



- General Notes
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 2. Levels are in metres AOD unless stated otherwise.
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 4. All dimensions to be verified on site before proceeding.
 5. All discrepancies to be notified in writing to Make Limited.
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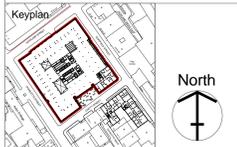
- NOTES:
1. All new and retained existing structure (walls, columns and downstands beams) to be confirmed by Structural Engineer.
 2. All plant areas and services risers (sizes, locations, and routes) to be confirmed by Mechanical Engineer.
 3. Changes to the envelope from the consented planning scheme are to be reviewed and confirmed by Planning Consultant.
 4. Client to confirm Ground and Lower Ground retail strategy. Planning consent for LG/GF A1 retail limited to a maximum of 2,499sq. m. with A3 Use on Howland-Whitfield St corner.
 5. Refer to M&E consultant report for current M&E retail allowances.
 6. VRF's to perimeter of LG/GF are required if used as office.
 7. Access strategy to Ground and Lower Ground floors from street level is to be developed based on Use type and space planning.
 8. Part-M & DDA compliance (disabled toilets, ramps) to be reviewed by access consultant.
 9. Cleaning & maintenance to be reviewed (atrium, facade) by building maintenance consultant.
 10. Existing structure based on Arup original design drawings & PCA Survey (2010).
 11. New Structure based on engineers information.
 12. Terraces, landscaping, park, roof plant, and residential layouts illustrative, refer to separate reports.
 13. Additional terraces and changes to atrium to be confirmed by planning authority.
 14. Acoustic performance to be confirmed by acoustic consultant.
- NOTE: Any areas measured from these plans by a quantity surveyor, relate to the likely areas of the building at the current stage of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreement or the like should include due allowance for the increases and decreases inherent in the design development and building processes.

03	13/03/15	Discharge of Conditions	MT
02	09/09/14	Section 73 Roof Terrace	MT
01	07/02/13	Discharge of Conditions	MT
00	12/12/12	Discharge of Conditions	MT
Rev	Date	Reason For Issue	Chk

FOR PLANNING
DRAWING STATUS

make
13 Fitzroy Street
London, W1T4BQ
tel +44 (0) 20 7636 5151
fax +44 (0) 20 7636 5252
info@makearchitects.com
www.makearchitects.com

