

35-37 Fitzroy Street, London, W1T 6DX

Listed building Consent
ref: FitzroyStreet0011

EXISTING SITUATION

There is damp coming into the top floor. The dampness originally appeared in summer 2014 on the West wall. At the time we did repointing on the roof. See photo #1.



Photo #1

Recently at a closer inspection of the top corner of one of the windows we noticed that the wood has rotted due to dampness and the brick has also discoloured. See photo #2.



Photo #2

A number of roofing companies have come in and advised that the parapet wall in the roof needs a more rigorous approach. This is the cause of the discoloration of the top section part of the wall. See photo #3.



Photo #3

The recommendation is to install a lead flashing to cap the rear parapet wall. See photo #4.

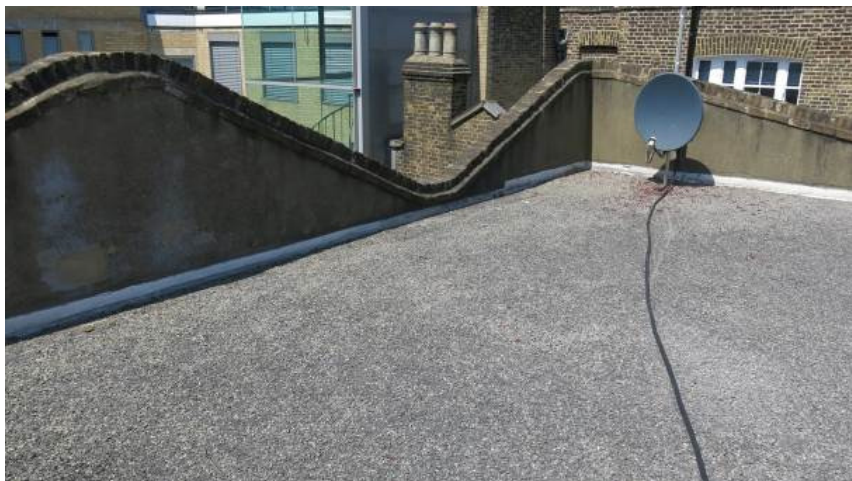


Photo #4

PROPOSED WORKS

The proposal is for a lead flashing to be put all along the parapet wall at shown on photo #5.



Photo #5.

Below in red and green is marked what the lead will cover.



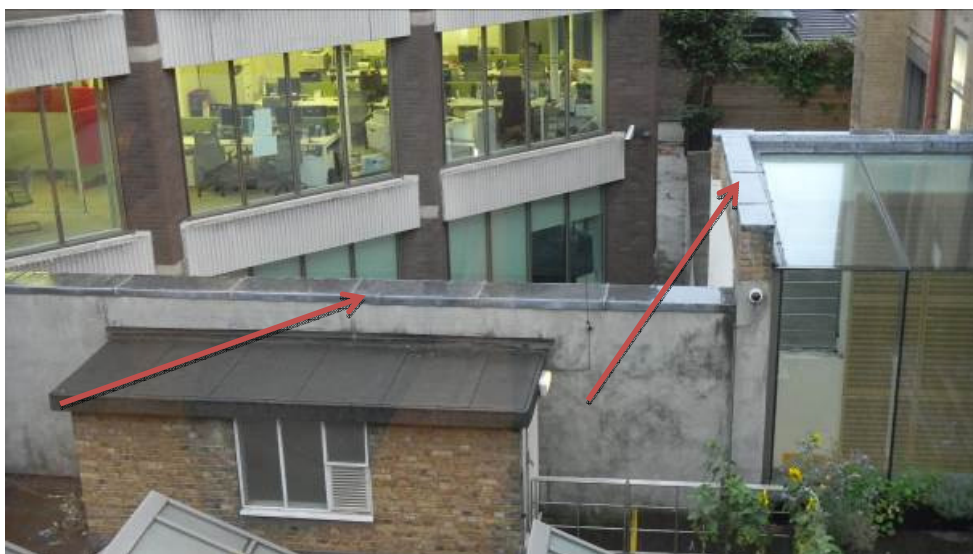
The rear third of the side wall will receive the same treatment only up to this point



This means you will not see anything on the front as the parapets are on the rear of the house.



And one will only see the lead flashing on the back of the side wall here (see above)



This photo of the rear of the property shows that our neighbours have opted for the same handling.

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