



- General Notes
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 3. Dimensions govern. Do not scale off drawing.
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 5. All discrepancies to be notified in writing to Make Limited.

- © Make Limited 2014
- NOTES:
1. All new and retained existing structure (walls, columns and downstands beams) to be confirmed by Structural Engineer.
 2. All plant areas and services risers (sizes locations, and routes) to be confirmed by Mechanical Engineer.
 3. Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
 4. Client to confirm Ground and Lower Ground retail strategy. Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq. m. with A3 Use on Howard-Whitfield St corner.
 5. Refer to M&E consultant report for current M&E retail allowances.
 6. VRF's to perimeter of LG/GF are required if used as office.
 7. Access strategy to Ground and Lower Ground floors from street level is to be developed based on Use type and space planning.
 8. Part-M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
 9. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
 10. Existing structure based on Arup original design drawings & PCA Survey (2010).
 11. New Structure based on engineers information.
 12. Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
 13. Additional terraces and changes to atrium to be confirmed by planning authority.
 14. Acoustic performance to be confirmed by acoustic consultant.
- NOTE: Any areas measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current stage of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

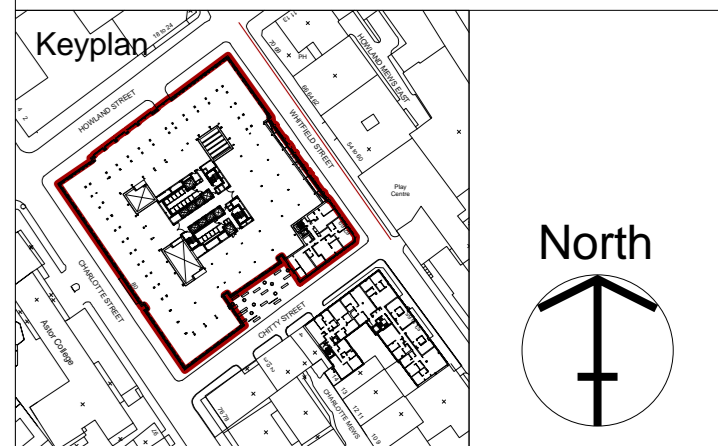
Rev	Date	Reason For Issue	Chk
04	13/03/15	Discharge of Conditions	MT
03	09/09/14	Section 73 Roof Terrace	MT
02	07/04/14	Section 73	MT
01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT

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FOR PLANNING
DRAWING STATUS

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W1S 2ER



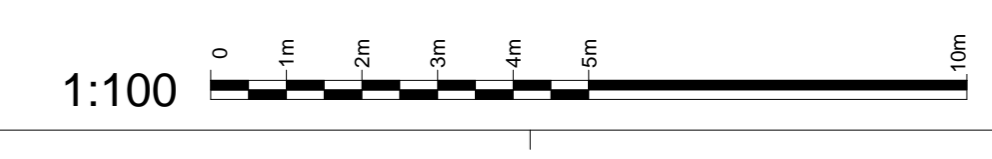
Project
80 Charlotte Street

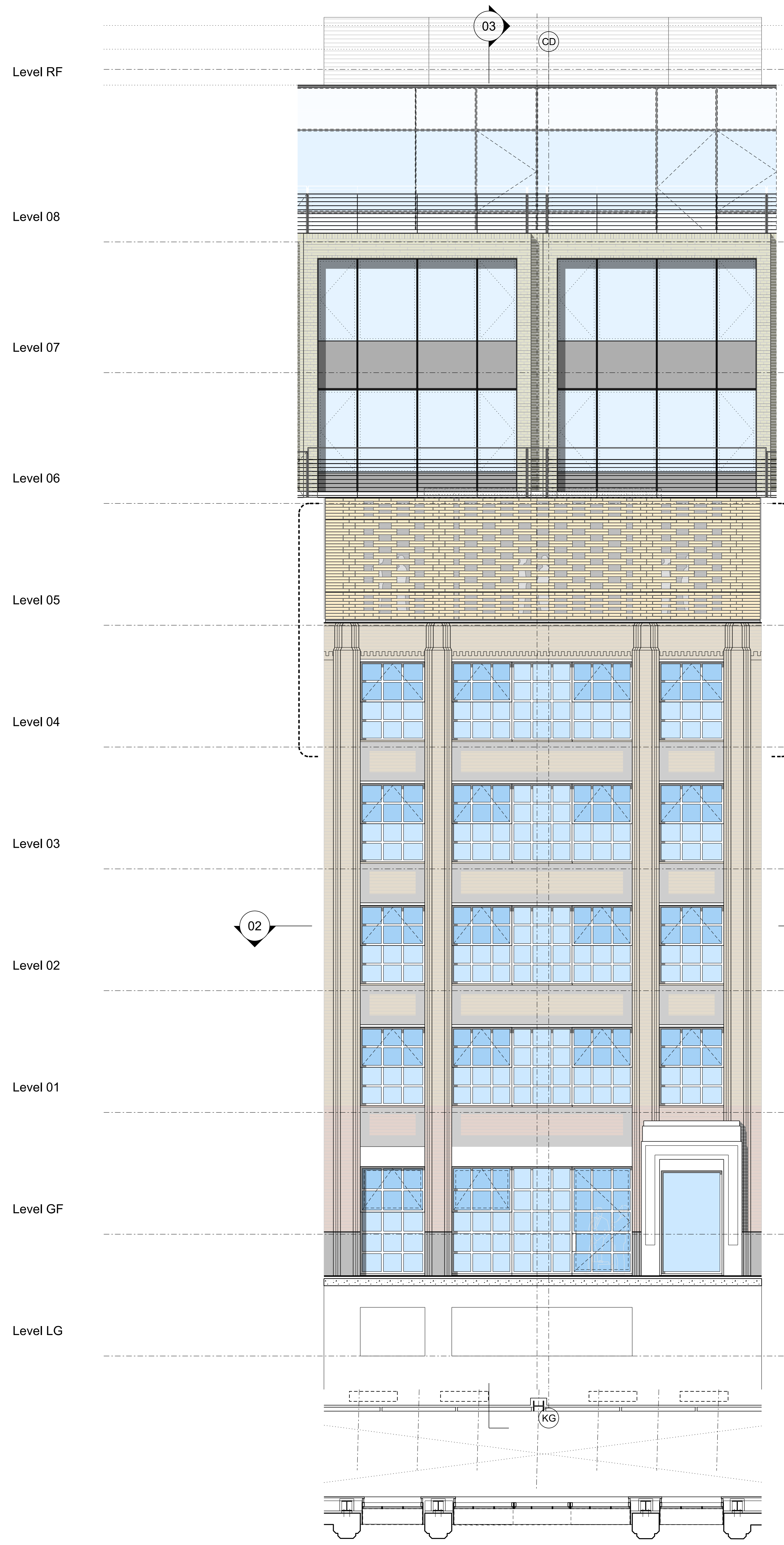
Drawing Title
Proposed Elevation
Whitfield Street

