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 - New fair-faced brick screen wall with metallic channel
 - Perforated metal canopy (brise-soleil)
 - Glass balustrade with stainless steel channel
 - Existing facade retained with improved replacement windows.
 - New prefabricated concrete frame
 - Glass atrium with metal structure & ETFE roof
 - Metallic fascia
 - New fair-faced brickwork to match existing & new windows to match those below
 - Existing brickwork made good
 - Existing concrete sills cleaned and made good
 - Existing stone panelling cleaned and made good
 - Existing railings retained
 - New metal railings painted black to match existing
 - Green/brown roof
 - Terrace/balcony
 - Transparent glass panels

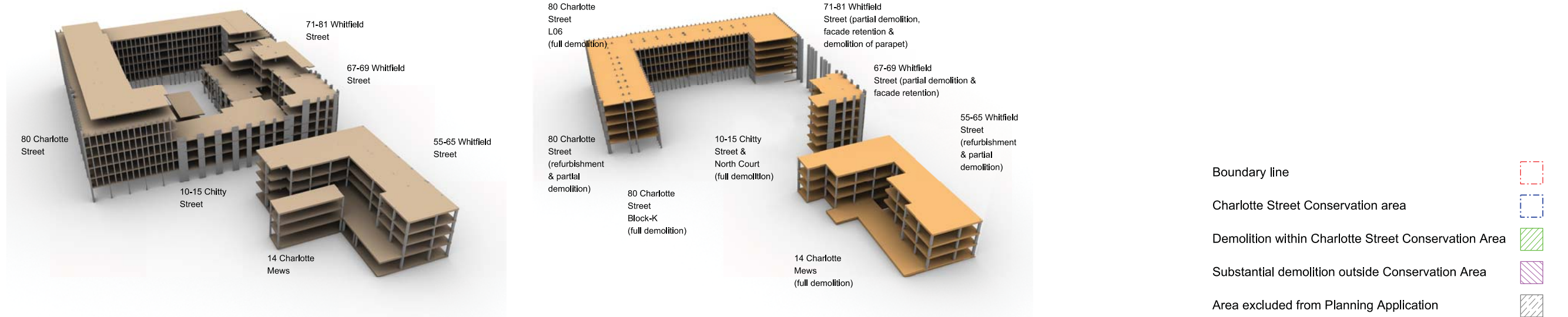
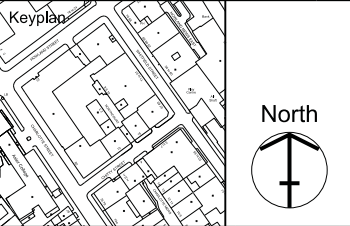
02	26.11.14	Section 73	MT
01	23.10.13	Section 73	MT
00	09.12.10	Planning Application	MT
Rev	Date	Reason For Issue	Chk

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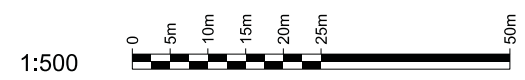
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**West London & Suburban
Property Investments Limited**



Existing structures (Illustrative)

Demolition (Illustrative)

- Boundary line
- Charlotte Street Conservation area
- Demolition within Charlotte Street Conservation Area
- Substantial demolition outside Conservation Area
- Area excluded from Planning Application

