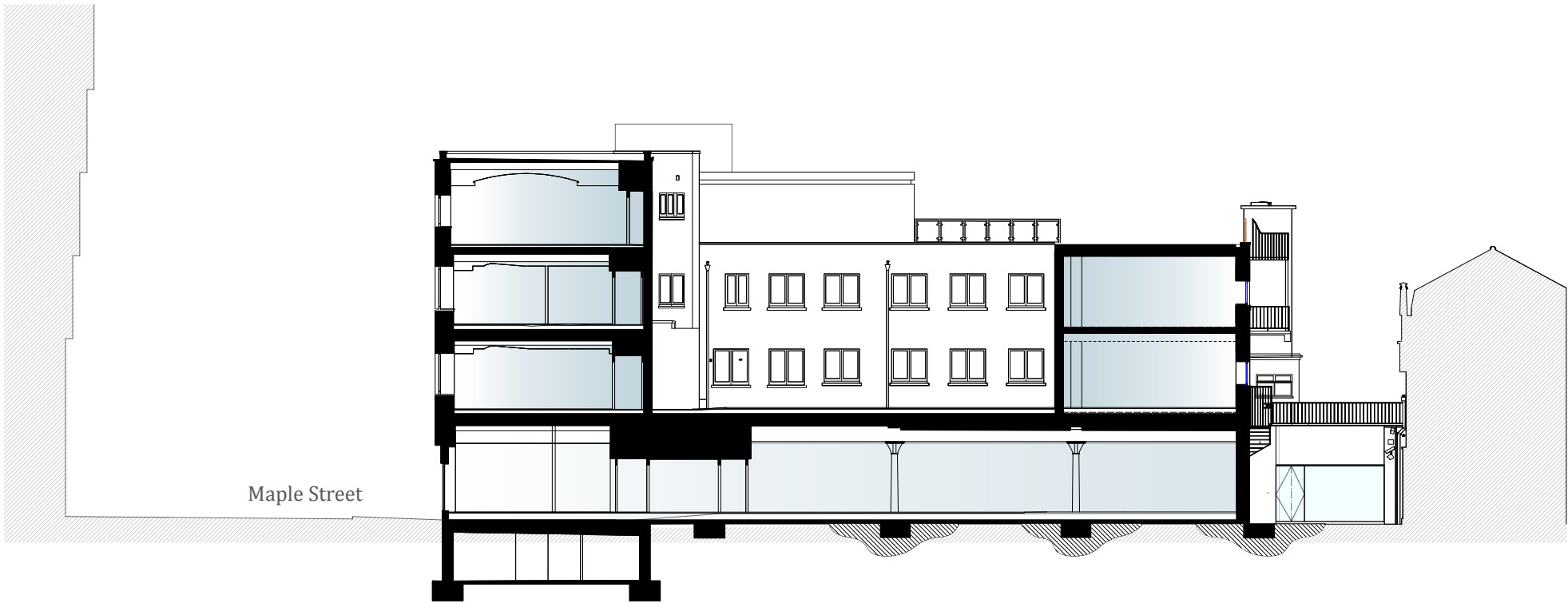


Midford Place Elevation - Terrace and Access



Location Key: Midford Place Elevation

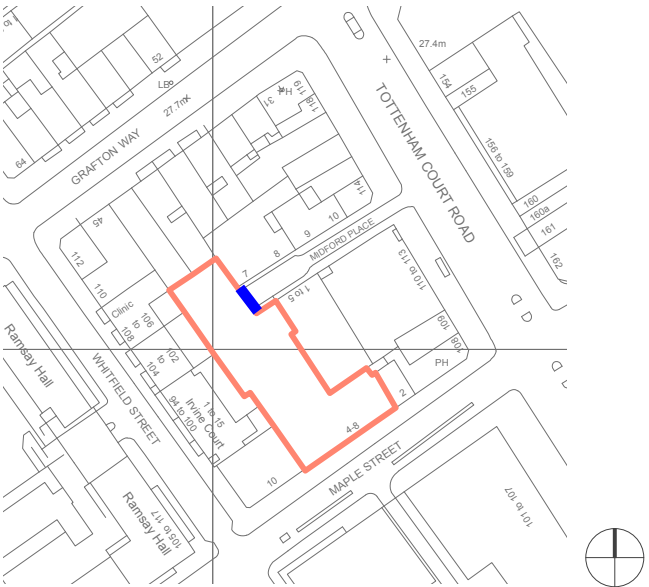
3.05 Midford Place Elevations



Section A-A - Proposed



Section B-B - Proposed

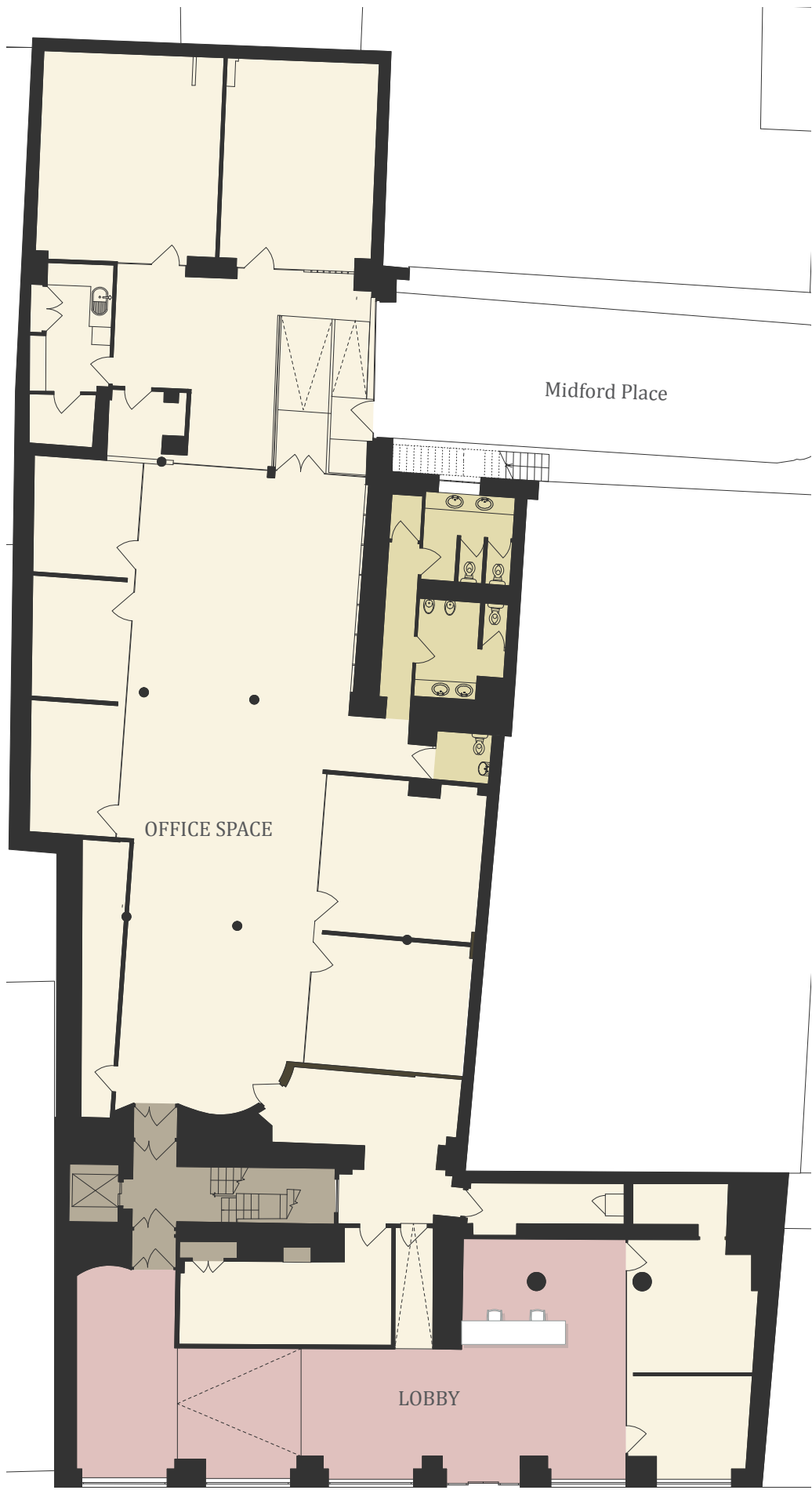


Location Key: Midford Place Elevation



### 3.06 Existing Plans

Currently, 18,699 sqft (1,737.2 sqm) of net office accommodation is arranged over basement, ground and three upper floors with floorplates ranging from 1,719 sqft (159.7 sqm) to 6,788 sqft (630.6 sqm).

