



- General Notes
- Dimensions are in millimetres unless stated otherwise.
 - Levels are in metres AOD unless stated otherwise.
 - Dimensions govern. Do not scale off drawing.
 - All dimensions to be verified on site before proceeding.
 - All discrepancies to be notified in writing to Make Limited.
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- NOTES:
- All new and retained existing structure (walls, columns and downstands beams) to be confirmed by Structural Engineer.
 - All plant areas and services risers (sites locations, and routes) to be confirmed by Mechanical Engineer.
 - Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
 - Client to confirm Ground and Lower Ground retail strategy. Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq.m. with A3 Use on Howland/Whitfield St corner. Refer to M&E consultant report for current M&E retail allowance.
 - VRP's to perimeter of LG/GF are required if used as office.
 - Access strategy to Ground and Lower Ground floors from street level is to be developed based on Use type and space planning.
 - Part-M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
 - Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
 - Existing structure based on Arup original design drawings & PCA Survey (2010).
 - New Structure based on engineers information.
 - Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
 - Additional terraces and changes to atrium to be confirmed by planning authority.
 - Acoustic performance to be confirmed by acoustic consultant.
- NOTE: Any areas measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current stage of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building process.

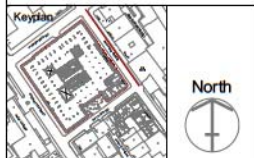
Rev	Date	Reason For Issue	Chk
05	11/12/15	Section 73 Demolition	LT
04	13/03/15	Discharge of Conditions	MT
03	09/09/14	Section 73 Roof Terrace	MT
02	07/04/14	Section 73	MT
01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT

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00	12/12/12	Discharge of Conditions	MT

FOR PLANNING
DRAWING STATUS

make
32 Cleveland Street,
London, W1T 4JY
tel +44 (0) 20 7636 5151
info@makearchitects.com
www.makearchitects.com