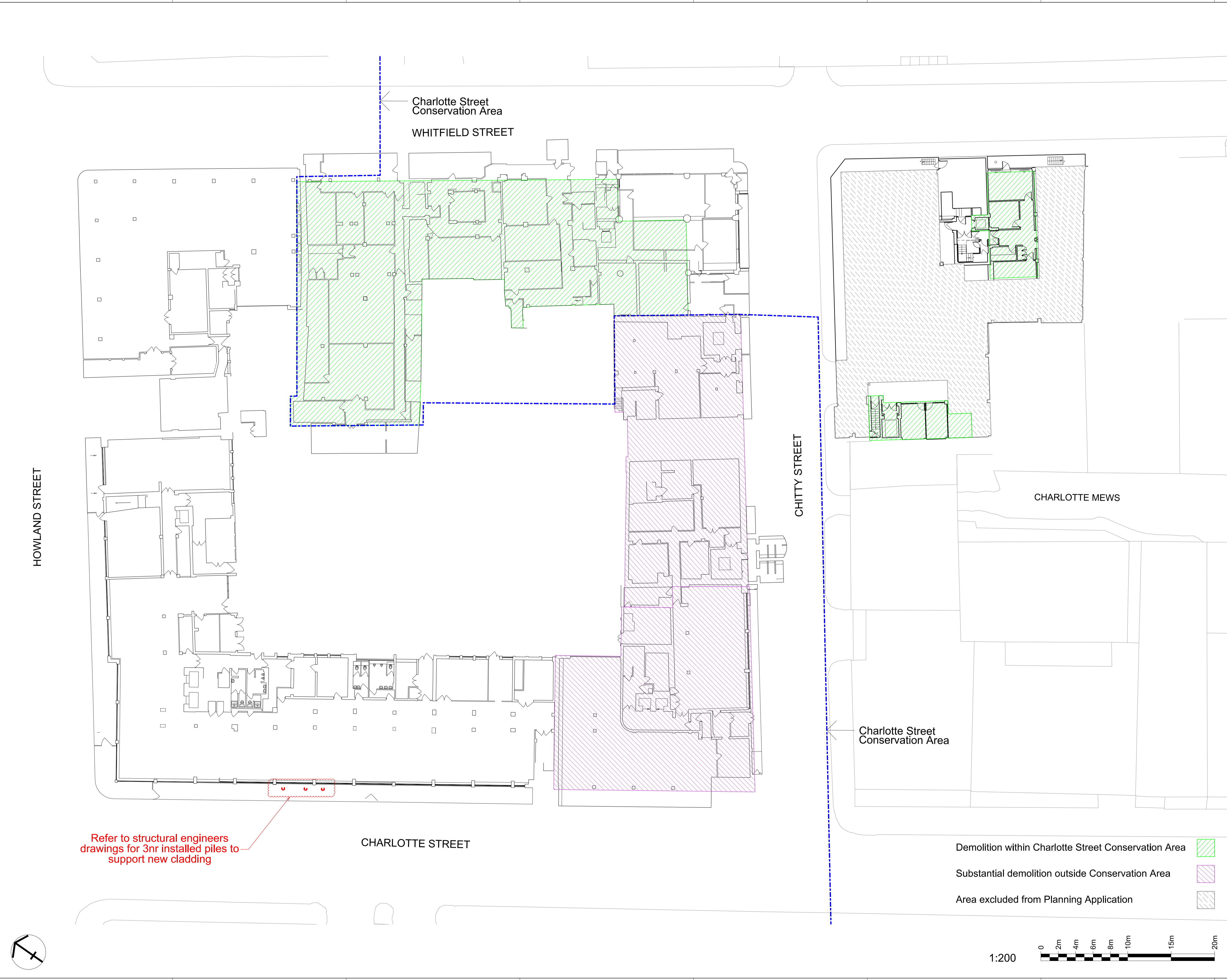


Project
**80 Charlotte Street &
65 Whitfield Street**

Drawing Title
Existing demolition overview

Scale 1: 500
Paper Size @A1
Date 09.12.10

Project No.	Draw No.	Rev No.
0355	P1000	02



Refer to structural engineers drawings for 3nr installed piles to support new cladding