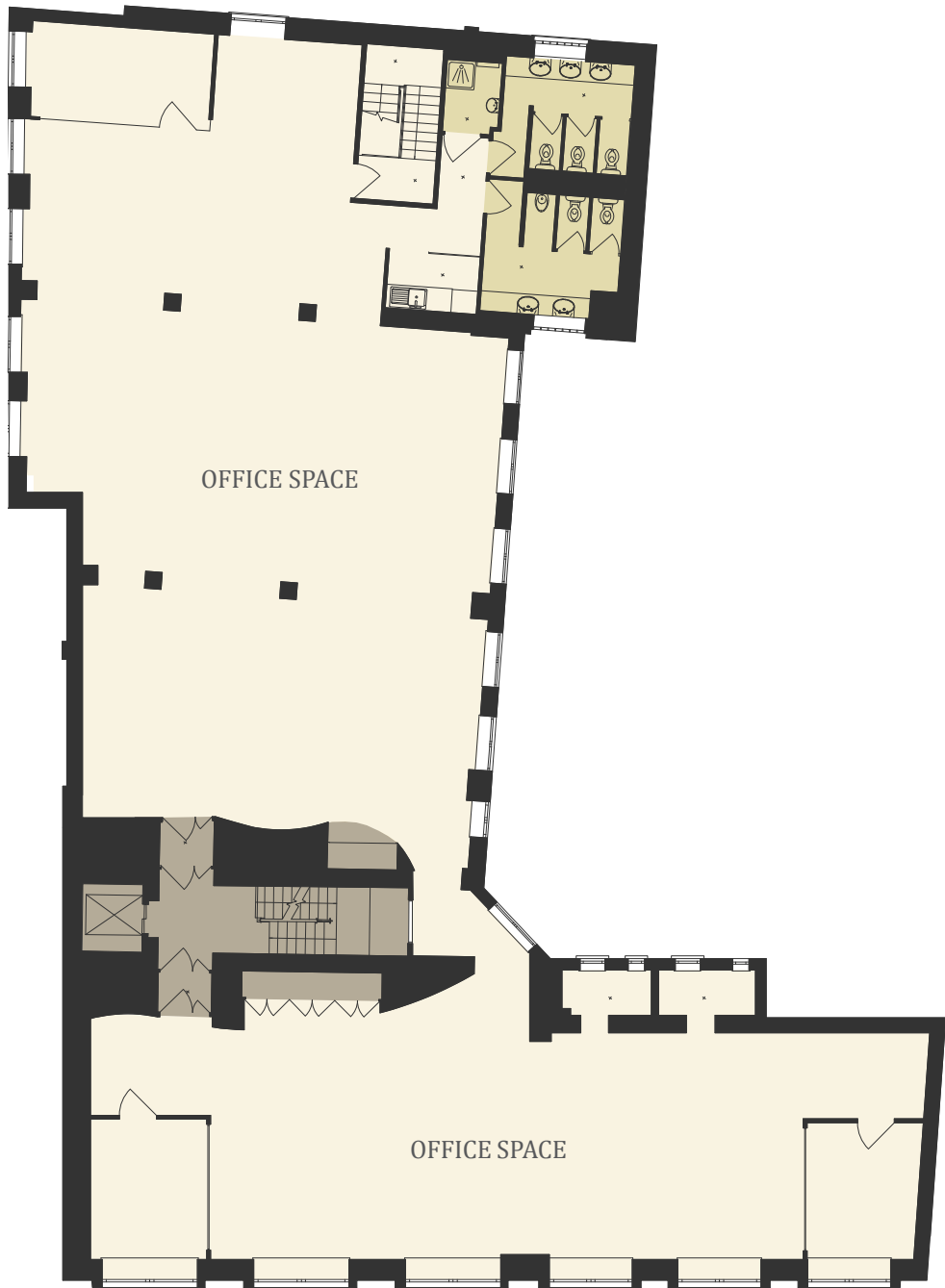


Existing Ground Floor Plan

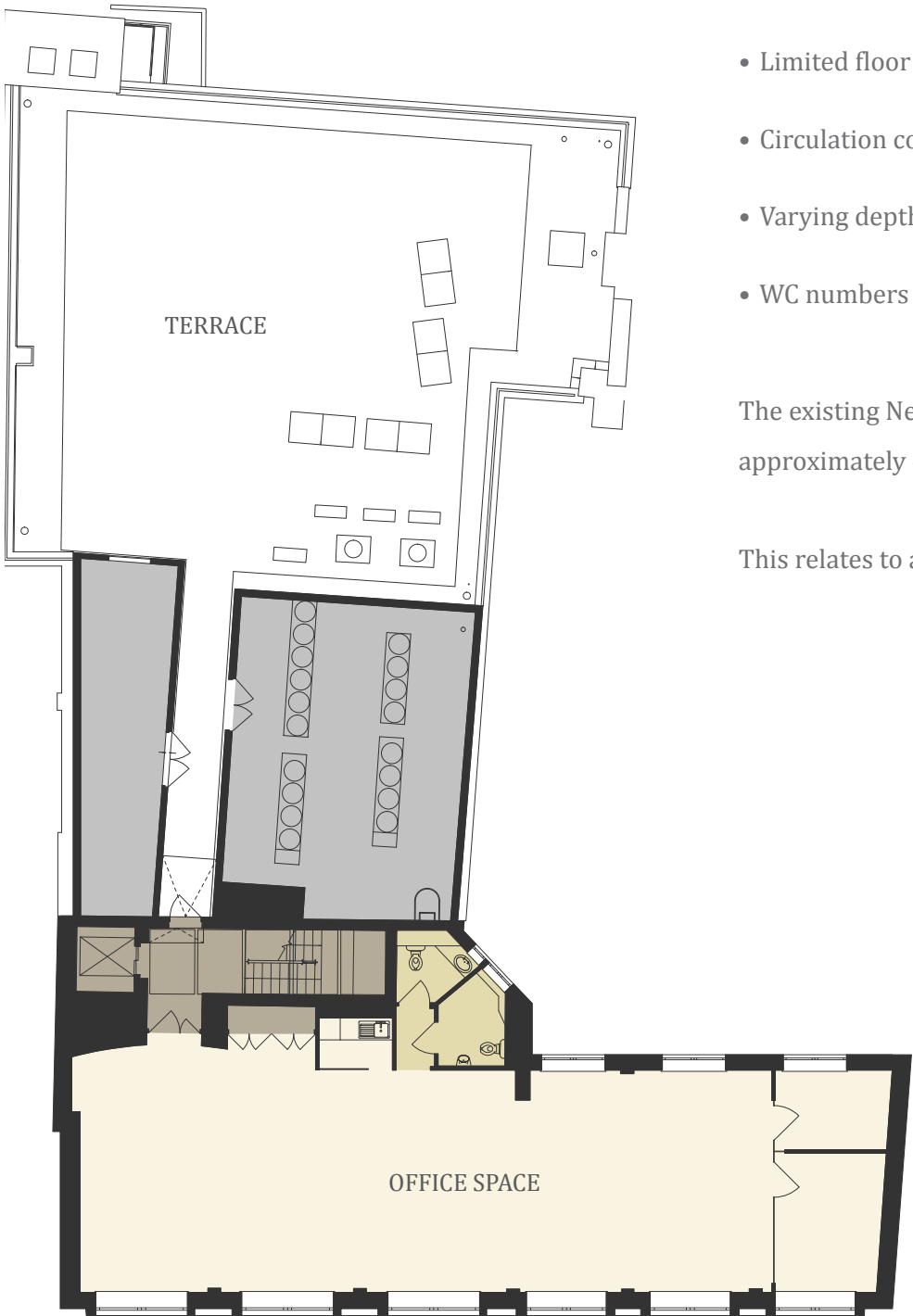


Existing First Floor Plan





Existing Second Floor Plan



Existing Third Floor Plan

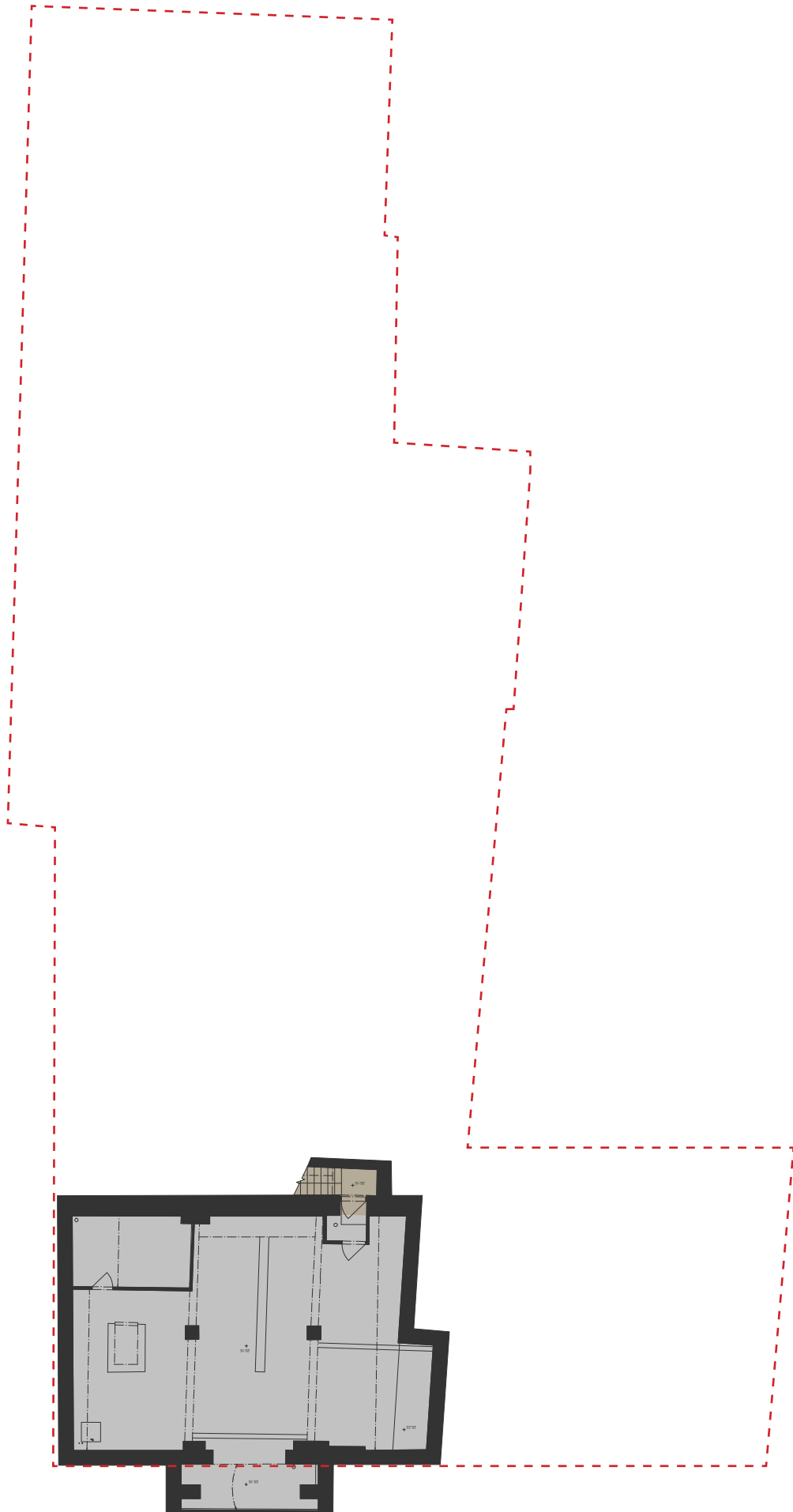
The existing office floor layouts have the following issues:

- Limited floor to ceiling height; average 2.5m
- Circulation core divides the office space in two
- Varying depths of floor and ceiling voids
- WC numbers don't meet BCO guidance

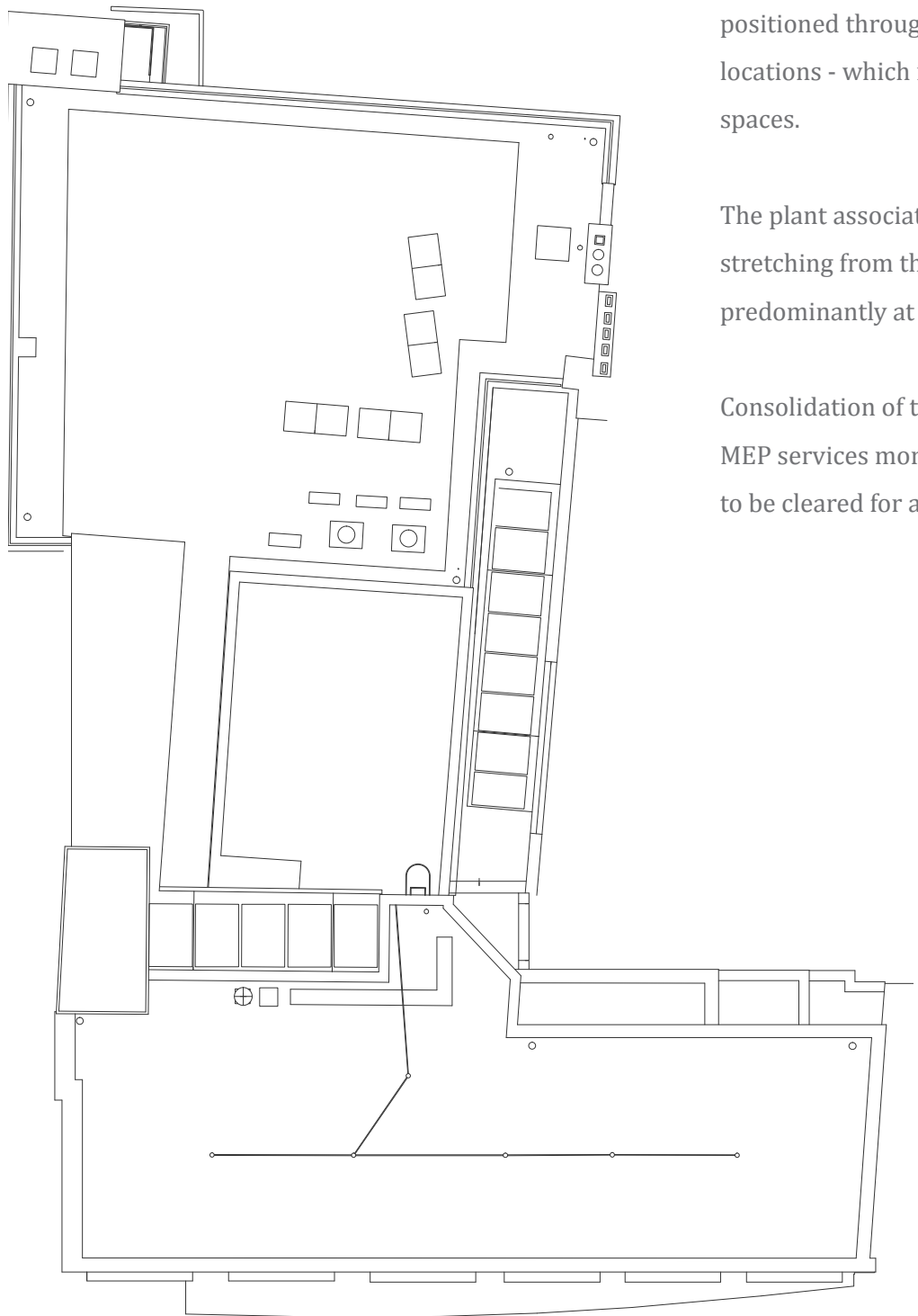
The existing Net Internal Area of a typical floor (first to third) is approximately 432 sqm (4654sqft) per floor.

This relates to a typical floorplate efficiency of 83%.





Existing Basement Plan



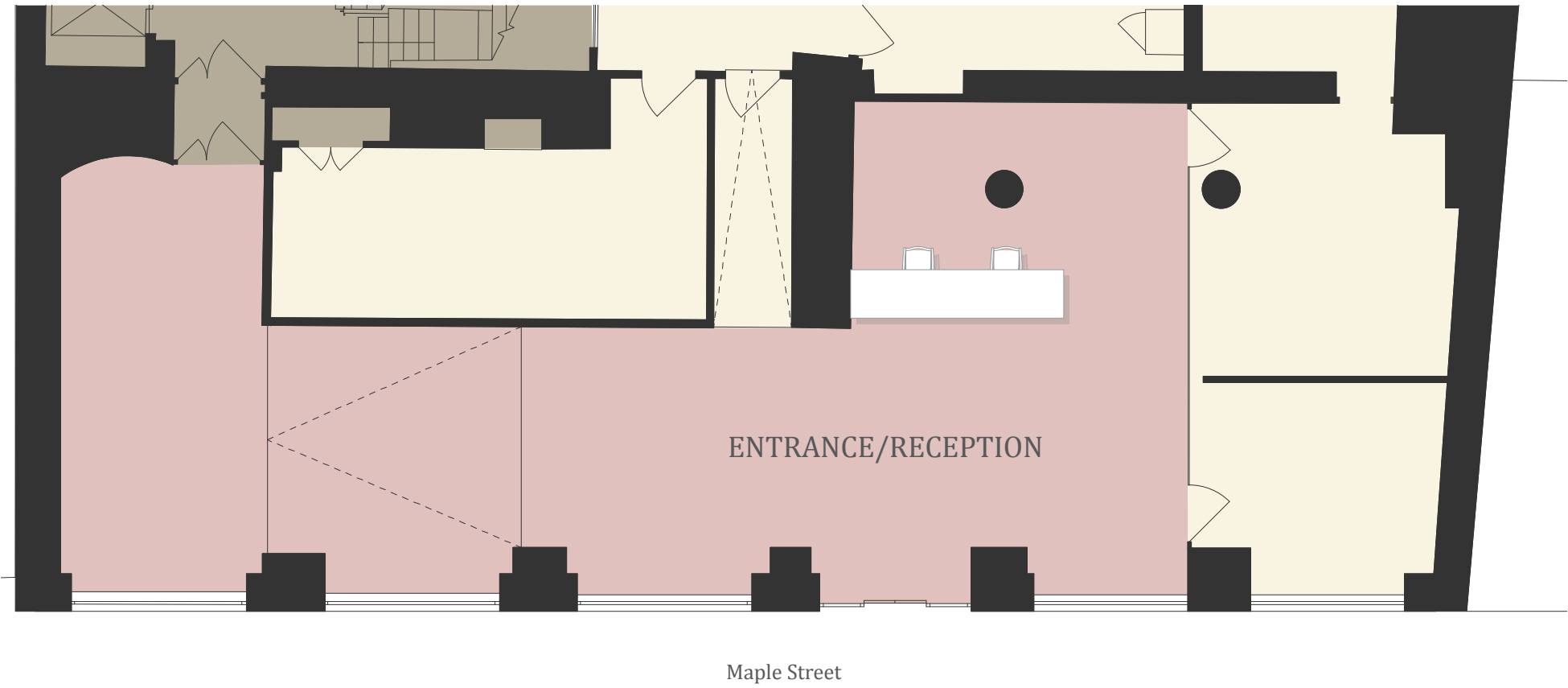
Existing Roof Plan

The existing services to the building are not only out-dated but also positioned throughout the existing floor plans - often in impractical locations - which impacts significantly on the flexibility of the office spaces.