Client
Derwent London
West London and Suburban
Property Investments Ltd.
W1S 2ER



Project
80 Charlotte Street

Drawing Title
Proposed Elevation
Howland Street

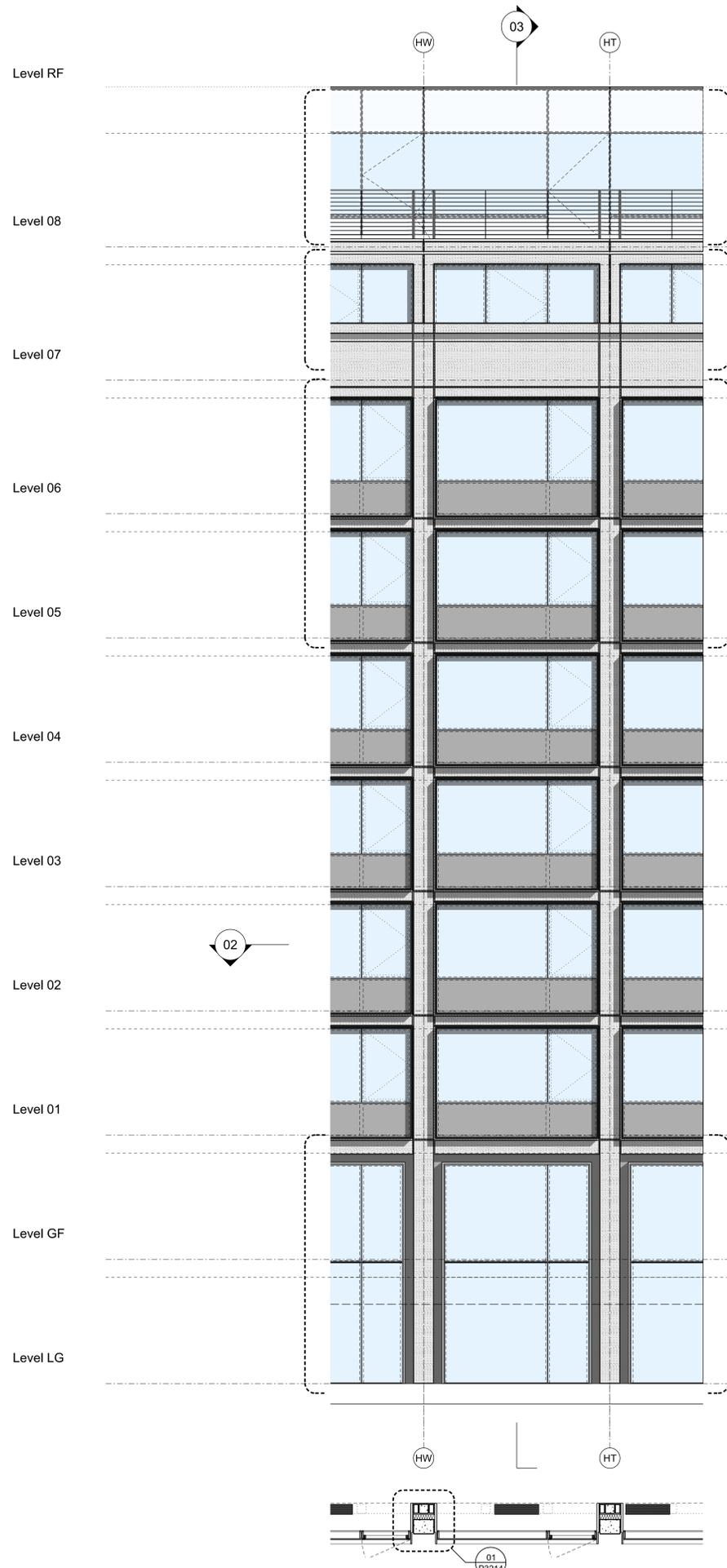
Scale 1 : 100
Paper Size @A0
Date 12.12.12

