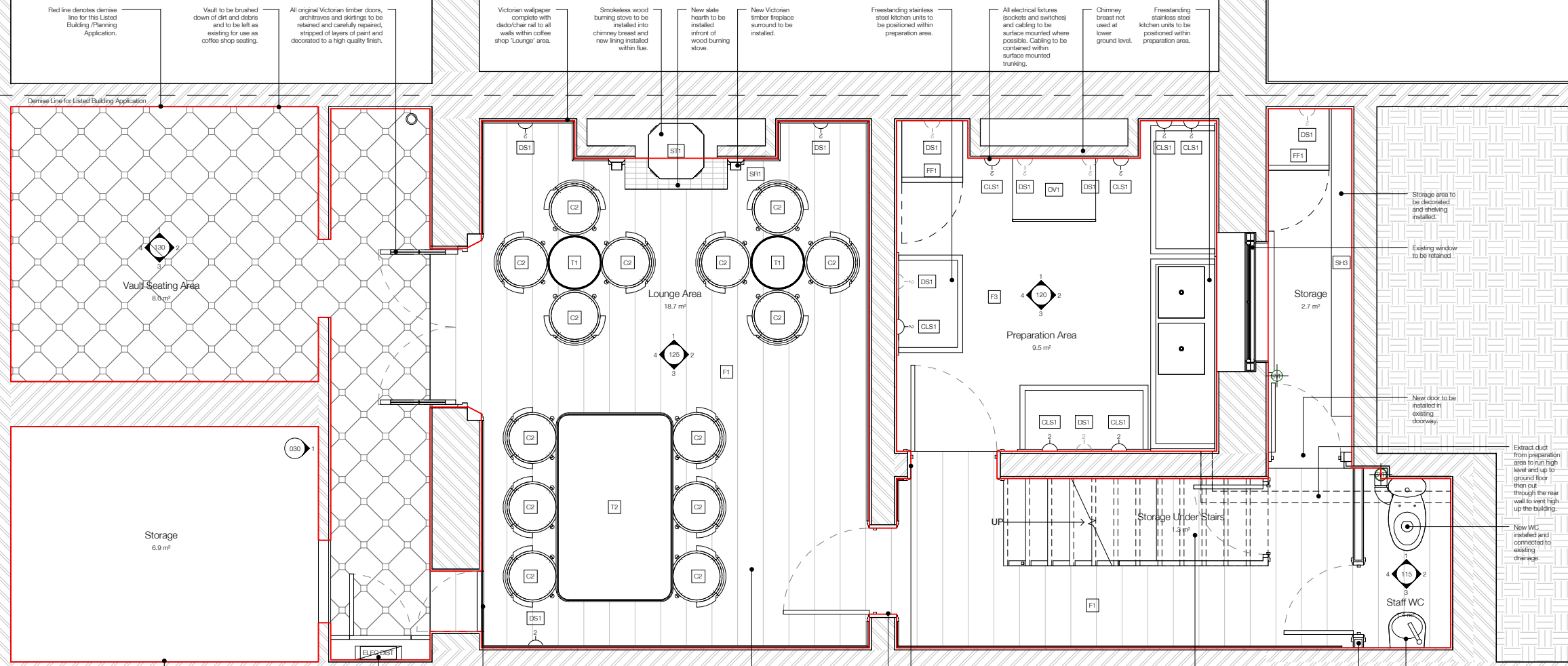


37 Museum Street



Red line denotes demise line for this Listed Building Planning Application.

Vault to be brushed down of dirt and debris and to be left as existing for use as coffee shop seating.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

Victorian wallpaper complete with dadochair rail to all walls within coffee shop 'Lounge' area.

Smokeless wood burning stove to be installed into chimney breast and new lining installed within flue.

New slate hearth to be installed in front of wood burning stove.

New Victorian timber fireplace surround to be installed.

Freestanding stainless steel kitchen units to be positioned within preparation area.

All electrical fixtures (sockets and switches) and cabling to be surface mounted where possible. Cabling to be contained within surface mounted trunking.

Chimney breast not used at lower ground level.

Freestanding stainless steel kitchen units to be positioned within preparation area.