Client
Derwent London
West London and Suburban
Property Investments Ltd.
W1S 2ER



Project
80 Charlotte Street

Drawing Title
Proposed Elevation
Whitfield Street

Scale 1:100 Paper Size @A0 Date 12.12.12

Project No.	Draw No.	Rev No.
0825	P2303	05

Elevation - Whitfield Street

1:100



Level RF
FFL + 57.850m

Level 08
FFL + 53.530m

Level 07
FFL + 50.255m

Level 06
FFL + 46.980m

Level 05
FFL + 43.645m

Level 04
FFL + 40.310m

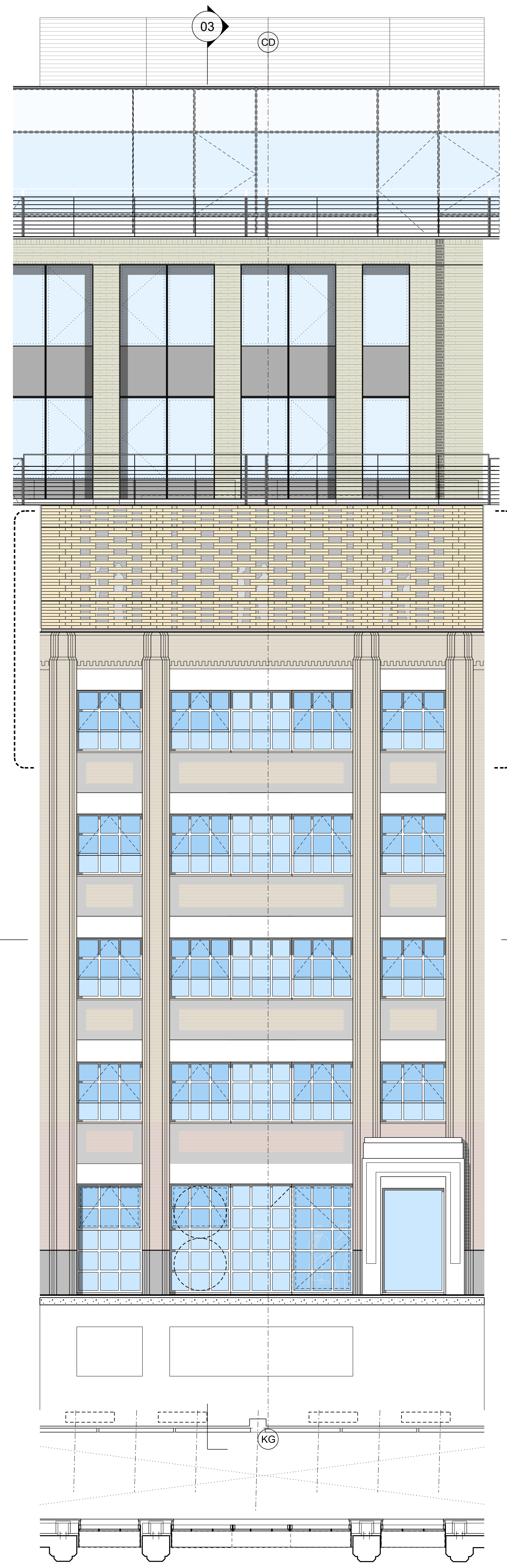
Level 03
FFL + 36.975m

Level 02
FFL + 33.640m

Level 01
FFL + 30.305m

Level GF
FFL + 26.970m

Level LG
FFL + 23.635m



01 Plan

Level RF
FFL + 57.850m

Level 08
FFL + 53.530m

Level 07
FFL + 50.255m

Level 06
FFL + 46.980m

Level 05
FFL + 43.645m

Level 04
FFL + 40.310m

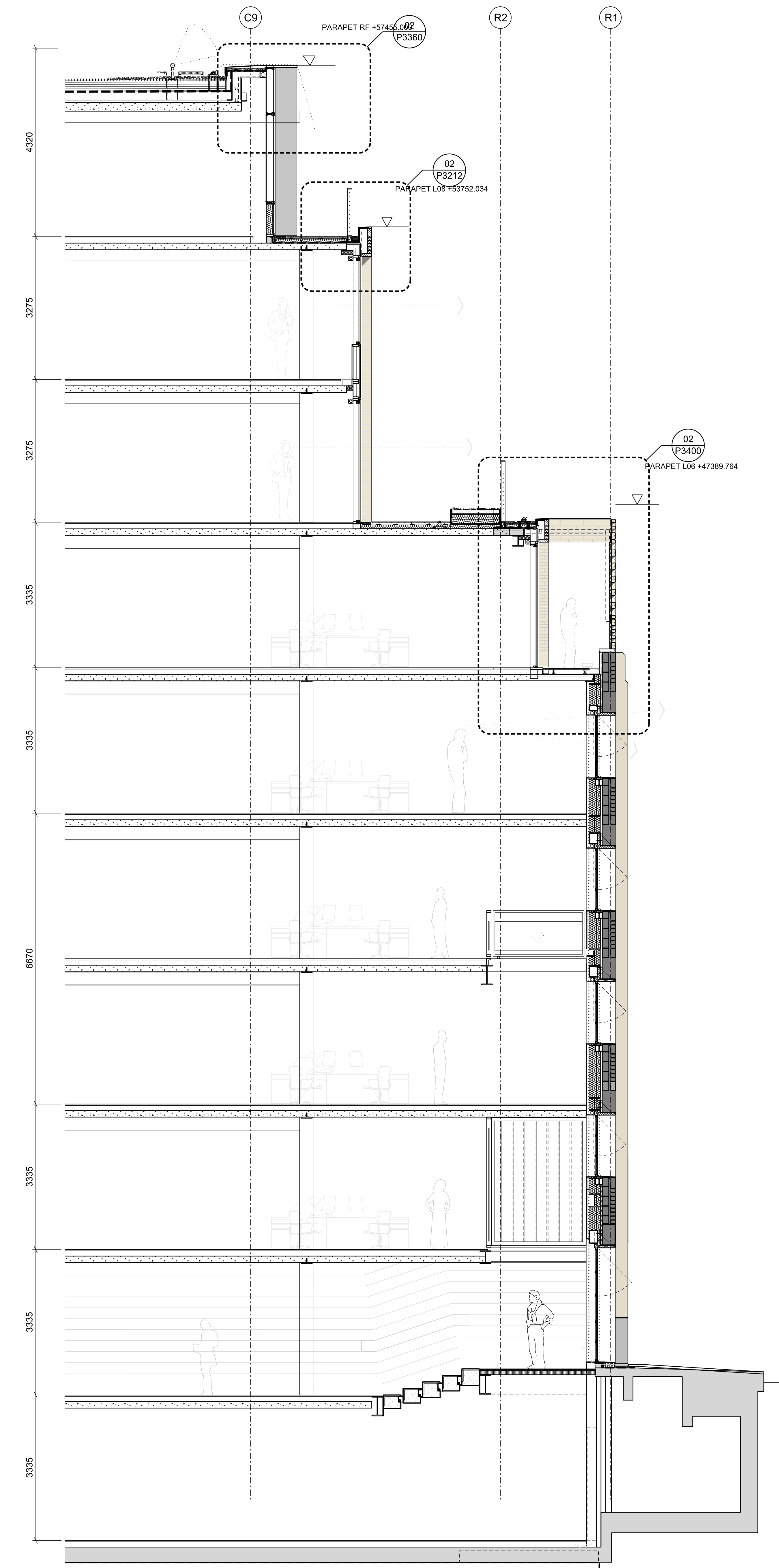
Level 03
FFL + 36.975m

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Level 01
FFL + 30.305m

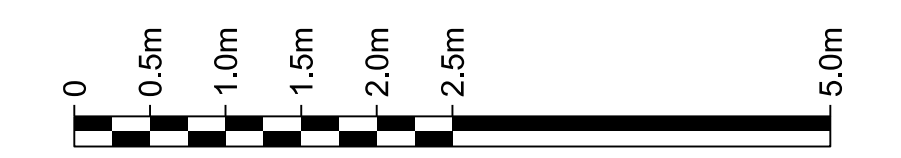