Project No. 0825
Draw No. P2304
Rev No. 03

Elevation - Howland Street

1:100

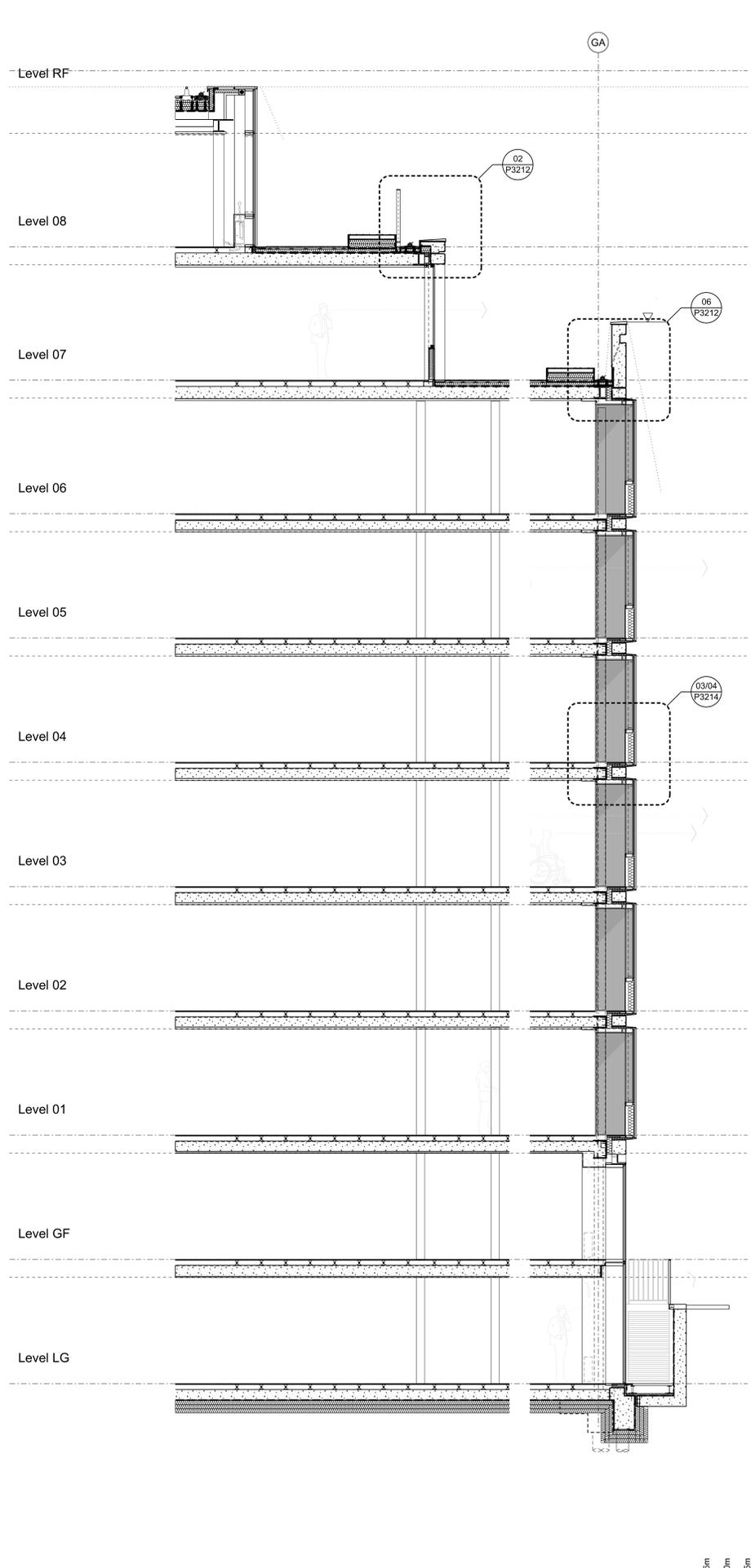




Level RF
Level 08
Level 07
Level 06
Level 05
Level 04
Level 03
Level 02
Level 01
Level GF
Level LG

02 Elevation

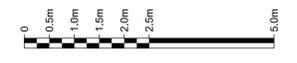
01 Plan



Level RF
Level 08
Level 07
Level 06
Level 05
Level 04
Level 03
Level 02
Level 01
Level GF
Level LG

03 Section

1:50



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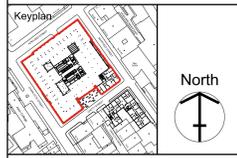
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DRAWING STATUS

make
13 Fitzroy Street,
London, W1T 4BQ
tel +44 (0) 20 7636 5151
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W1S 2ER