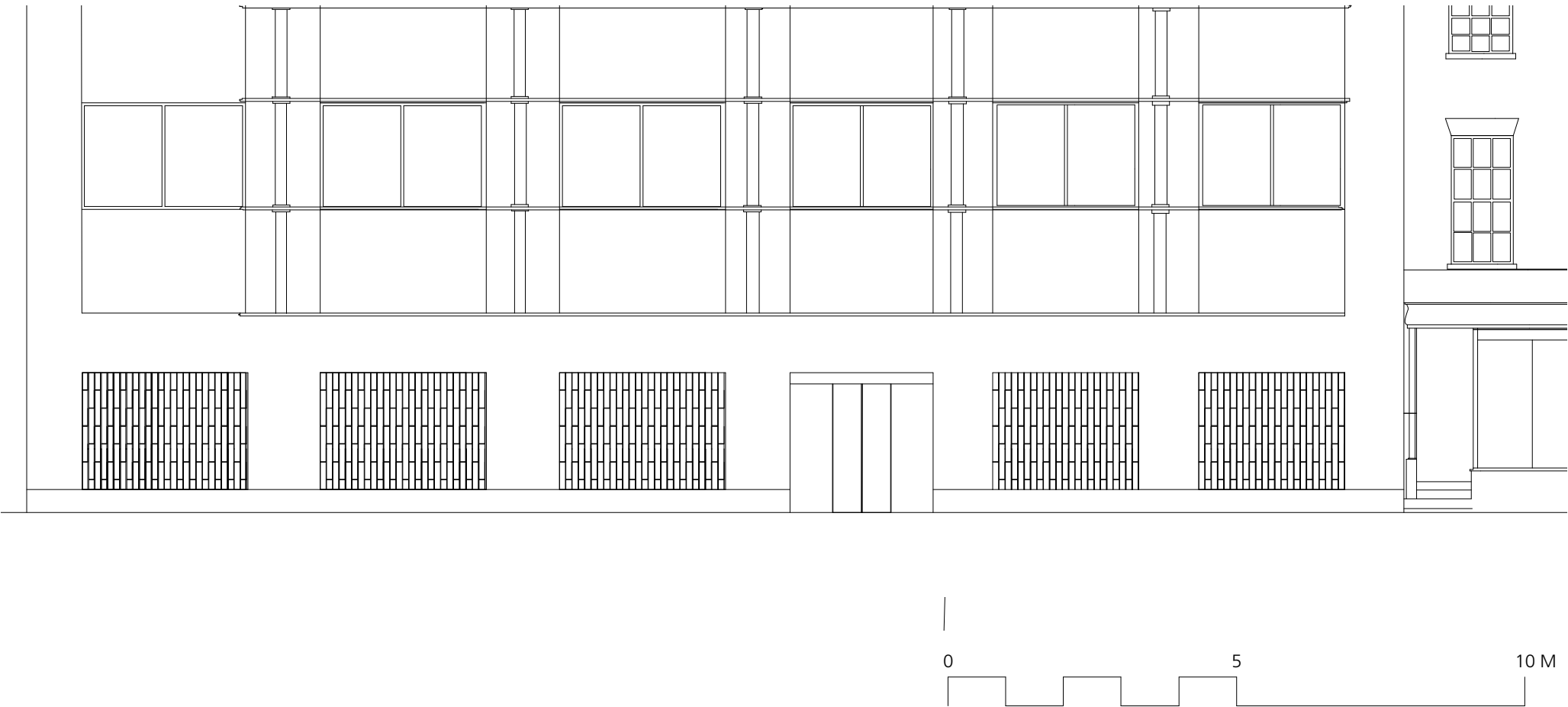
The plant associated with these services is spread over several locations, stretching from the basement level, to the rear of the building and predominantly at roof level.

Consolidation of these would not only minimise duct work and provide MEP services more direct to the office space but also allow the basement to be cleared for a new use.

3.07 Existing Entrances: Maple Street



- The existing Maple Street entrances has the following issues:
- Oversized entrance reception
  - Multiple level changes
  - Poorly defined and naturally lit entrance
  - Small areas of glazing providing no interaction with the streetscape

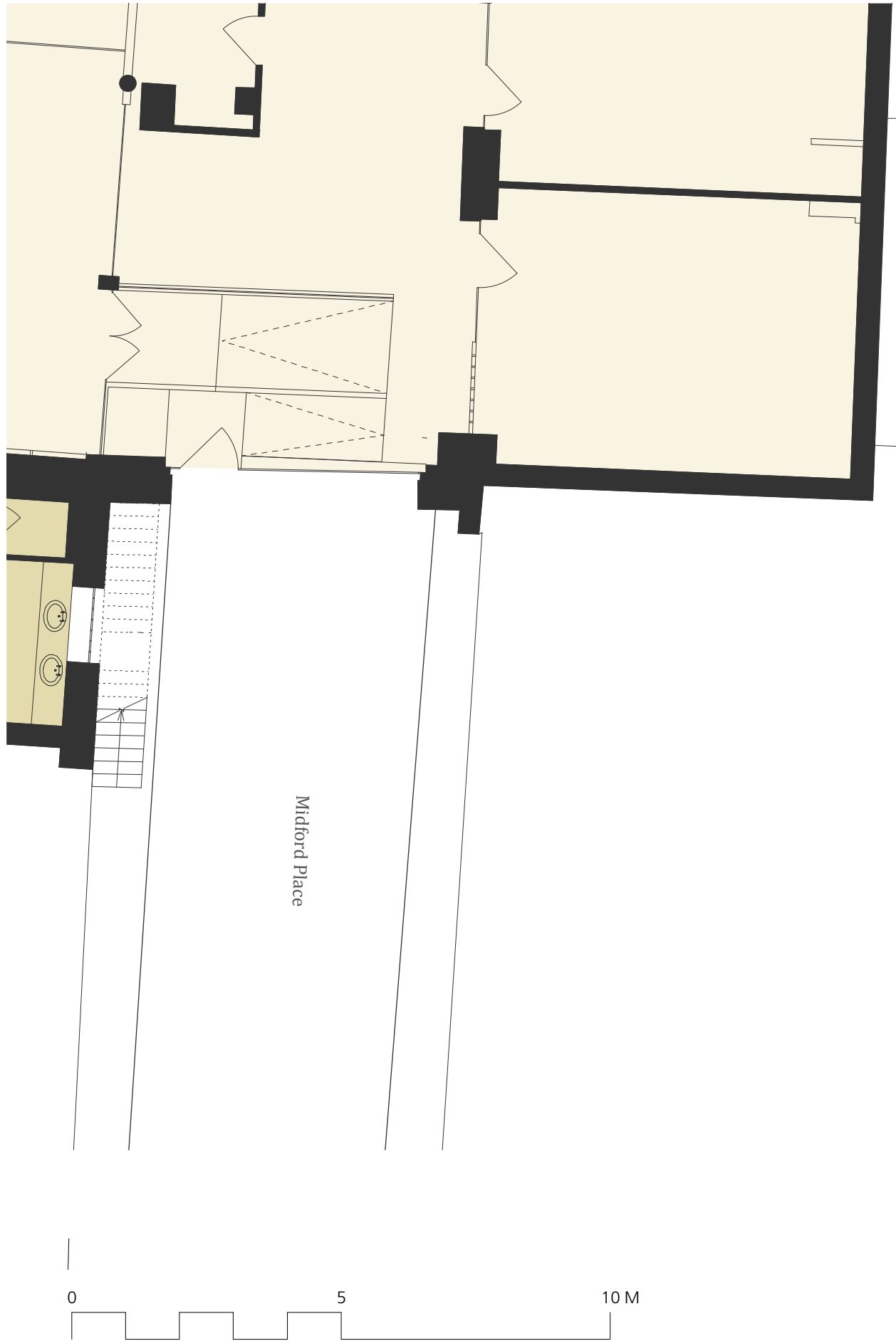


Existing Entrance - Maple Street

## Existing Entrances: Midford Place

The existing Midford Place entrance has the following issues:

- Uninviting and forms 'dead end' to Midford Place
- There is a lack of natural light, especially the office space located underneath the residential
- The external stair which provides access for the residential units is large, unsightly and allows litter to collect
- Exterior railings and stairs make the space unattractive and uninviting



Existing Entrance - Midford Place

4.0 Architectural Design

4.01 Approach to Design



Entrances

- Rationalise the reception and create a more attractive streetscape
- Create a self contained retail unit with street frontage
- Enhance Midford Places’s facade and entrance



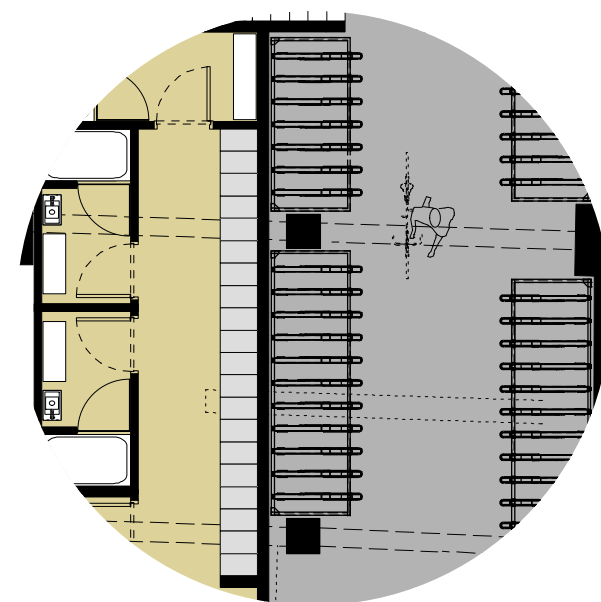
Facades

- Remove the dated and unnecessary glazed structure
- Redesign the facade providing a better presence within its context



Roof Extension

- Make better use of space on the third floor by extending the office space over the unused terrace
- Create a more efficient plant room on the roof with acoustic screening



Cyclist Facilities

- Re-use the existing lift core and stairs while adding a guest WC
- WCs updated to current standards and giving back area to the NIA
- Provide a bike store, showers and lockers in the basement with direct access from street