Level GF
FFL + 26.970m

Level LG
FFL + 23.635m



03 Section

1:50



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 - Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
 - Client to confirm Ground and Lower Ground retail strategy.
 - Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq.m. with A3 Use on Howard/Whitfield St corner.
 - Refer to M&E consultant report for current M&E retail allowance.
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FOR PLANNING

DRAWING STATUS

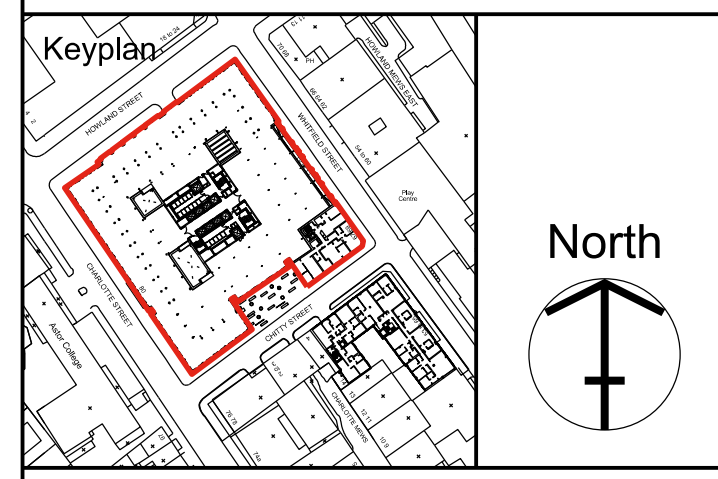
make

32 Cleveland Street,
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Client
Derwent London
West London and Suburban
Property Investments Ltd.
W1S 2ER



Project
80 Charlotte Street

Drawing Title
Detail 04
EWS-140/ 141 /131/ 130
Whitfield Street retained facade
(71-81 Whitfield Street)

Scale	Paper Size	Date
1: 50	@A0	12.12.12
Project No.	Draw No.	Rev No.
0825	P3150	04