Demise Line for Listed Building Application

Vault Seating Area
8.0 m²

Lounge Area
18.7 m²

Preparation Area
9.5 m²

Storage
2.7 m²

Storage
6.9 m²

Storage Under Stairs
3.9 m²

Staff WC

Vault to be brushed down of dirt and debris and to be utilised as storage for the coffee shop.

Existing electrical services to be re-located to this location and to be enclosed for public safety.

'Secret door' to be installed with wallpaper finish to match surrounding wall. To be used for occasional access to storage vault.

Current laminate flooring to be removed and original oak flooring to be revealed and protected with a high quality glass varnish. If original flooring is non-existent then new wood flooring is to be installed to lower ground floor public areas.

Existing doors to be retained and decorated to a high quality finish.

Existing original lower ground staircase to be retained and repaired. To be finished with glass varnish to match flooring.

New partition and door installed to form lower ground WC for use for staff use only.

New basin installed and connected to existing drainage.

39 Museum Street

Architectural Information - The level of detail shown on the drawings is relative to the completion of a PLANNING PERMITTED DEVELOPMENT APPLICATION.

The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting Out - Dimensions should be checked on site, use above ground levels unless otherwise stated.

Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.

Building Control - Where there is a PLANNING PERMITTED DEVELOPMENT, the client / contractor will ensure that the project is completed in accordance with the Building Regulations. Clearing Applications will need to be negotiated with Building Control as per Approved Document L1B Construction of Walls and Floors.

Planning Permitted Development - Where there is a PLANNING PERMITTED DEVELOPMENT, the client / contractor will ensure that the project is completed in accordance with the approved Planning Conditions and any other conditions imposed by the discharge of any planning conditions.

Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications / audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling (power), wiring conduit positions, service ducts/ducts or access trays) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and consents are obtained before work commences.

Archaeological & Ecological - The client will ensure that any notices and consents are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.

Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.



No.	Description	Date

PLANNING

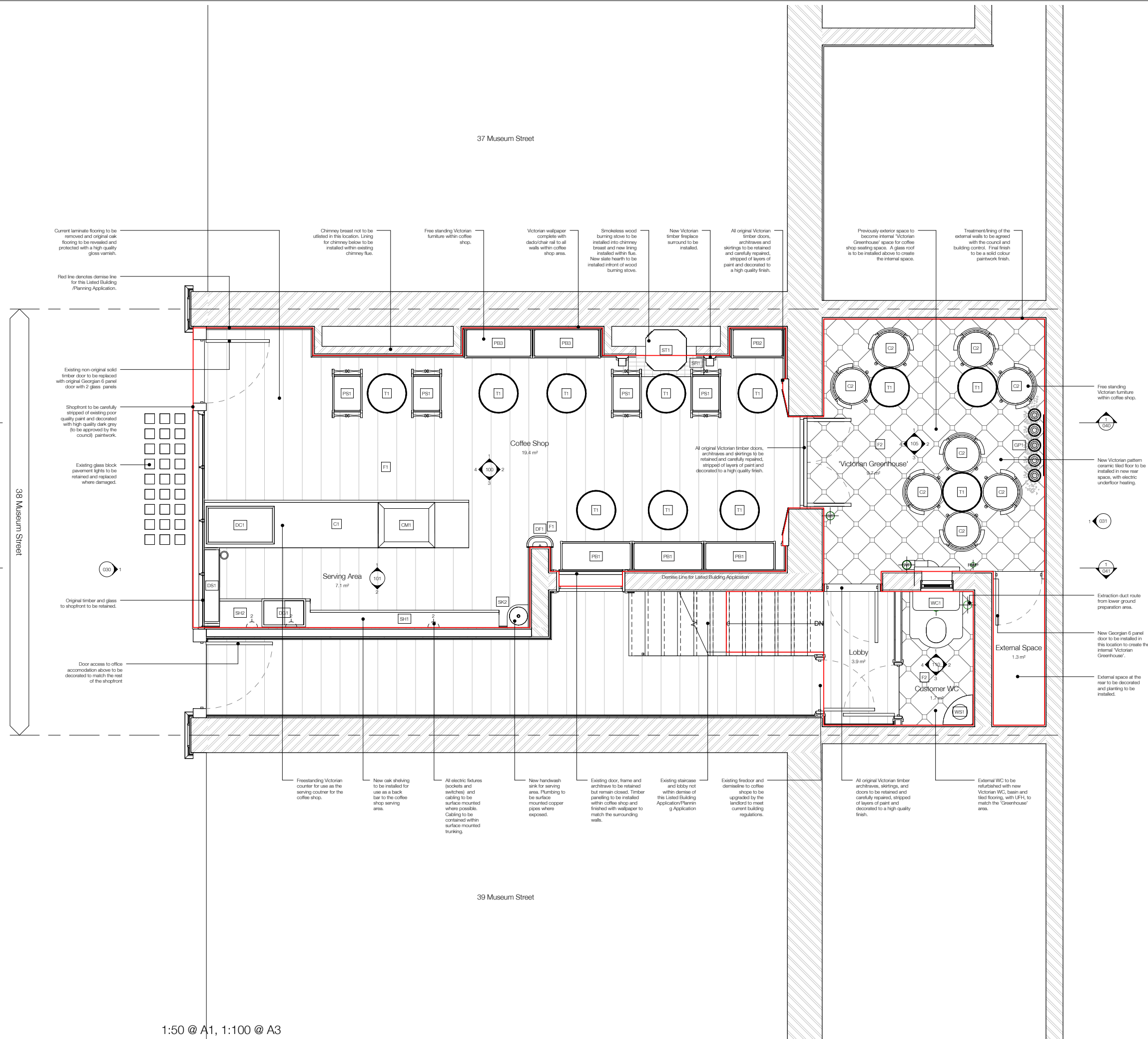
TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: Crown&Ground
Drawing: Plan
Scale: 1:50 @ A1, 1:100 @ A3
Drawing No: 009
Revision:

37 Museum Street

39 Museum Street



Architectural Information - The level of detail shown on the drawings is relative to the description of a PLANNING PERMITTED DEVELOPMENT.

DISCLAIMER - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting Out - All dimensions should be checked on site, use above ground levels unless otherwise stated.

Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction methods only.

Building Control - Where there is a PLANNING PERMITTED DEVELOPMENT, the client or contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Full and Power.

Planning Permitted Development - Where there is a PLANNING PERMITTED DEVELOPMENT, the client or contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling (copper), wiring conduit positions, service ducts/ducts or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and requirements are observed before work commences.

Archaeological & Ecological - The client will ensure that any notices and requirements are observed before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.

Level Markers - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.



No.	Description	Date

PLANNING

Notes:
 1. To be made from the drawing 10 drawings to be printed or site by the contractor and to be the responsibility of the contractor.

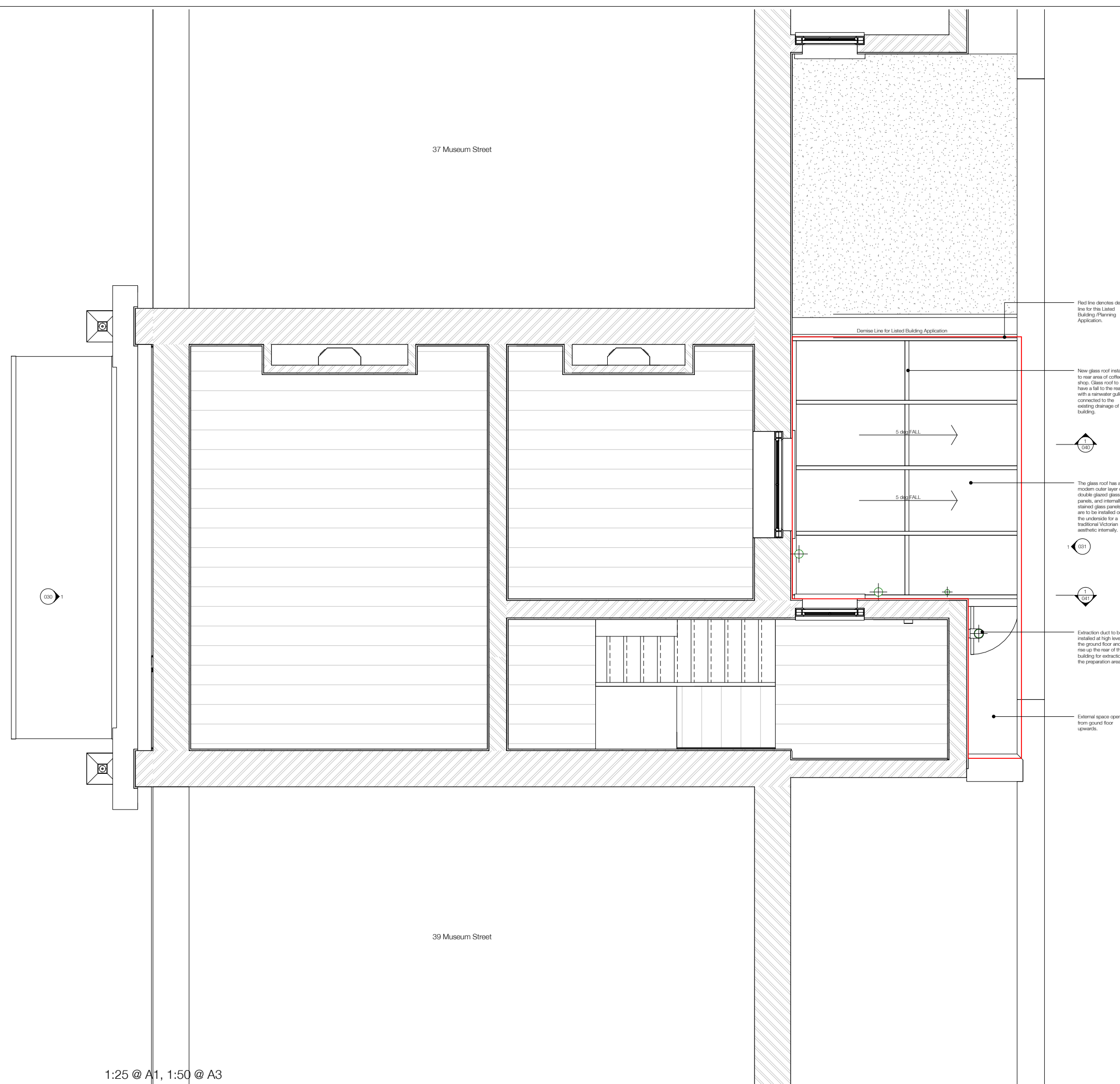
TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: Ground
 Drawing: Plan
 Scale: 1:50 @ A1, 1:100 @ A3
 Drawing No: 010
 Revision:

37 Museum Street

39 Museum Street



Architectural Information - The level of detail shown on the drawings is relative to the description of the ANNOUNCED DEVELOPMENT.

CAUTION - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.

Dimensions and Setting Out - Should be checked on site, use above dimensions as a guide only. These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction details only.

Building Control - Where there is an on-going Architect's appointment the client or contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Clearing Applications will need to be negotiated with Building Control on Approved Drawings (All Construction of Full and Power).

Party Walled Development - Where there is an on-going Architect's appointment: The client or contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.

Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, main water gas or electric meter and meter positions, ceiling elements, wiring conduit positions, service ducts/membranes or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.

Party Walls & Rights to Light - The client will ensure that any notices and easements are obtained before work commences.

Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be his responsibility.

Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.



Fixed line denotes demarcation line for this Listed Building / Planning Application.

Demarcation Line for Listed Building Application

New glass roof installed to rear area of coffee shop. Glass roof to have a fall to the rear with a rainwater gully connected to the existing drainage of the building.

5 dip FALL

5 dip FALL

The glass roof has a modern outer layer of double glazed glass panels, and internally stained glass panels are to be installed on the underside for a traditional Victorian aesthetic internally.

Extraction duct to be installed at high level on the ground floor and to rise up the rear of the building for extraction to the preparation area.

External space open from ground floor upwards.

