

General Notes

1. Dimensions are in millimetres unless stated otherwise.
2. Levels are in metres AOD unless stated otherwise.
3. Dimensions govern. Do not scale off drawing.
4. All dimensions to be verified on site before proceeding.
5. All discrepancies to be notified in writing to Make Limited.

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NOTES:

1. All new and retained existing structure (walls, columns and downstands beams) to be confirmed by Structural Engineer.
2. All plant areas and services risers (sizes, locations, and routes) to be confirmed by Mechanical Engineer.
3. Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
4. Client to confirm Ground and Lower Ground retail strategy.
5. Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq m, with A3 Use on Howland-Whitfield St corner.
6. Refer to M&E consultant report for current M&E retail allowance.
7. VRF's to perimeter of LG/GF are required if used as office.
8. Access strategy to Ground and Lower Ground floors from street level is to be developed based on Use type and space planning.
9. Part-M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
10. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
11. Existing structure based on Arup original design drawings & PCA Survey (2010).
12. New Structure based on engineers information
13. Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
14. Additional terraces and changes to atrium to be confirmed by planning authority
15. Acoustic performance to be confirmed by acoustic consultant

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03	13/03/15	Discharge of Conditions	MT
02	09/09/14	Section 73 Roof Terrace	MT
01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT
Rev	Date	Reason For Issue	Chk

**FOR PLANNING**

DRAWING STATUS

**make**

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Client

Derwent London  
West London and Suburban  
Property Investments Ltd.  
W1S 2ER

Keyplan

North

Project

80 Charlotte Street

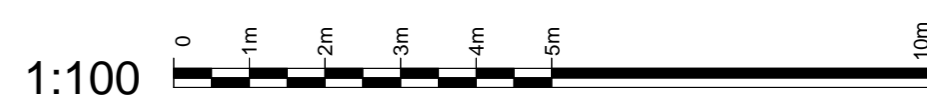
Drawing Title

Proposed Elevation  
Howland Street

Scale	Paper Size	Date
1 : 100	@A0	12.12.12
Project No.	Draw No.	Rev No.
0825	P2304	03

Elevation - Howland Street

1 : 100



Level RF

Level 08

Level 07

Level 06

Level 05

Level 04

Level 03

Level 02

Level 01

Level GF

Level LG

HW

03

HT

01  
P3360

02  
P3281

01  
P3300

01  
P3234

HW

HT

01  
P3214

02 Elevation

01 Plan

Level RF

Level 08

Level 07

Level 06

Level 05

Level 04

Level 03

Level 02

Level 01

Level GF

Level LG

GA

02  
P3212

06  
P3212

03/04  
P3214

03 Section

1:50



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01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT
Rev	Date	Reason For Issue	Chk

FOR PLANNING

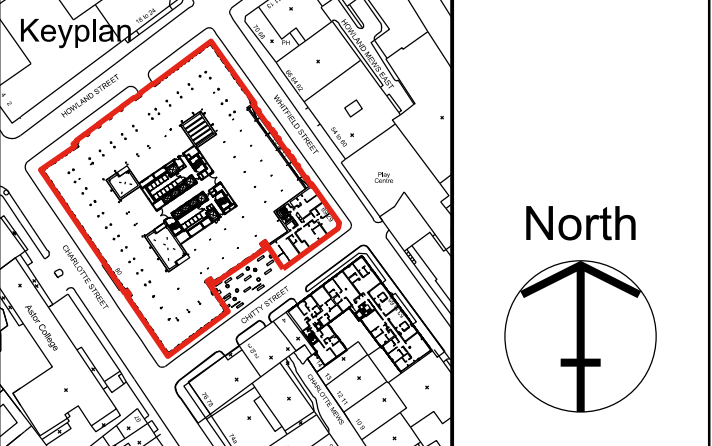
DRAWING STATUS

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Client  
**Derwent London**  
West London and Suburban  
Property Investments Ltd.  
W1S 2ER



Project  
**80 Charlotte Street**

Drawing Title  
**Detail 03**  
EWS-121 / 122 / 123 / 130  
Projecting bay facade  
(23 Howland Street, Block H)

Scale  
1: 50

Paper Size  
@A0

Date  
12.12.12

Project No.	Draw No.	Rev No.
0825	P3121	02

Level RF

Level 08

Level 07

Level 06

Level 05

Level 04

Level 03

Level 02

Level 01

Level GF

Level LG

02 Elevation

01 Plan

Level RF

Level 08

Level 07

Level 06

Level 05

Level 04

Level 03

Level 02

Level 01

Level GF

Level LG

03 Section

1:50

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01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT
Rev	Date	Reason For Issue	Chk

FOR PLANNING

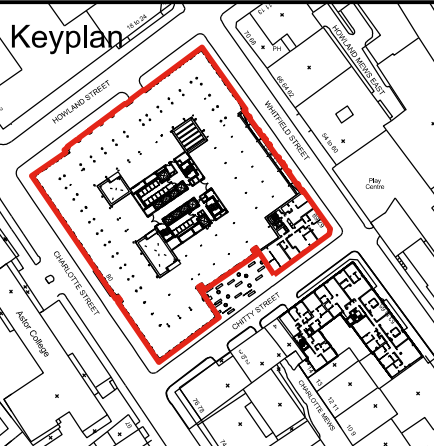
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Client  
**Derwent London**  
West London and Suburban  
Property Investments Ltd.  
W1S 2ER



Project  
**80 Charlotte Street**

Drawing Title  
**Detail 05**  
EWS-120 / 122 / 123  
Howland-Whitfield Street facade  
(89 Whitfield Street, Block-G)

Scale	Paper Size	Date
1: 50	@A0	12.12.12

Project No.	Draw No.	Rev No.
0825	P3125	02