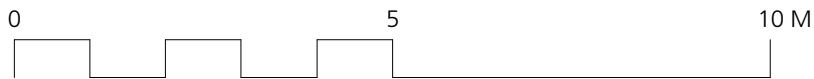
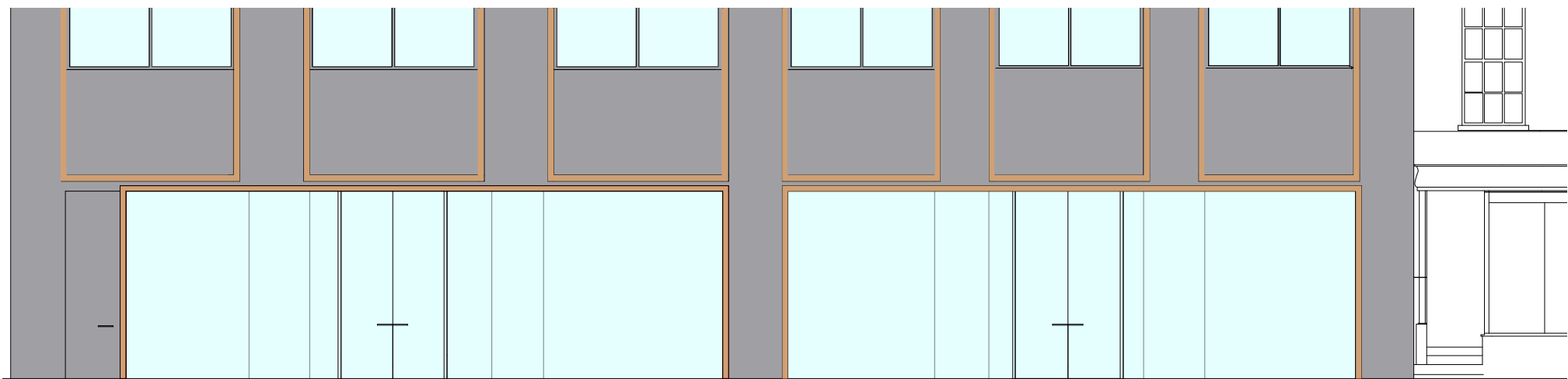
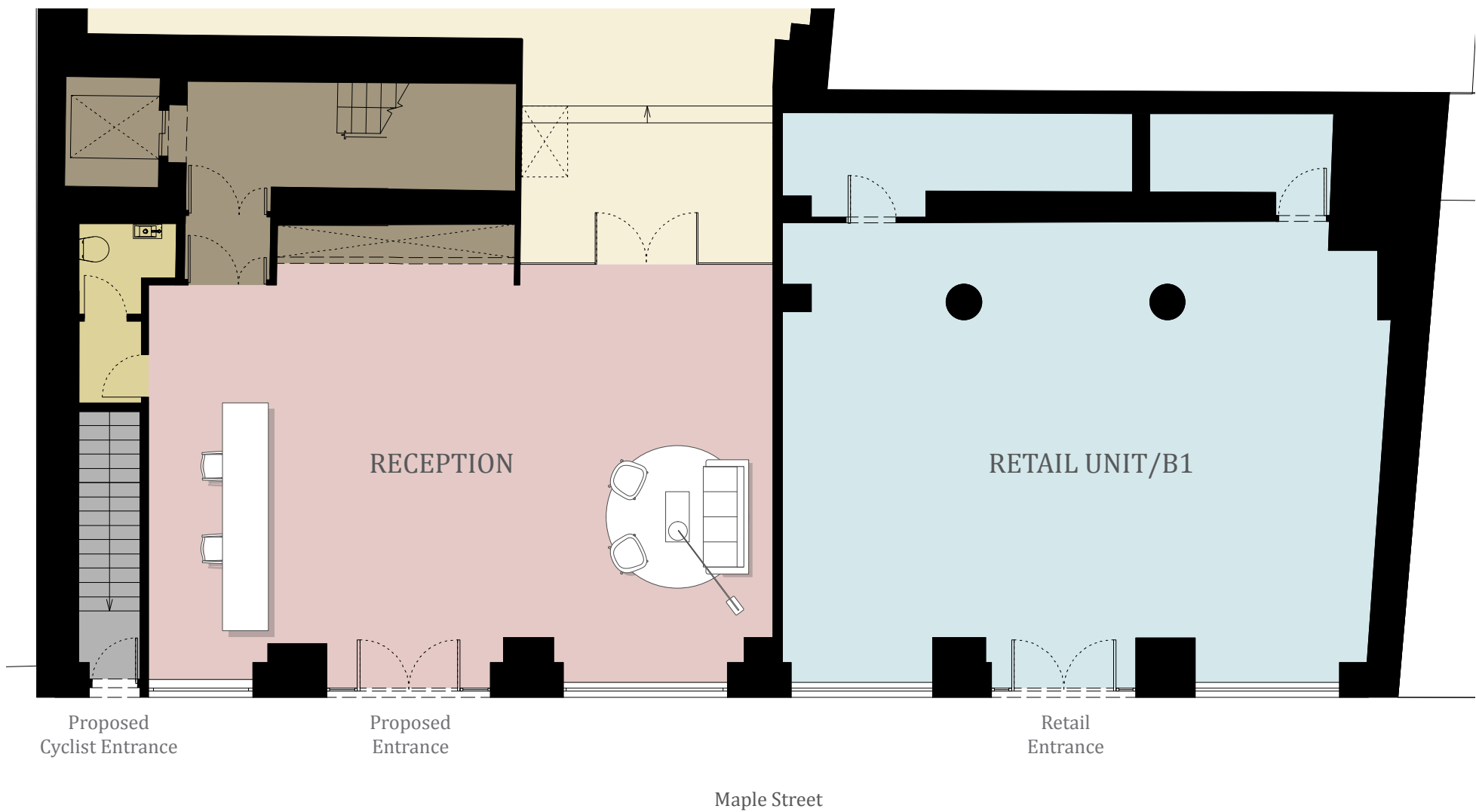
4.02 Entrances

### 4.03 Maple Street Proposed Entrance

Interesting architectonic articulations to the facade is key to create a good first impression.

A new visual & exciting office reception will help re-brand the building whilst the proposed retail unit would create more activity.

Removing ramps from reception and ancillary spaces shall help create a single more harmonious space.

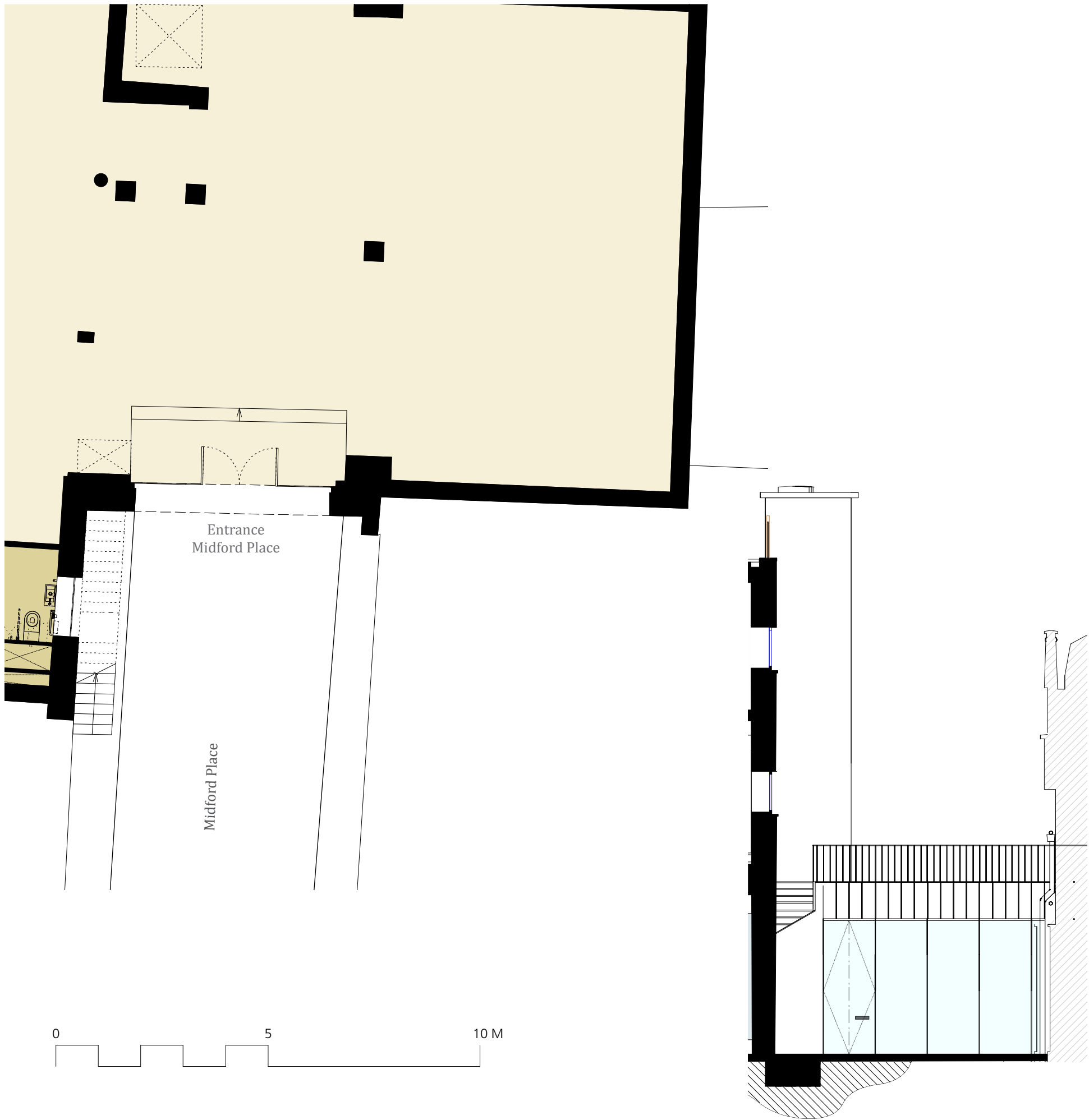




## 4.04 Midford Place Proposed Entrance

A modernised entrance can create a more inviting facade to what is otherwise a 'dead end'.

A reconfigured and well-presented rear entrance will greatly improve the usability of the existing building, providing the opportunity to utilise the rear entrance for staff and visiting guests, activating the otherwise tired and uninviting streetscape to the rear of the property.





Proposed Maple Street Entrance





Proposed Maple Street Entrance

4.05 Facades

4.06 Approach to Maple Street Facade



Step 0

- Existing facade



Step 1

- Remove garish colour



Step 2

- Remove the glazing and structure on the upper floors



Step 3

- Paint masonry on upper levels
- Install full height glazing at street level
- Add folded metal architrave to ground floor openings, framing the new glazing





Proposed Maple Street Facade

# 4.07 Proposed Maple Street Elevation

The external proposals look to modernise and enhance the building’s tired facade and dated style.

New glazing set in front of the existing structure can creating a more homogeneous look for the entrances whilst folded metal architraves will frame the existing window bays.

The ground floor offers the greatest opportunity to transform the perception of the building by providing a warmer welcome to the building with improved streetscape presence as well as the opportunity to unlock the potential of the basement space

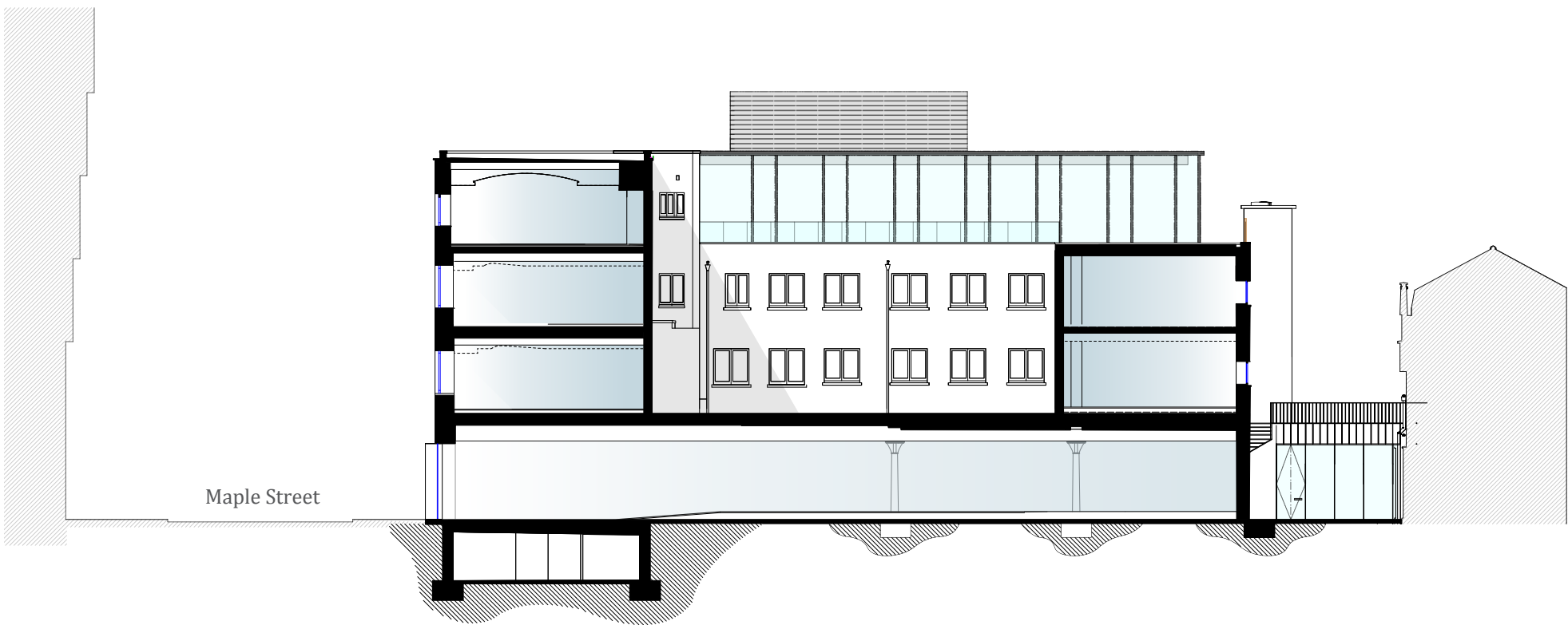
- The key architectural moves would incorporate:
- A new and clearly visible reception
  - A new retail unit on ground floor
  - Access to bike store from street level



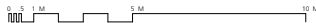
## 4.08 Proposed Midford Place Elevations

The proposed Midford Place facade will incorporate additional glazing to increase the amount of natural light within the rear of the floorplate. The handrail, providing edge protection for the first floor terrace, will be sculptural in form with some of the vertical elements projecting down to define the glazing module.

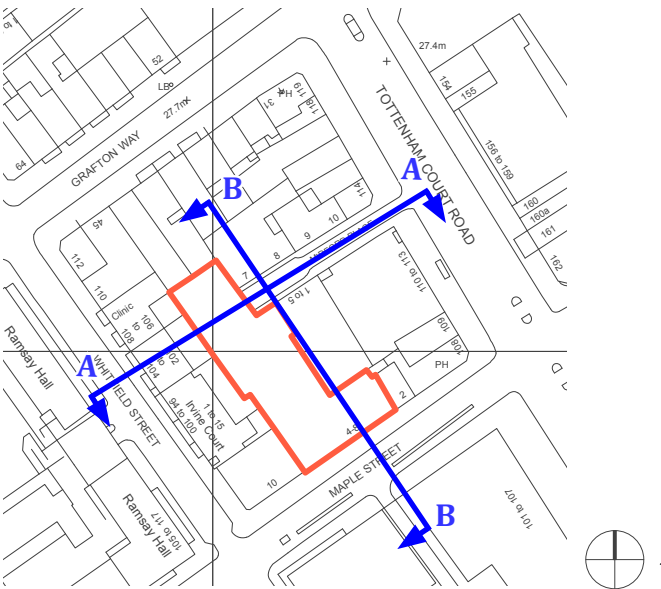
A roof light will be inserted into the first floor terrace to provide additional natural lighting within the Midford Place entrance reception.