Scale 1 : 100
Paper Size @A0
Date 12.12.12

Project No.	Draw No.	Rev No.
0825	P2303	04

Elevation - Whitfield Street
1:100



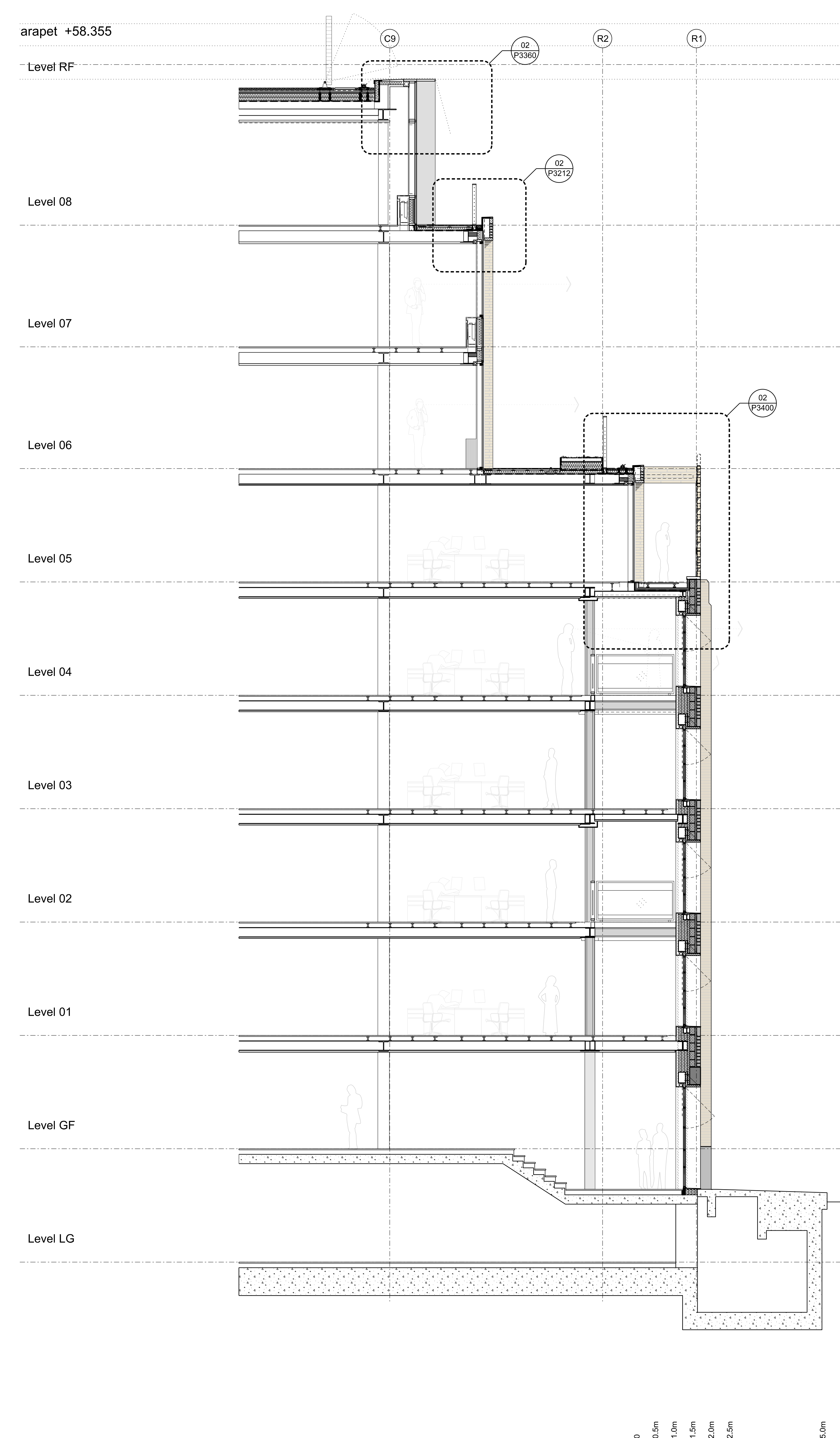


Level RF
Level 08
Level 07
Level 06
Level 05
Level 04
Level 03
Level 02
Level 01
Level GF
Level LG

02 Elevation

01 Plan

arapet +58.355



Level RF
Level 08
Level 07
Level 06
Level 05
Level 04
Level 03
Level 02
Level 01
Level GF
Level LG

03 Section

1:50
0 0.5m 1.0m 1.5m 2.0m 2.5m 3.0m

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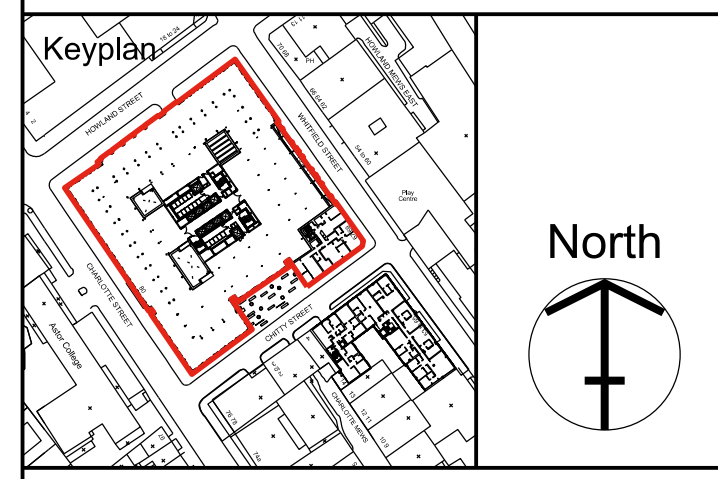
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00	12/12/12	Discharge of Conditions	MT
Rev	Date	Reason For Issue	Chk

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Client
Derwent London
West London and Suburban
Property Investments Ltd.
W1S 2ER



Project
80 Charlotte Street

Drawing Title
Detail 04
EWS-140/ 141 /131/ 130
Whitfield Street retained facade
(71-81 Whitfield Street)

Scale 1: 50
Paper Size @A0
Date 12.12.12

Project No.	Draw No.	Rev No.
0825	P3150	03