No.	Description	Date

PLANNING

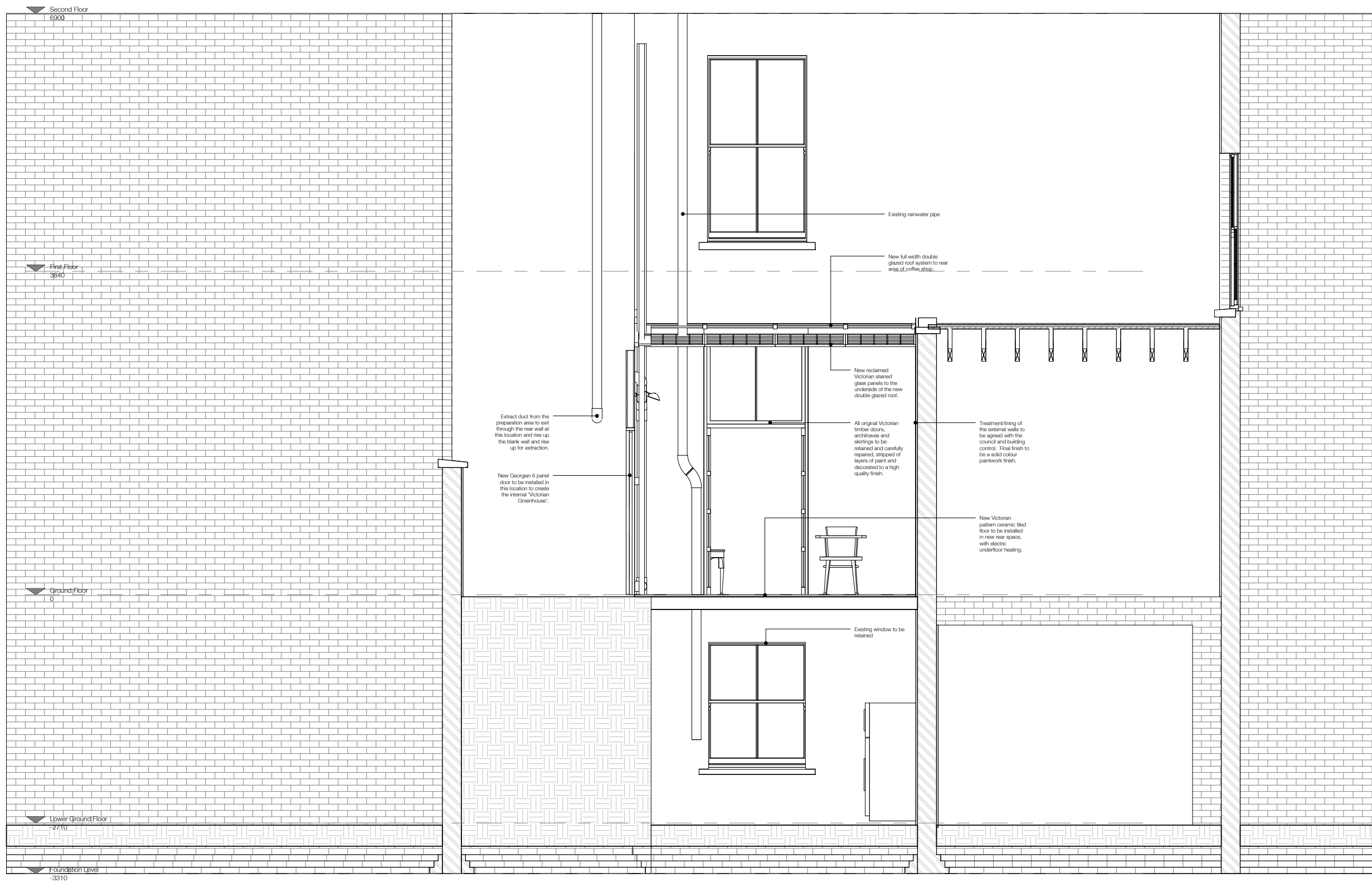
Notes:
Do not build from the drawing. All dimensions to be checked on site by the contractor and to be his responsibility.

TIM GREATREX
ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: First
Drawing: Plan
Scale: 1:25 @ A1, 1:50 @ A3
Drawing No: 011
Revision:

Architectural Information - The level of detail shown on the drawings is relative to the description of a PLANNING PERMITTED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.
Dimensions and Setting Out - All dimensions should be checked on site, see above.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is a PLANNING PERMITTED DEVELOPMENT application, the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Full and Power.
Planning Permitted Development - Where there is a PLANNING PERMITTED DEVELOPMENT application, the client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning / comfort cooling) are extract installations, only phone systems, intruder alarm systems, telecommunications / data or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling (copper), wiring conduit positions, service ducts/entrances or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and easements are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and easements are obtained before work commences.
Existing Information - A specialist measured / topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.



No.	Description	Date

PLANNING

Notes:
 1. Do not build from the drawing without the consent of the architect and/or the contractor and/or the planning authority.