Section A-A - Proposed



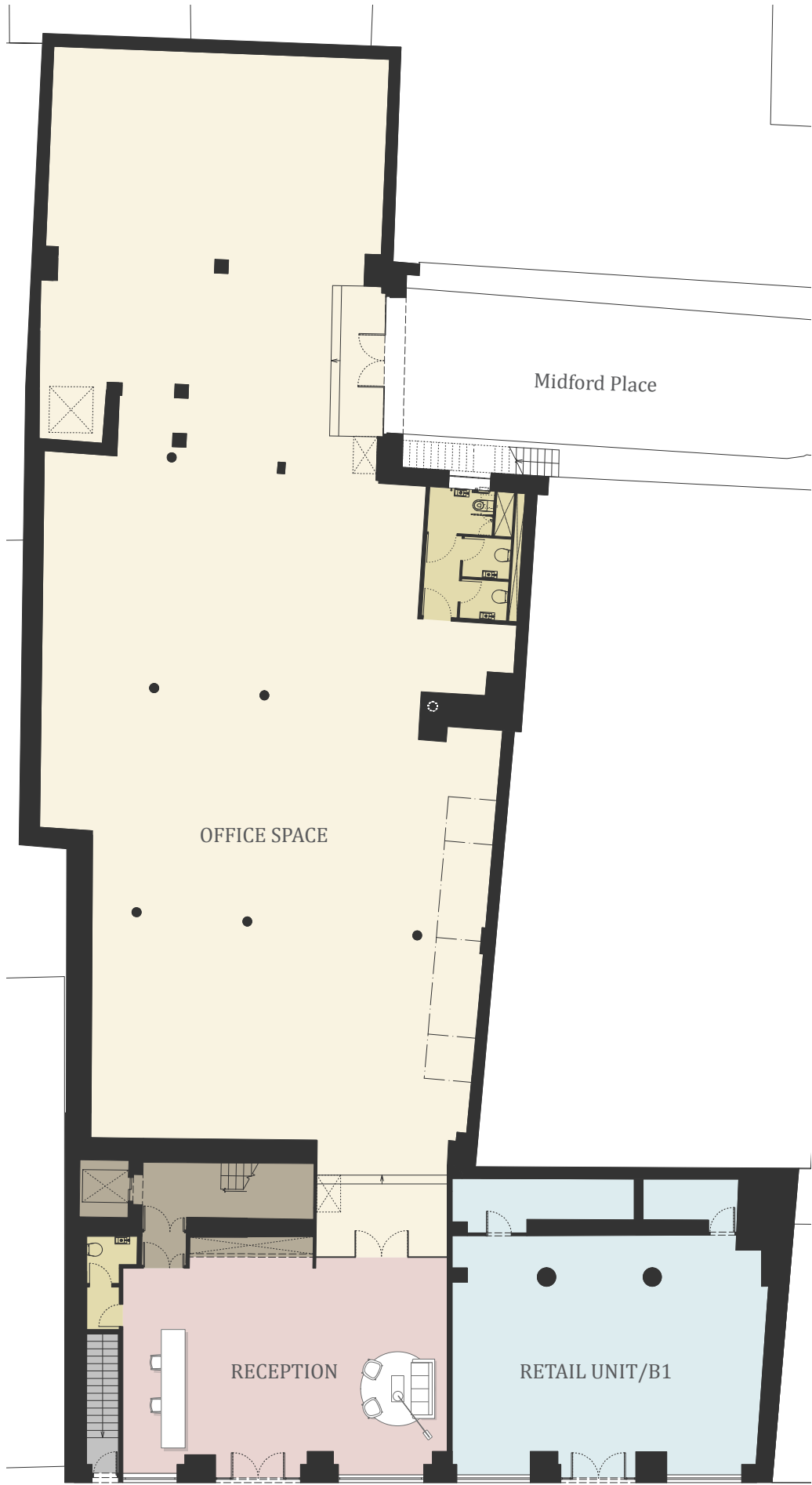
Section B-B - Proposed



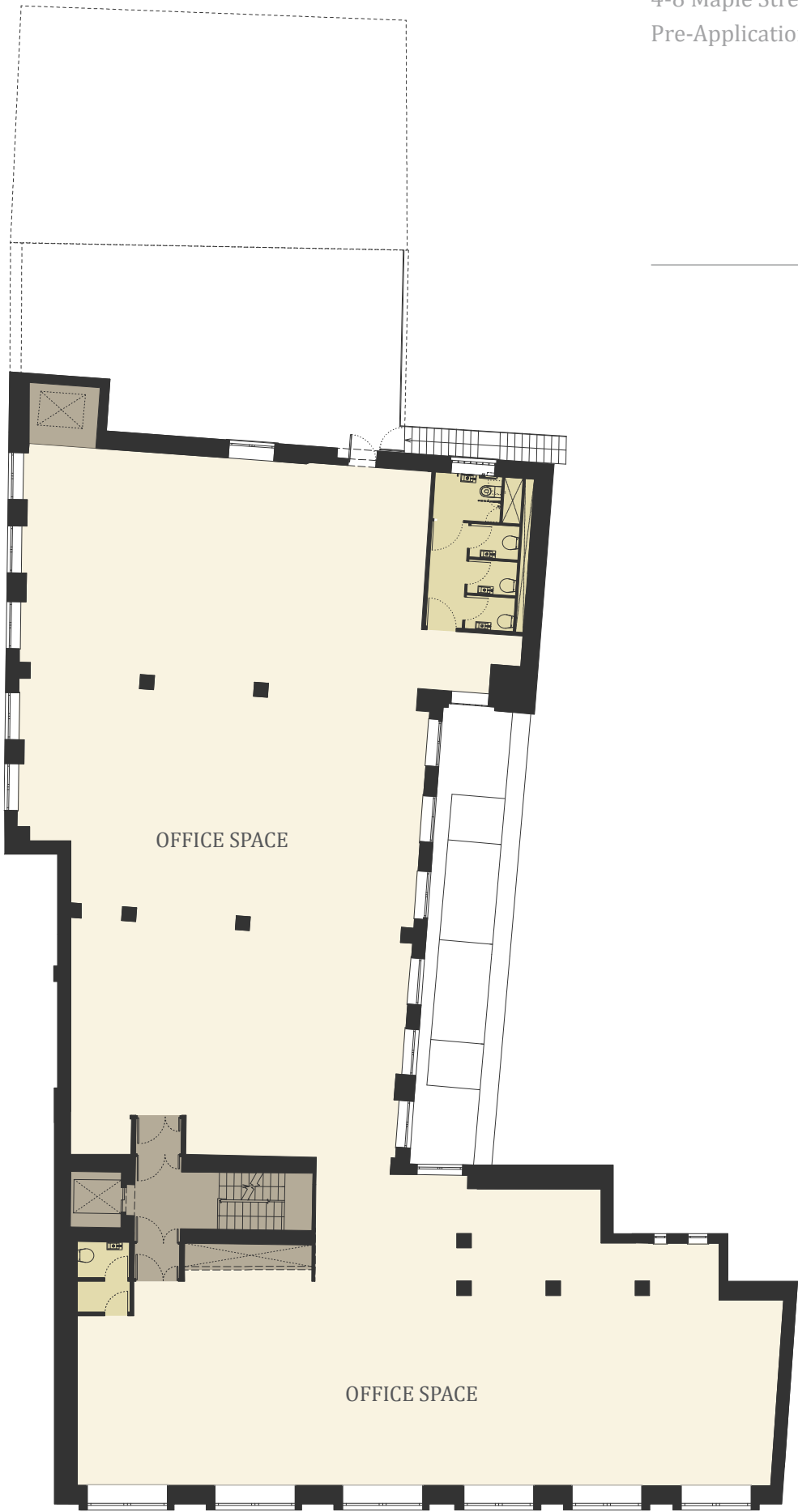
Location Key: Midford Place Elevation



4.09 Proposed Plans

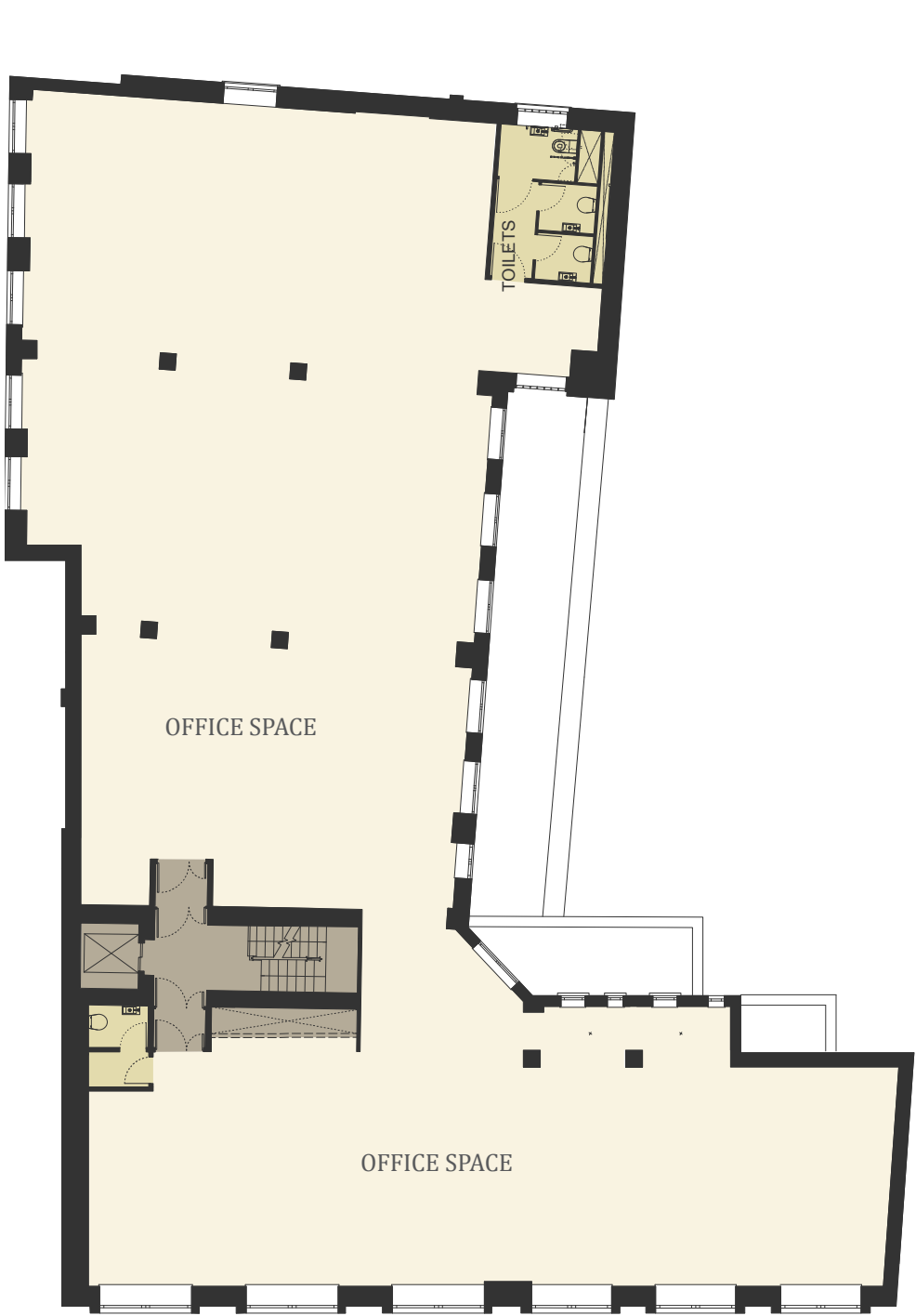


Proposed Ground Floor Plan

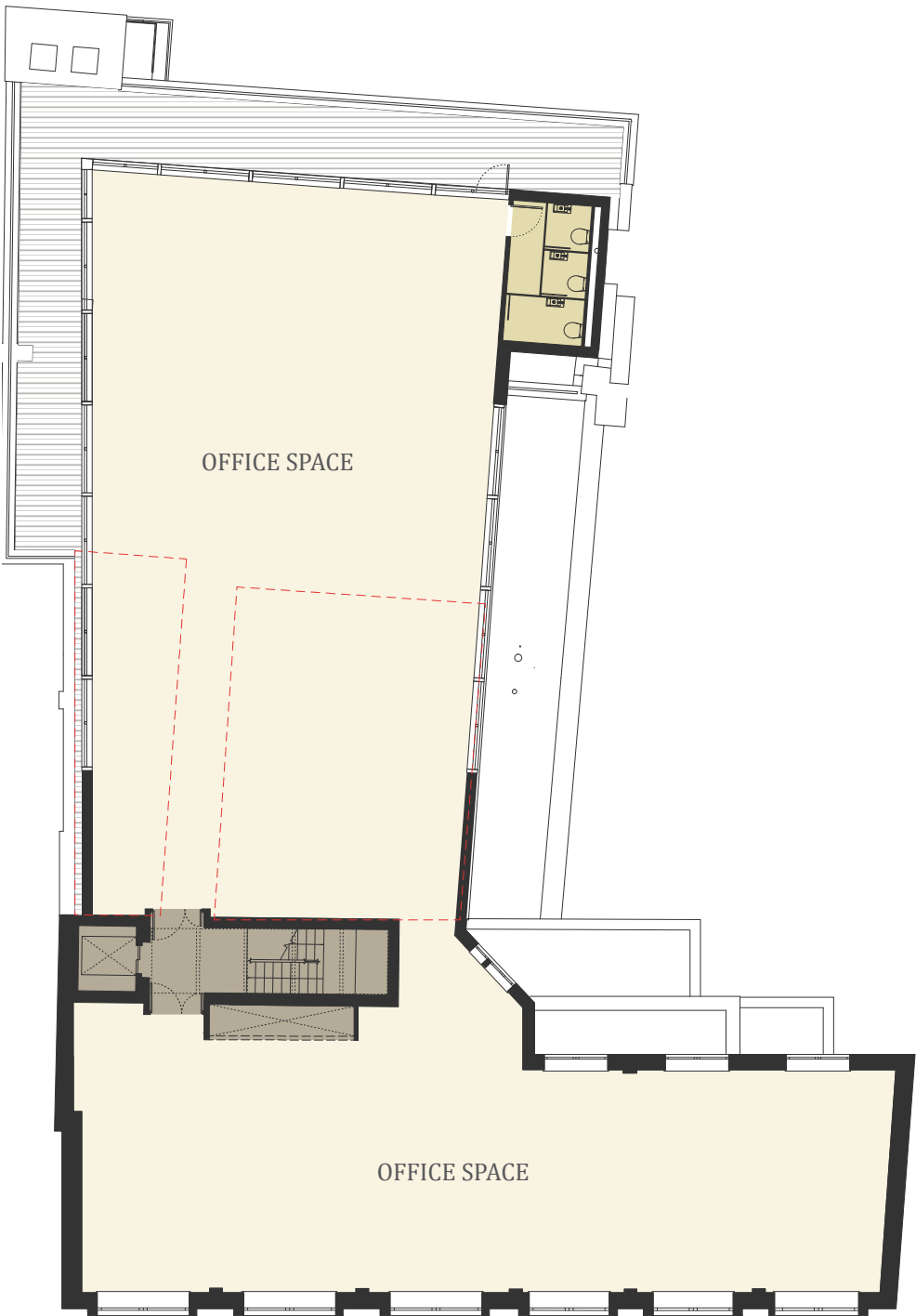


Proposed First Floor Plan



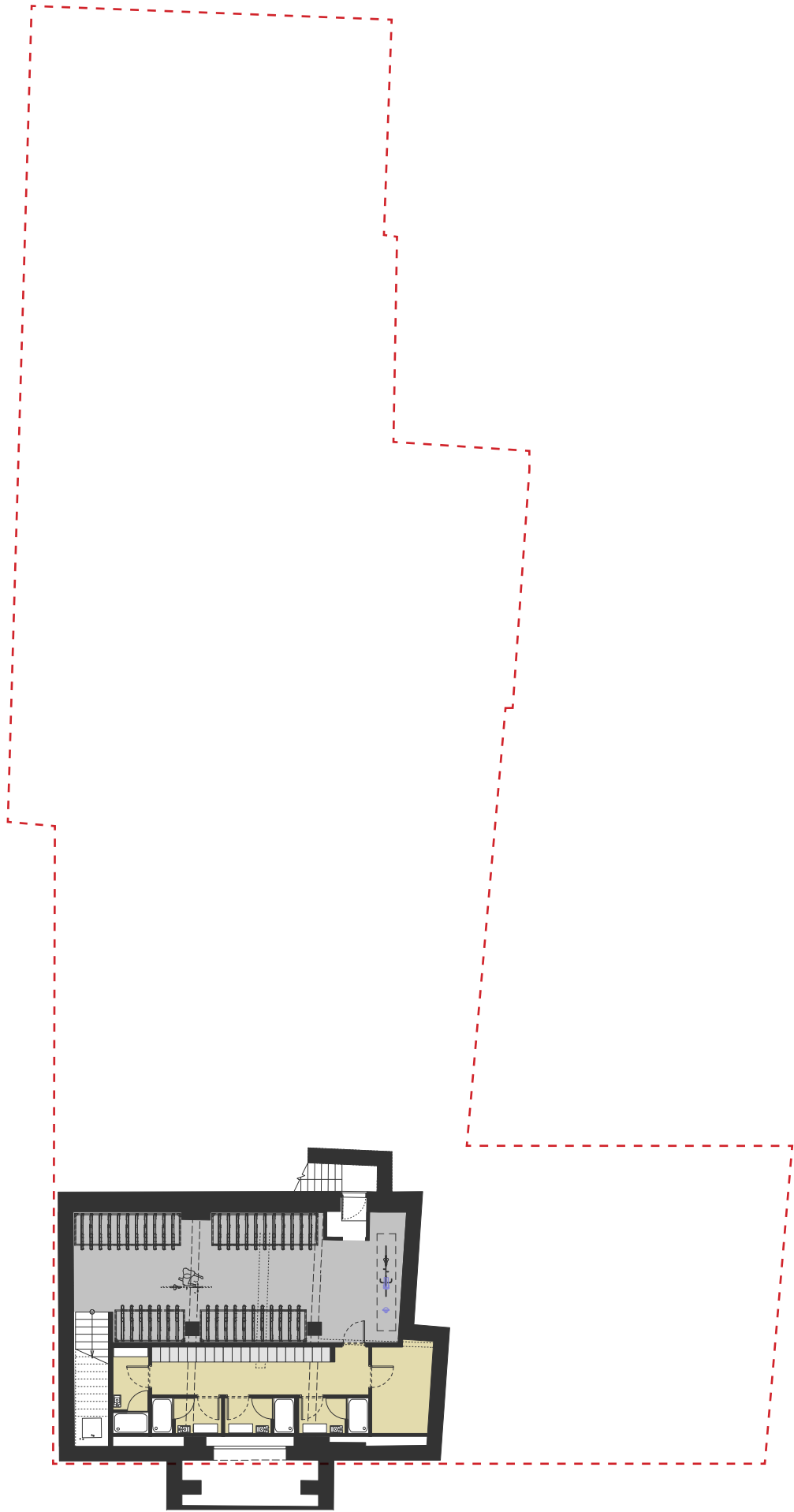


Proposed Second Floor Plan

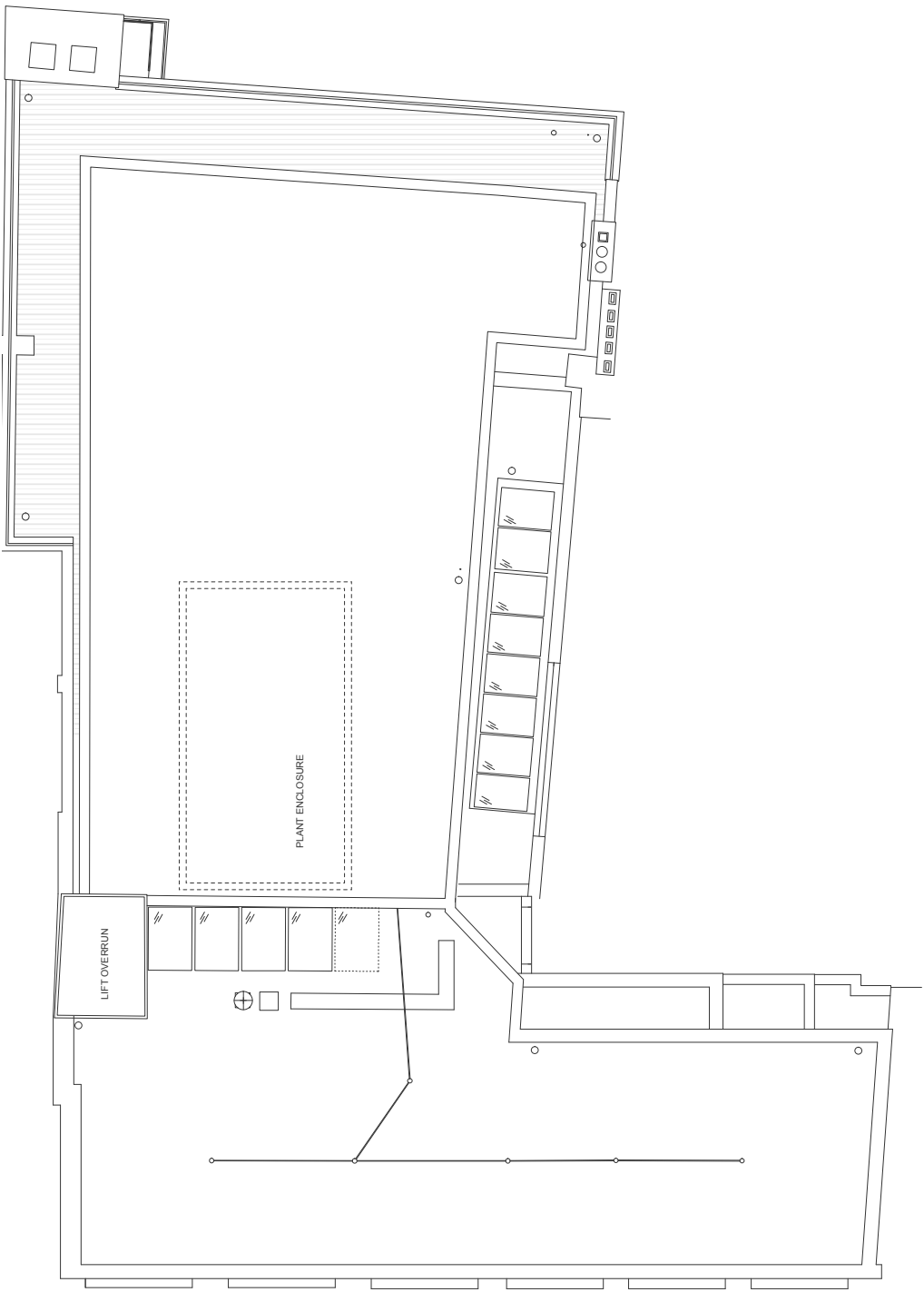


Proposed Third Floor Plan





Proposed Basement Plan



Proposed Roof Plan

4.11 Third Floor Extension

## 4.12 Proposed Extension

A new lightweight roof extension to the third floor will be set back, creating a small terrace, to minimise any daylight/sunlight impact on neighbouring buildings, and ensure it's massing is subservient to the floors below. The extension will predominantly be glazed to enhance the quality of the internal space. The building's plant equipment will be consolidated and relocated onto the roof level, and enclosed within an acoustic screen.