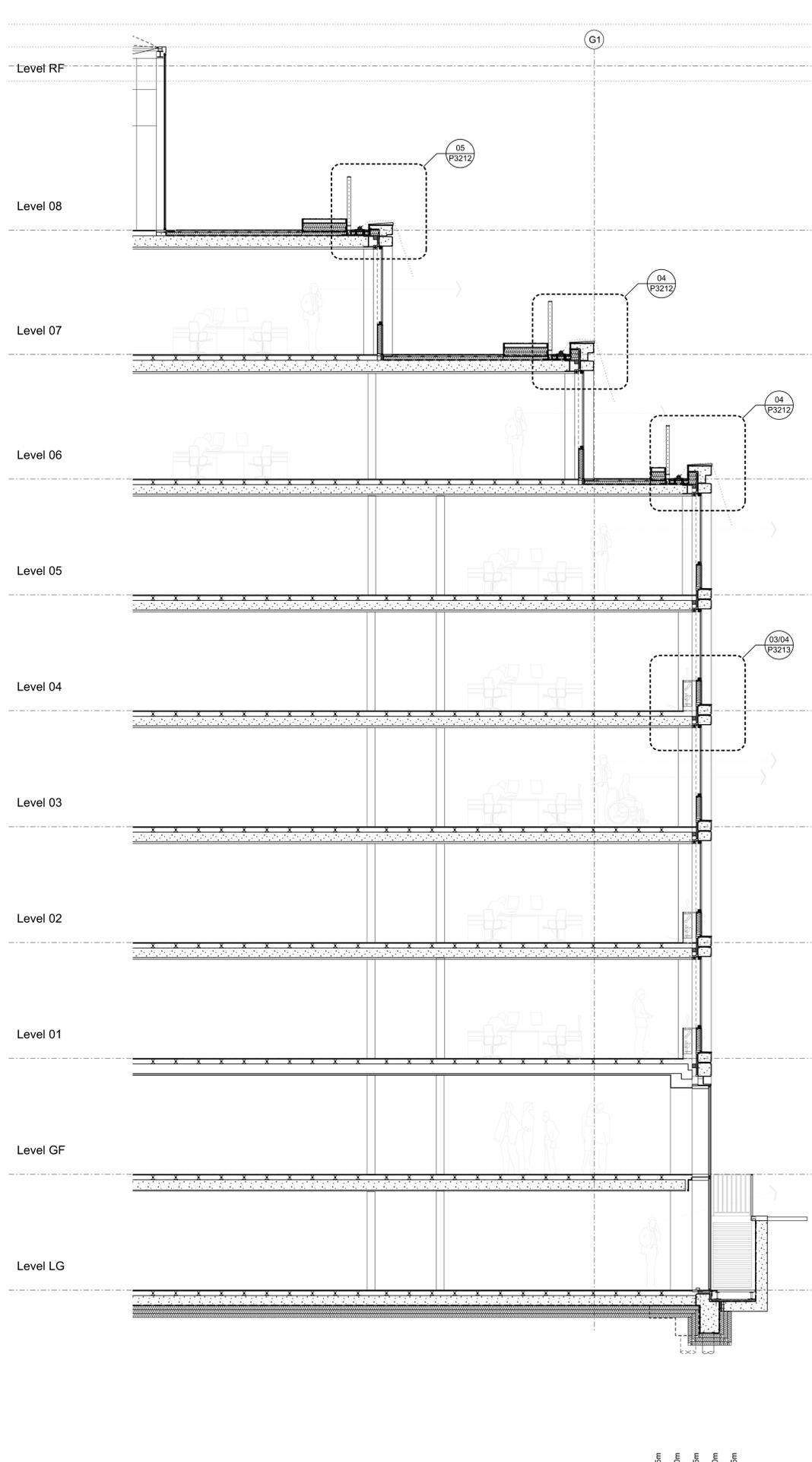


Project
80 Charlotte Street

Drawing Title
Detail 03
EWS-121 / 122 / 123 / 130
Projecting bay facade
(23 Howland Street, Block H)

Scale 1: 50 Paper Size @A0 Date 12.12.12

Project No.	Draw No.	Rev No.
0825	P3121	02



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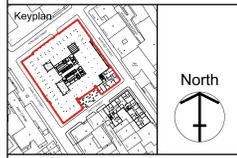
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Client
Derwent London
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Property Investments Ltd.
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Project
80 Charlotte Street

Drawing Title
Detail 05
EWS-120 / 122 / 123
Howland-Whitfield Street facade
(89 Whitfield Street, Block-G)

Scale	Paper Size	Date
1: 50	@A0	12.12.12
Project No.	Draw No.	Rev No.
0825	P3125	02

02 Elevation

01 Plan

03 Section

1:50