TIM GREATREX
 ARCHITECT
 Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Elevation
 Scale: 1:25 @ A1, 1:50 @ A3
 Drawing No: 031
 Revision:

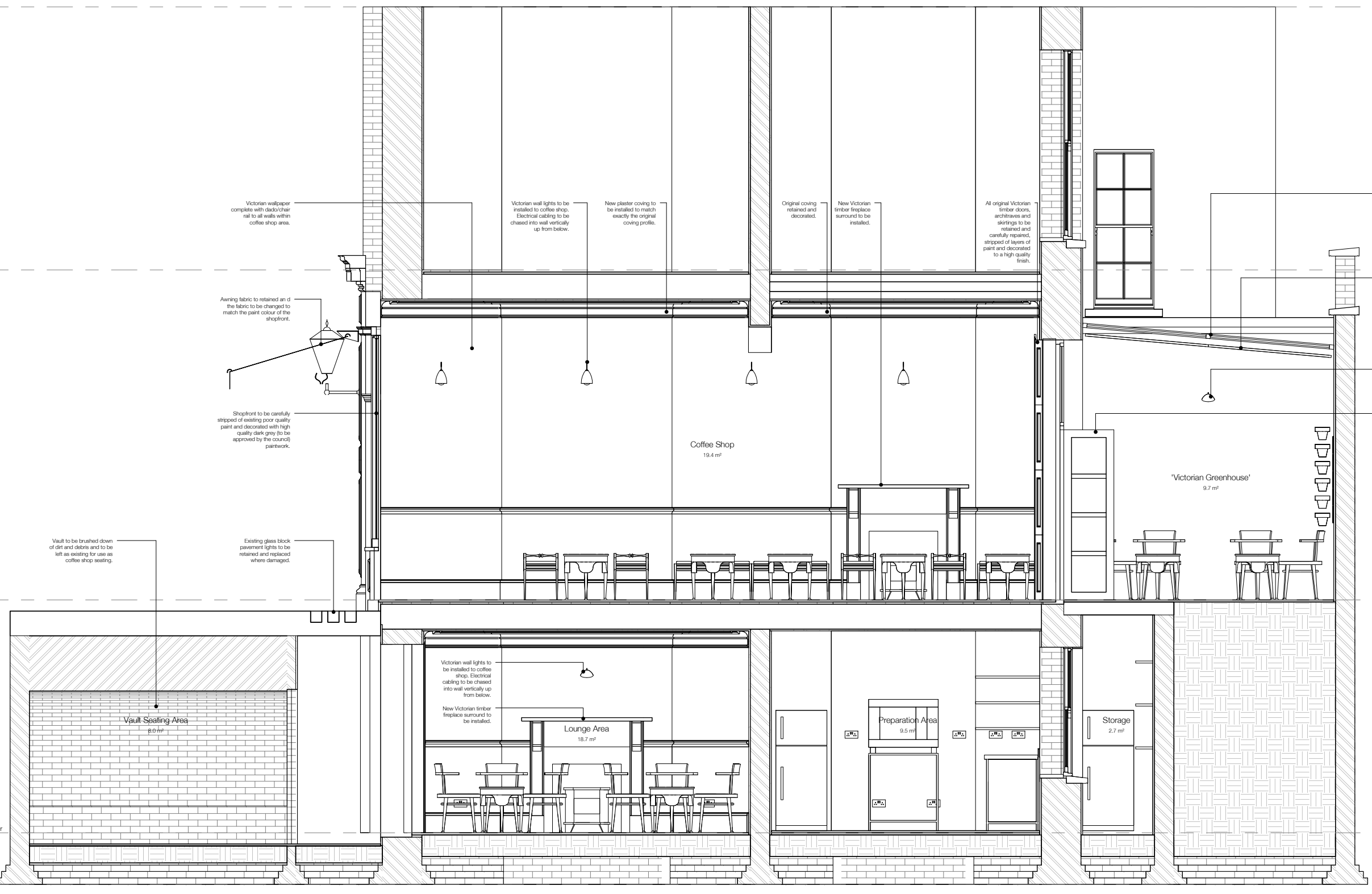
Second Floor
6900

First Floor
3840

Ground Floor
0

Lower Ground Floor
-2710

Foundation Level
-3310



Architectural Information - The level of detail shown on the drawings is relative to the description of the ANNEX PROJECT DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.
Dimensions and Setting out - Dimensions should be checked on site, use above ground levels unless otherwise noted.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction details only.
Building Control - Where there is an on-going Architect's appointment the client or contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Full and Power.
Planning/Permitted Development - Where there is an on-going Architect's appointment: The client or contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning control cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling (copper), wiring conduit positions, service ducts/terminals or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents are obtained and complied with before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents are obtained and complied with before work commences.
Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. To be made from the drawing, all dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Section
 Scale: 1:25 @ A1, 1:50 @ A3
 Drawing No: 040
 Revision:

Second Floor
6900

First Floor
3840

Ground Floor
0

Lower Ground Floor
-2710

Foundation Level
-3310



New glass roof installed to rear area of coffee shop. Glass roof to have a fall to the rear with a rainwater gully connected to the existing drainage of the building.

The glass roof has a modern outer layer of double glazed glass panels, and internally stained glass panels are to be installed on the underside for a traditional Victorian aesthetic internally.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

All original Victorian timber doors, architraves and skirtings to be retained and carefully repaired, stripped of layers of paint and decorated to a high quality finish.

Original coving retained and decorated.

Existing door, frame and architrave to be retained but remain closed. Timber panelling to be installed within coffee shop and finished with wallpaper to match the surrounding walls.

New plaster coving to be installed to match exactly the original coving profile.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

Victorian wallpaper complete with dado chair rail to all walls with coffee shop area.

Awning fabric to be retained and the fabric to be changed to match the paint colour of the shopfront.

Shopfront to be carefully stripped of existing poor quality paint and decorated with high quality dark grey (to be approved by the council) paintwork.

All electric fixtures (sockets and switches) and cabling to be surface mounted where possible. Cabling to be contained within surface mounted trunking.

Vault to be brushed down of dirt and debris and to be left as existing for use as coffee shop storage.

Victorian wall lights to be installed to coffee shop. Electrical cabling to be chased into wall vertically up from below.

Architectural Information - The level of detail shown on the drawings is relative to the description of the ANNEXED/UNFINISHED DEVELOPMENT APPLICATION.
The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking/development by others.
Dimensions and Setting Out - Dimensions should be checked on site, use above ground levels unless otherwise noted.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction details only.
Building Control - Where there is an on-going Architect's appointment the client or contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control on Approved Drawings (All Construction of Full and Power).
Planning/Permitted Development - Where there is an on-going Architect's appointment: The client or contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control control air ducts, radiators, entry phone systems, intruder alarm systems, telecommunications audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling (copper), wiring conduit positions, service ducts/ducts or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and agreements are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and agreements are obtained before work commences.
Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor. The client is responsible for identifying and addressing matters that may affect the (Structural/Off/Off) (light) to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

Level Matters - The client is responsible for identifying and addressing matters that may affect the (Structural/Off/Off) (light) to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
Do not scale from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
ARCHITECT
Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
Job No: 131
Level: n/a
Drawing: Section
Scale: 1:25 @ A1, 1:50 @ A3
Drawing No: 041
Revision:



055 Proposed Facade External View

NTS

Architectural Information - The level of detail shown on the drawings is relative to the description of THE ANNOUNCED DEVELOPMENT.
APPLICATION - The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking / development by others.
Dimensions and Setting Out - Should be checked on site, see above.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction details only.
Building Control - Where there is an on-going Architect's appointment the client / contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control as per Approved Document L1B Completion of Full and Power.
Planning/Permitted Development - Where there is an on-going Architect's appointment: The client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications ducts or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling placement, wiring conduit positions, service ducts/membranes or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents required are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents required are obtained before work commences.
Existing Information - A specialist measured topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in order where information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. To be made from the drawing, all dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 055
 Revision:



Architectural Information - The level of detail shown on the drawings is relative to the completion of a PLANNING/PERMITTED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking/development by others.
Dimensions and Setting Out - Should be checked on site, see above.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is an on-going Architect's appointment the client/the contractor will liaise directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing Applications will need to be negotiated with Building Control on an Approved Drawing List/Completion of Full and Power.
Planning/Permitted Development - Where there is an on-going Architect's appointment: The client/the contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, comfort cooling, air extract installations, entry phone systems, intruder alarm systems, telecommunications, audio or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, cabling placement, wiring conduit positions, service ducts/membranes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and easements are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and easements are obtained before work commences.
Existing Information - A specialist measured/topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters of priority that may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. Do not scale from the drawing. All dimensions to be checked on site by the contractor and to be the responsibility of the contractor.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 056
 Revision:



057 Proposed Victorian Greenhouse View

NTS

Architectural Information - The level of detail shown on the drawings is relative to the completion of a PLANNING PERMITTED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Contractors) without subsequent checking / development by others.
Dimensions and Setting Out - All dimensions should be checked on site, use above ground levels unless otherwise stated.
Structure & Construction - These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction methods only.
Building Control - Where there is a requirement for Building Control approval, the client / contractor will have to apply to the Local Authority to ensure the project is completed in accordance with the Building Regulations. Closing down of the site will need to be negotiated with Building Control as per Approved Document L1B Construction of Walls and Floors.
Planning Permitted Development - Where there is a requirement for Building Control approval, the client / contractor will ensure that the project is completed in accordance with the approved Planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical, heating, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning, control cooling air intake, radiators, entry phone systems, intruder alarm systems, telecommunications, audio or TV systems including satellite or cable, boiler/water cylinder or magis flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, ceiling elements, wiring conduit positions, service ducts/terminals or access traps is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and requirements are observed before work commences.
Archaeological & Ecological - The client will ensure that any notices and requirements are observed before work commences.
Existing Information - A specialist measured / topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. The drawings are the property of the architect and shall not be used for any other purpose without the written consent of the architect.

TIM GREATREX
 ARCHITECT

Third Floor, 22-27 The Oval, E2 9DT

Job: 38 Museum Street
 Job No: 131
 Level: n/a
 Drawing: Perspective
 Scale: NTS
 Drawing No: 057
 Revision:



058 Proposed Lounge Internal View

NTS

Architectural Information - The level of detail shown on the drawings is relative to the description of a PLANNING/PROPOSED DEVELOPMENT APPLICATION.
 The drawings should therefore not be used for any other purpose (such as Building Regulations, Party Walls, Contract or Construction) without subsequent checking/development by others.
Dimensions and Building Foot - Dimensions should be checked on site, use above drawings & construction. These drawings, unless expressly noted otherwise, have not been fully coordinated with a Structural Engineer's input and show indicative construction build-ups only.
Building Control - Where there is a planning application, the client/contractor will have directly with Local Authority to ensure the project is completed in accordance with the Building Regulations. Client/contractor will need to be negotiated with Building Control on any Approved Document (Full Completion of Full and Power).
Planning/Proposed Development - Where there is a planning application, the client/contractor will ensure that the project is completed in accordance with the approved planning drawings and take responsibility for the discharge of any planning conditions.
Services Information - Any services information shown (electrical layouts, sanitary ware positions, hot and cold water supply, below or above ground drainage, gas or electrical installations, air conditioning/comfort cooling air extract installations, entry phone systems, intruder alarm systems, telecommunications outlets or TV systems including satellite or cable, boiler/water cylinder or mega flow positions, rain water and waste disposal, mains water gas or electric meter and meter positions, ceiling pipework, wiring conduit positions, service ducts/membranes or access traps) is for layout purposes only and does not constitute a full or detailed design of these systems or items. All positions are to be confirmed on site by the contractor and implemented as part of the contractor's design for services.
Party Walls & Rights to Light - The client will ensure that any notices and consents are obtained before work commences.
Archaeological & Ecological - The client will ensure that any notices and consents are obtained before work commences.
Existing Information - A specialist measured/topographical survey has not been carried out unless commissioned separately by the client from a surveying company. Existing information within architect's drawings is based upon an architect's survey of the interior of the subject house/building. Existing information and neighbouring buildings and their associated levels have been estimated and in certain cases information is assumed where access or a visual check has not been possible. Any critical dimensions and levels shown are to be checked on site by the contractor and to be the responsibility of the contractor.
Legal Matters - The client is responsible for identifying and addressing matters which may affect the development with regard to underground services, rights of way, rights of light or support, easements, agreements with adjoining owners, agreements and permissions from freeholders or restrictive conditions or covenants.

No.	Description	Date

PLANNING

Notes:
 1. All dimensions are to be checked on site by the contractor unless otherwise stated.

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