Aerial - Southwards (Existing)



Aerial - Southwards (Proposed)





Aerial - Westwards (Existing)



Aerial - Westwards (Proposed)

## 4.13 Proposed Cycle Provisions

## 4.14 Proposed Cycle Provisions

London Borough of Camden’s Cycle Parking Standards indicate that such proposals should accommodate the following;

Vehicle Type	Standard
<b>B1– Business</b>	
Cycles	Staff – from threshold of 500 sq m, 1 space per 250 sq m or part thereof. Visitor - from threshold of 500 sq m, minimum of 2 if any visitors are expected, plus any additional spaces needed to bring the total number up to 10% of the visitors likely to be present at any time.

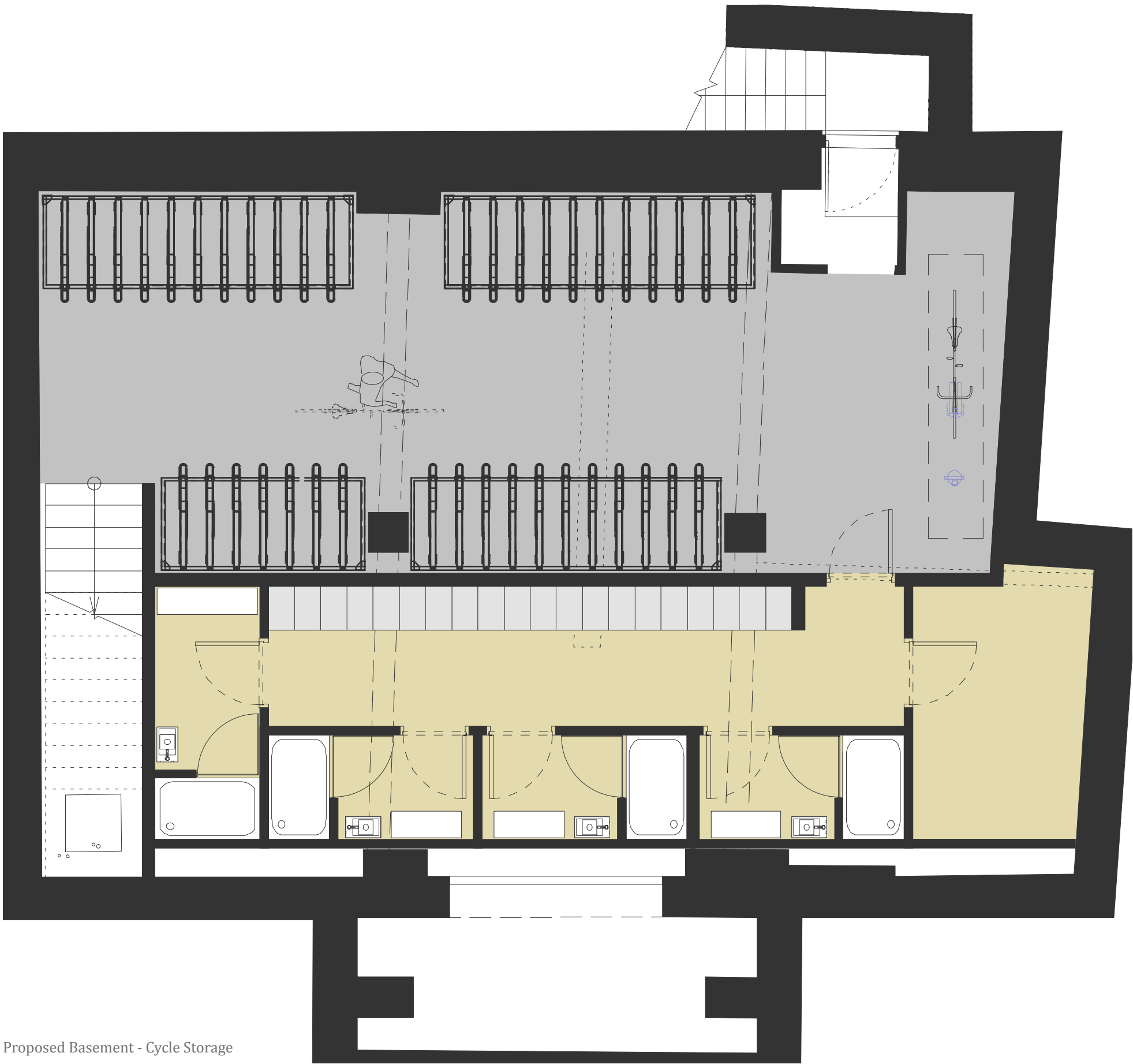
Therefore it would be expected that a proposed development of this scale should provide 7-8 cycle spaces.

A BREEAM ‘Very Good’ rating would require 19 spaces.

However the proposed scheme recommends more comprehensive provisions, with up to;

- 40 cycle spaces
- 40 Lockers
- 4 Showers
- Cycle repair stand

This should all be directly accessible from Maple Street as well as from the internal office space by utilising the existing stair core as well as a new secure entry point.



Proposed Basement - Cycle Storage

## 5.0 Summary



## 5.01 Summary of Proposed Works

The proposed scheme can be summarised under 4 key objectives;

- 1) Enhance the Maple Street elevation in order to create a more modern engaging facade.
- 2) Unlock the potential of Midford Place by making this a genuine second point of access.
- 3) Alter the existing floor plans to modernise the layout, update the servicing strategy and extend the third floor
- 4) Consolidate and relocate the plant to roof level.
- 5) Provide a comprehensive cyclist's facility, going above and beyond the minimum requirements.

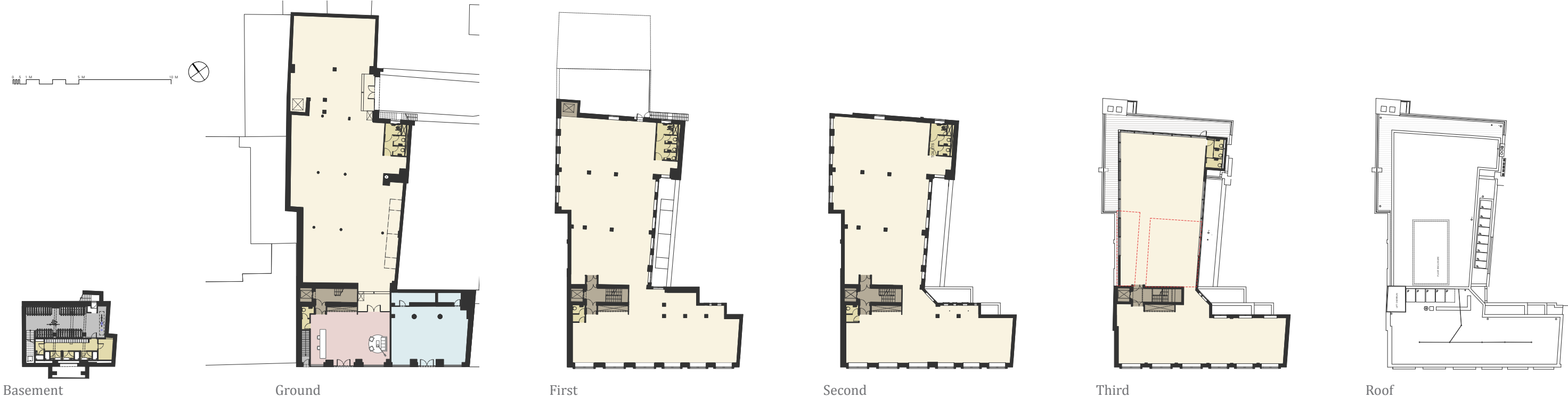


Proposed Development - Maple Street Facade

Existing Floor Plans



Proposed Floor Plans



5.03 Area Schedule

EXISTING						
Level	GEA		NIA		GIA	
	area sq m	area sq ft	area sq m	area sq ft	area sq m	area sq ft
3	260	2,799	157	1,694	195	2,099
2	571	6,146	423	4,552	509	5,476
1	599	6,448	432	4,654	523	5,628
Ground Total	806	8,676	631	6,791	728	7,836
Totals	2,236	24,068	1,643	17,690	1,955	21,039

PROPOSED						
Level	GEA		NIA		GIA	
	area sq m	area sq ft	area sq m	area sq ft	area sq m	area sq ft
4 (Plant)						
3	400	4,306	336	3,618	382	4,112
2	571	6,146	454	4,889	509	5,476
1	599	6,448	466	5,016	523	5,628
Ground Total	806	8,676	633	6,815	728	7,836
Totals	2,376	25,575	1,889	20,338	2,142	23,052

\*ALL AREAS INDICATIVE - SUBJECT TO SURVEY\*

# BuckleyGrayYeoman

Studio 5.04

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## **APPENDIX 2: PRE-APPLICATION ADVICE RECEIVED ON 30/10/15**

**From:** Moran, Kathryn <Kathryn.Moran@camden.gov.uk>  
**Sent:** 30 October 2015 17:23  
**To:** McSweeney, Jessica; Neal, Sam  
**Subject:** RE: 2015/5339/PRE - Request for pre-application advice - 4-8 Maple Street

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Hi Jessica

I have discussed the proposals with a design officer and offer the following advice:

It is considered that the alterations to the Maple Street elevation are very much welcome and would result in a significant improvement to the streetscene.. The alterations to the Midford Place elevation would also result in improvements to the appearance of the property. However the acceptability of the scheme will be dependent on the detailing, and take into account the setting of the adjacent listed building (No.2).

The roof extension is likely to be acceptable subject to amenity impact (a daylight and sunlight report will be required). The rear elevation could be made more solid rather than fully glazed as proposed. We would assess the use of the terrace and may condition the hours of use.

The rationalisation of the plant at roof level would also be welcome.

The roof extension would provide 234m<sup>2</sup> of new office floorspace within Central London Area. Therefore DP1 would be applicable and 50% of the additional floorspace should be provided as housing on site. Therefore on the basis of the proposal 117m<sup>2</sup> of residential accommodation would be required. If it can be demonstrated this cannot be provided on site we would seek provision off site in the vicinity of the site and only in very exceptional circumstances we may accept a Payment in Lieu.

You are encouraged to provide living roofs/walls where possible and implement appropriate sustainability measures.

You should therefore submit a planning application with detailed plans, sections and elevations, Design and Access Statement, Daylight and Sunlight Assessment and Noise Survey. CGIs/Visuals would also be useful.

**This represents the Council's initial view of your proposals based on the information available to us at this stage. It should not be interpreted as formal confirmation that your application will be acceptable nor can it be held to prejudice formal determination of any planning application we receive from you on this proposal.**

Unfortunately I will be moving to another team and will not be able to deal with this application. However you could still let me know when you are submitting so I will ensure it is validated quickly.

Please call if you need further clarification on any of the above advice.

Kind regards

Kathryn Moran  
Senior Planning Officer

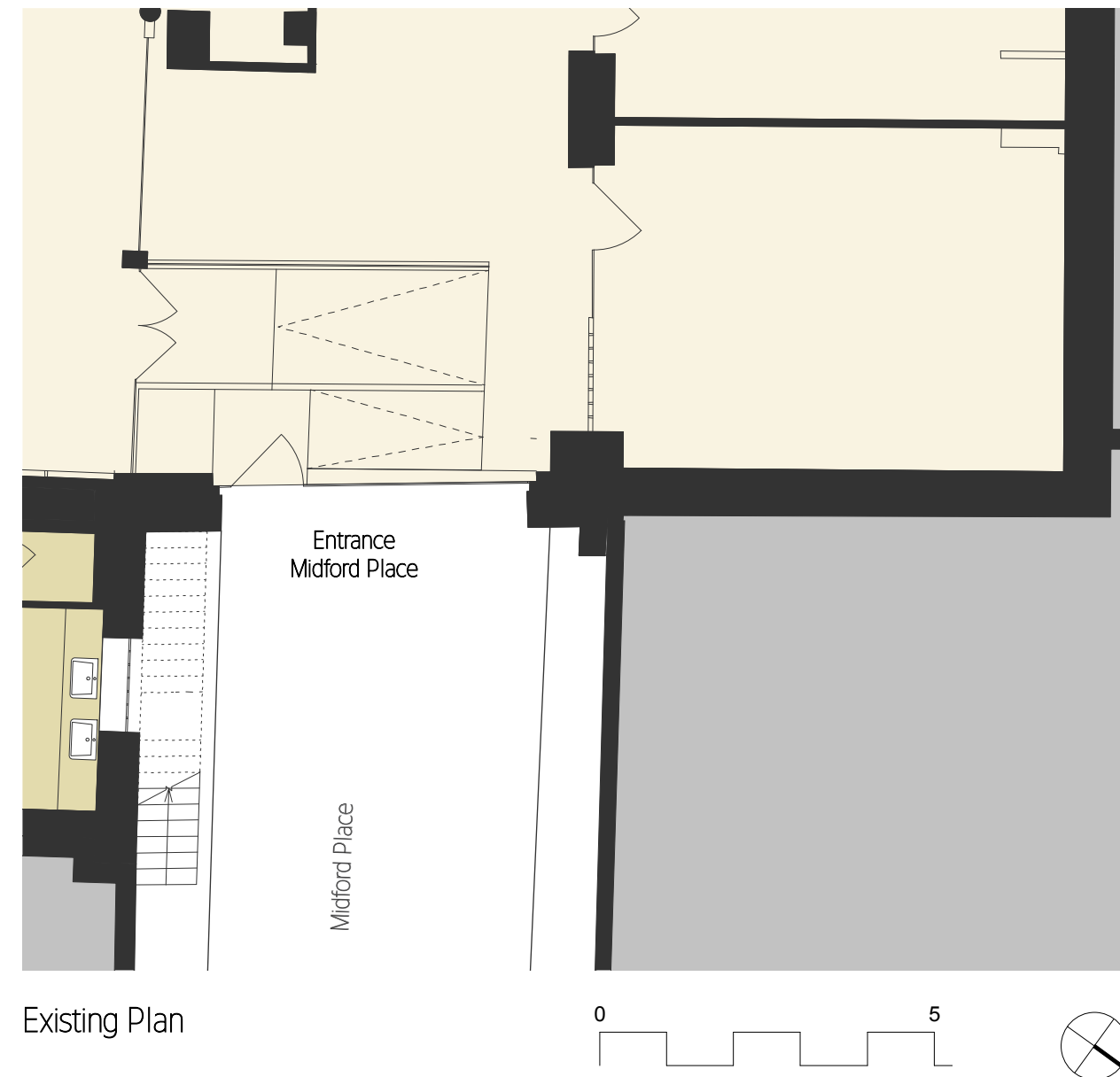
Telephone: 020 7974 5709

## **APPENDIX 3: ADDITIONAL INFORMATION ON MIDFORD PLACE SUBMITTED FOR PRE-APPLICATION ADVICE**



## Midford Place



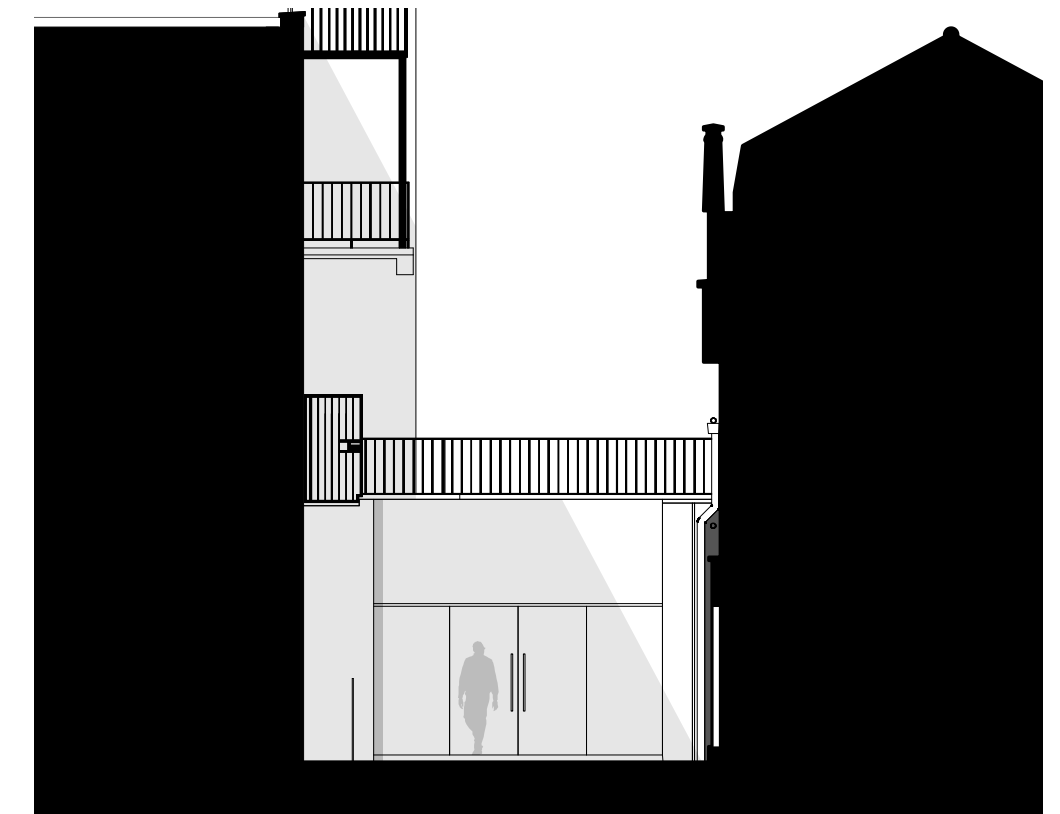


## Midford Place Frontage

The Midford Place facade has the following issues:

The entrance provides a 'dead end', making no contribution to the streetscape.

The space under this stair collects leaves and litter.

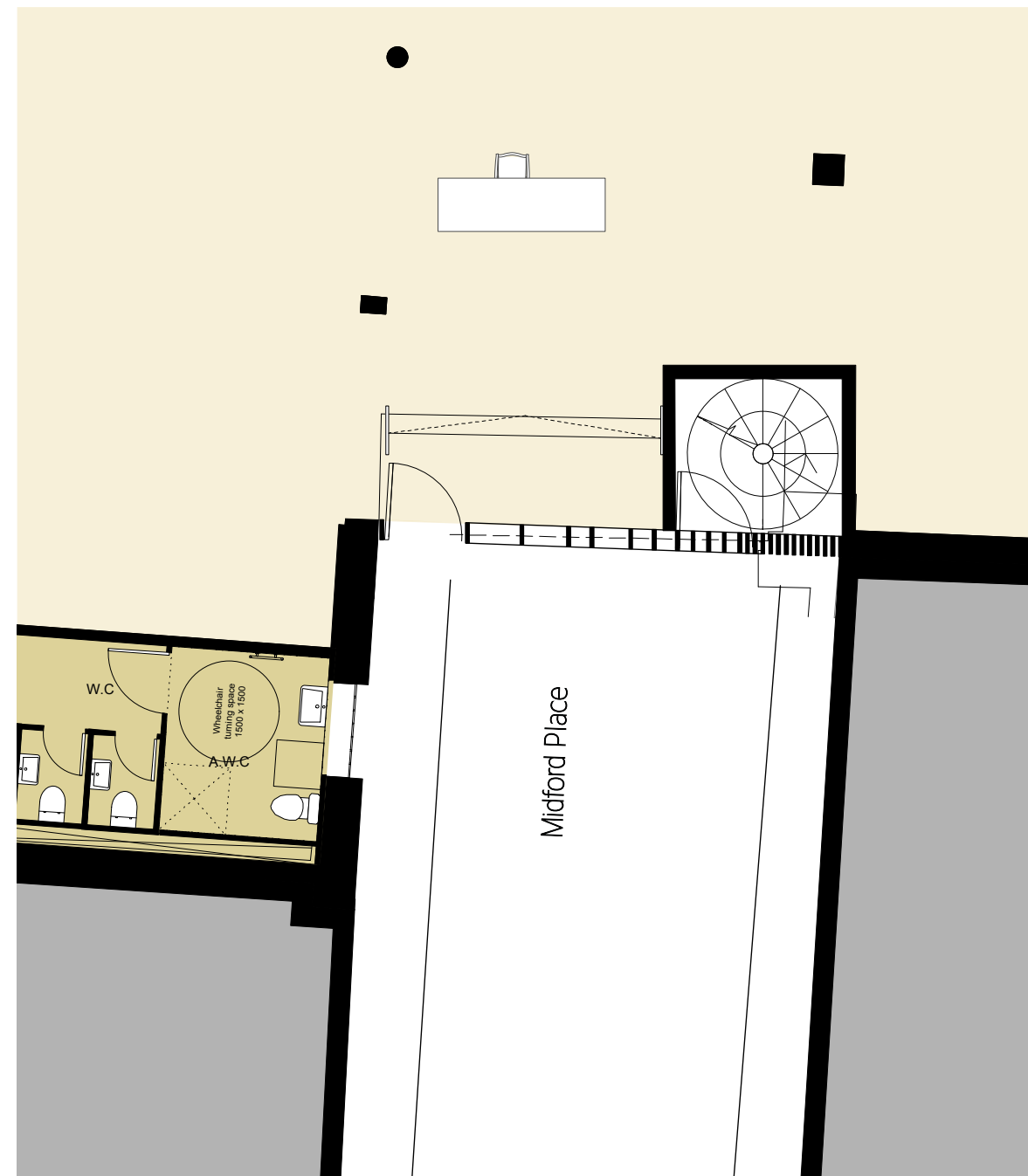




## Could this be improved?

- Opportunity to remove the existing stair
- Potential to create full width 'canvas' to form the end of Midford Place
- Dedicated securitised entrance for residential units at first floor level
- Removal of 'dead end' space which encourages antisocial behaviour
- Potential to create a visually engaging facade that references the building's heritage and creates a strong brand

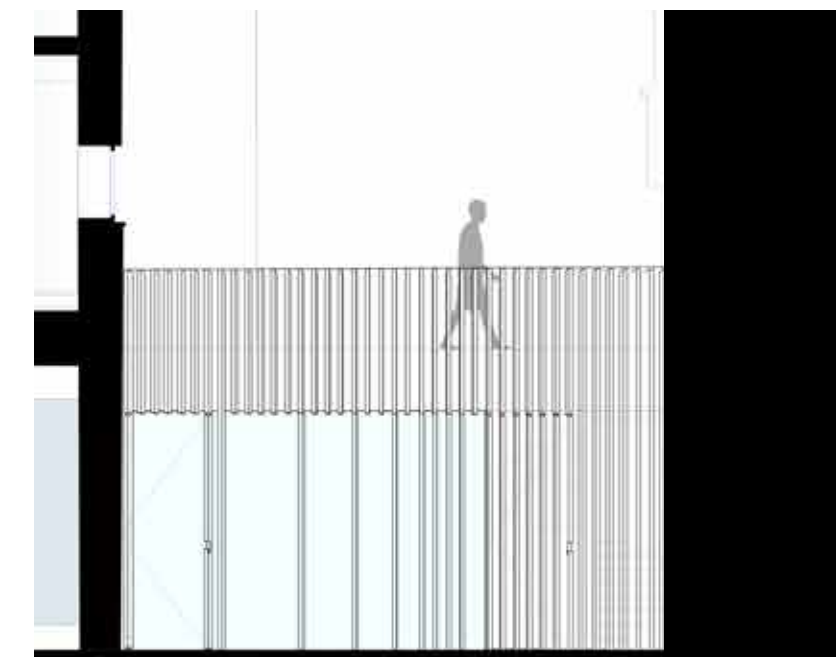




Ground Floor Plan

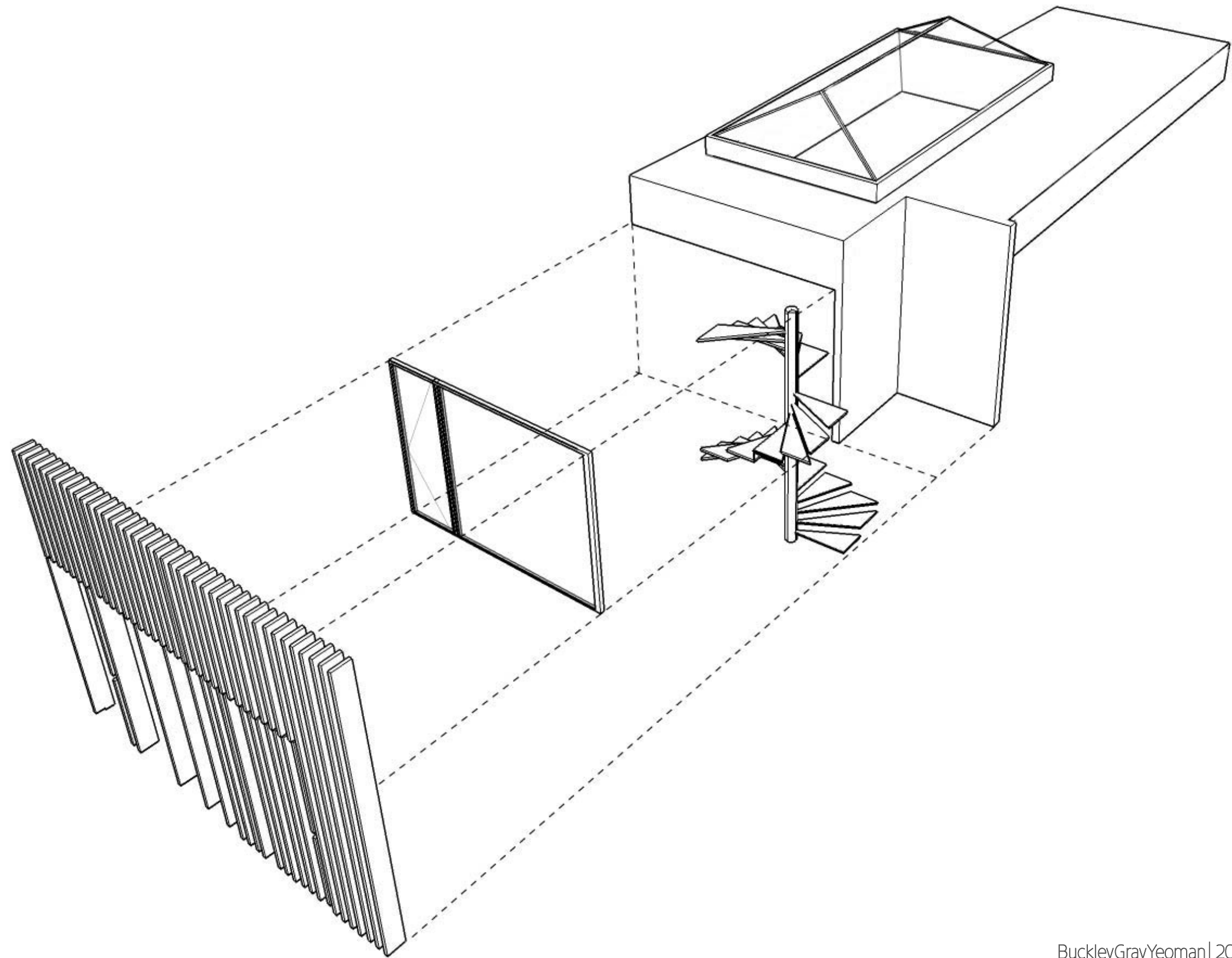
## Option 2: Vertical louvers with inset stair

- New stair dedicated to residential access concealed behind facade louvered facade
- Office entrance is clear and inviting
- 'Dead end' space removed



Proposed Midford Place Elevation  
BuckleyGrayYeoman | 2015







**APPENDIX 4: FURTHER CORRESPONDENCE WITH OFFICER  
DATED 12/11/15 IN RESPECT OF MIDFORD PLACE**

**From:** Moran, Kathryn <Kathryn.Moran@camden.gov.uk>  
**Sent:** 12 November 2015 16:19  
**To:** McSweeney, Jessica  
**Cc:** Neal, Sam  
**Subject:** RE: 2015/5339/PRE - Request for pre-application advice - 4-8 Maple Street [CJ-WORKSITE.FID218849]

Hi Jessica

Afraid not as he's been on leave and isn't it today. He had no in principle objections to the proposals and the acceptability will be all in the detailed/quality of materials.

Kind regards

Kathryn Moran  
Senior Planning Officer

Telephone: 020 7974 5709

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**We want to hear your views on the changes we are proposing to how we consult on planning applications. To find out more and have your say visit [www.camden.gov.uk/sci](http://www.camden.gov.uk/sci). Consultation closes on the 20 January 2016.**

---

**From:** McSweeney, Jessica [<mailto:Jessica.McSweeney@carterjonas.co.uk>]  
**Sent:** 12 November 2015 16:15  
**To:** Moran, Kathryn  
**Cc:** Neal, Sam  
**Subject:** RE: 2015/5339/PRE - Request for pre-application advice - 4-8 Maple Street [CJ-WORKSITE.FID218849]

Hi Kathryn

We have a team meeting tomorrow morning and I wondered if you had heard back from Charlie Rose on the Midford Place elevations?

Jessica McSweeney  
Associate

For and on behalf of Carter Jonas LLP  
T: 0207 5291511  
M: 07826867329  
W: [carterjonas.co.uk](http://carterjonas.co.uk)

**Carter Jonas**

Carter Jonas LLP



One Chapel Place  
London  
W1G 0BG



Please consider the environment - do you really need to print this email?

---

**From:** Moran, Kathryn [<mailto:Kathryn.Moran@camden.gov.uk>]

**Sent:** 04 November 2015 15:21

**To:** McSweeney, Jessica

**Subject:** RE: 2015/5339/PRE - Request for pre-application advice - 4-8 Maple Street

Hi Jessica

The design and conservation officer Charlie Rose is on leave this week but I have forwarded the email to him for comments on the Midford Place elevation.

For the PIL I also calculate £81,900 on basis of CPG 8 (2015). However we would seek on site or off site provision in the first instance.

Kind regards

Kathryn Moran  
Senior Planning Officer

Telephone: 020 7974 5709

---

**From:** McSweeney, Jessica [<mailto:Jessica.McSweeney@carterjonas.co.uk>]

**Sent:** 02 November 2015 13:13

**To:** Moran, Kathryn; Neal, Sam

**Subject:** RE: 2015/5339/PRE - Request for pre-application advice - 4-8 Maple Street

Hi Kathryn

Thanks for coming back to us with the below advice. In the meantime, I have received the attached further detail from the architect on the Midford Place elevation which shows:

- New full height vertical screen - to form terrace balustrade at first floor level
- Extended glazing
- Removal of the existing escape stair
- New spiral stair for dedicated access for residential units

If you and/or the design officer have any further comments please let me know?

Also, in terms of the additional floorspace, I will be advising the client that this should be reduced to below 200m<sup>2</sup>. In the event that they decide to leave the design at 234m<sup>2</sup> and we were able to demonstrate that on site affordable housing was not viable and that there were no suitable alternative sites, could you confirm that the payment in lieu, if considered acceptable, would be calculated at £700 x 117m<sup>2</sup> = £81,900?

Thanks.

Jessica McSweeney  
Associate

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