- Demolition within Charlotte Street Conservation Area
- Substantial demolition outside Conservation Area
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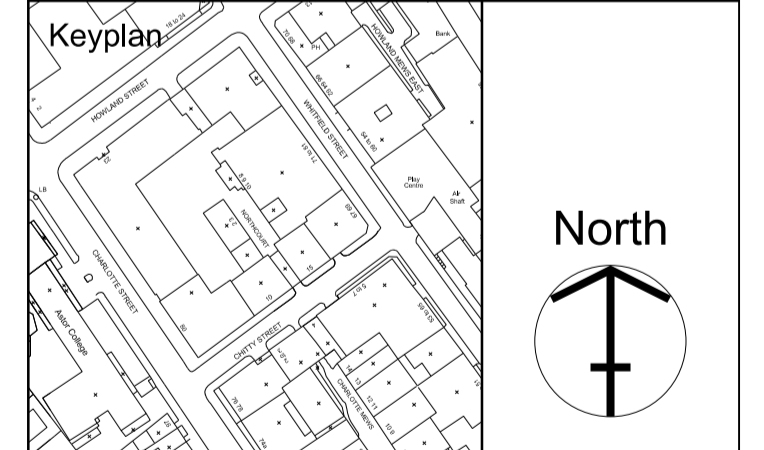
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02	29/07/13	Section 96A	MT
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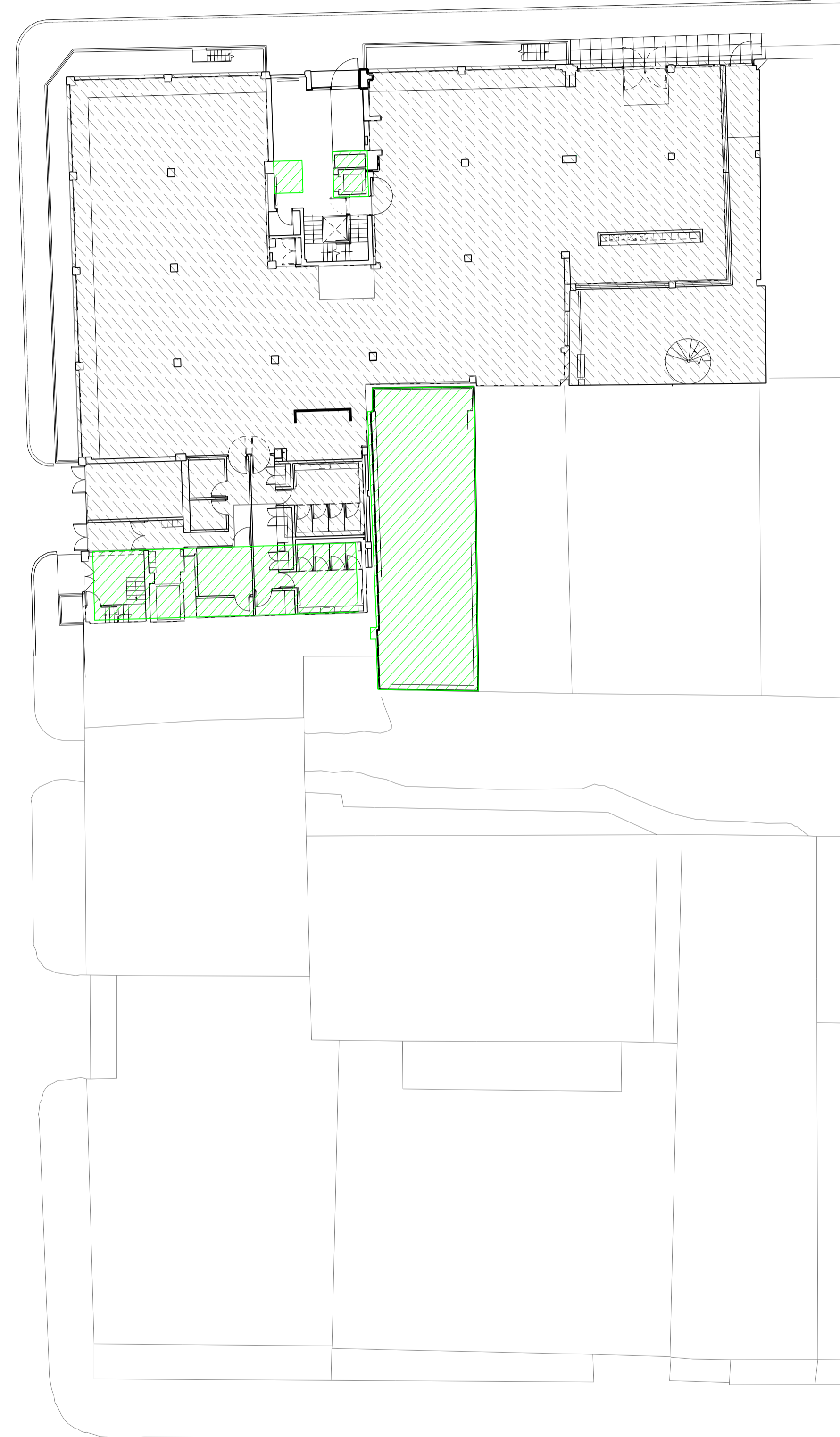
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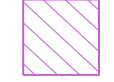
Project
**80 Charlotte Street &
65 Whitfield Street**


Drawing Title
**Existing / Demolition:
Lower ground floor plan**

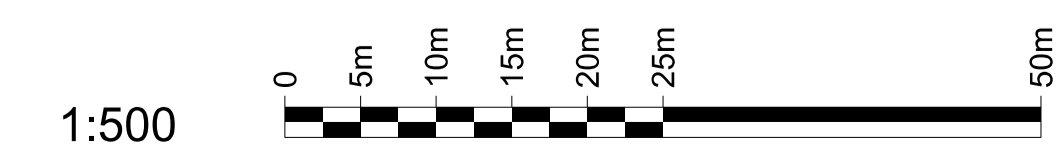
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1:200	@A1	09.12.10
Project No.	Draw No.	Rev No.
0355	P1099	05



Demolition within Charlotte Street Conservation Area 

Substantial demolition outside Conservation Area 

Area excluded from Planning Application 



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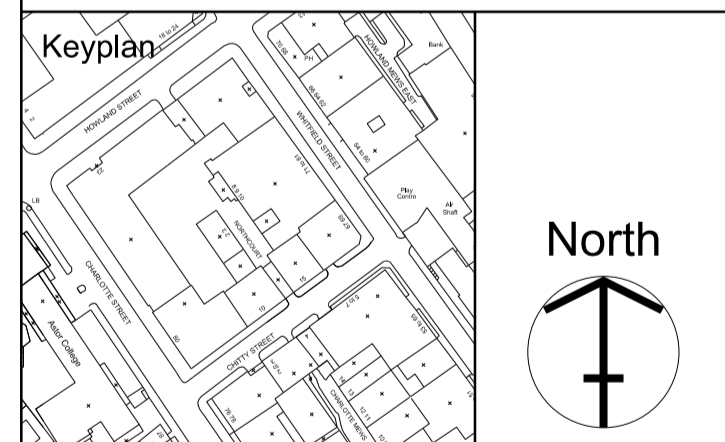
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Project
**80 Charlotte Street &
65 Whitfield Street**

Drawing Title
**Existing/ demolition:
Ground floor plan**

Scale 1:200 Paper Size @A1 Date 09.12.10

Project No. 0355 Draw No. P1100 Rev No. 04

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05	26/11/14	Section 73	MT
04	24/09/13	Section 73	MT
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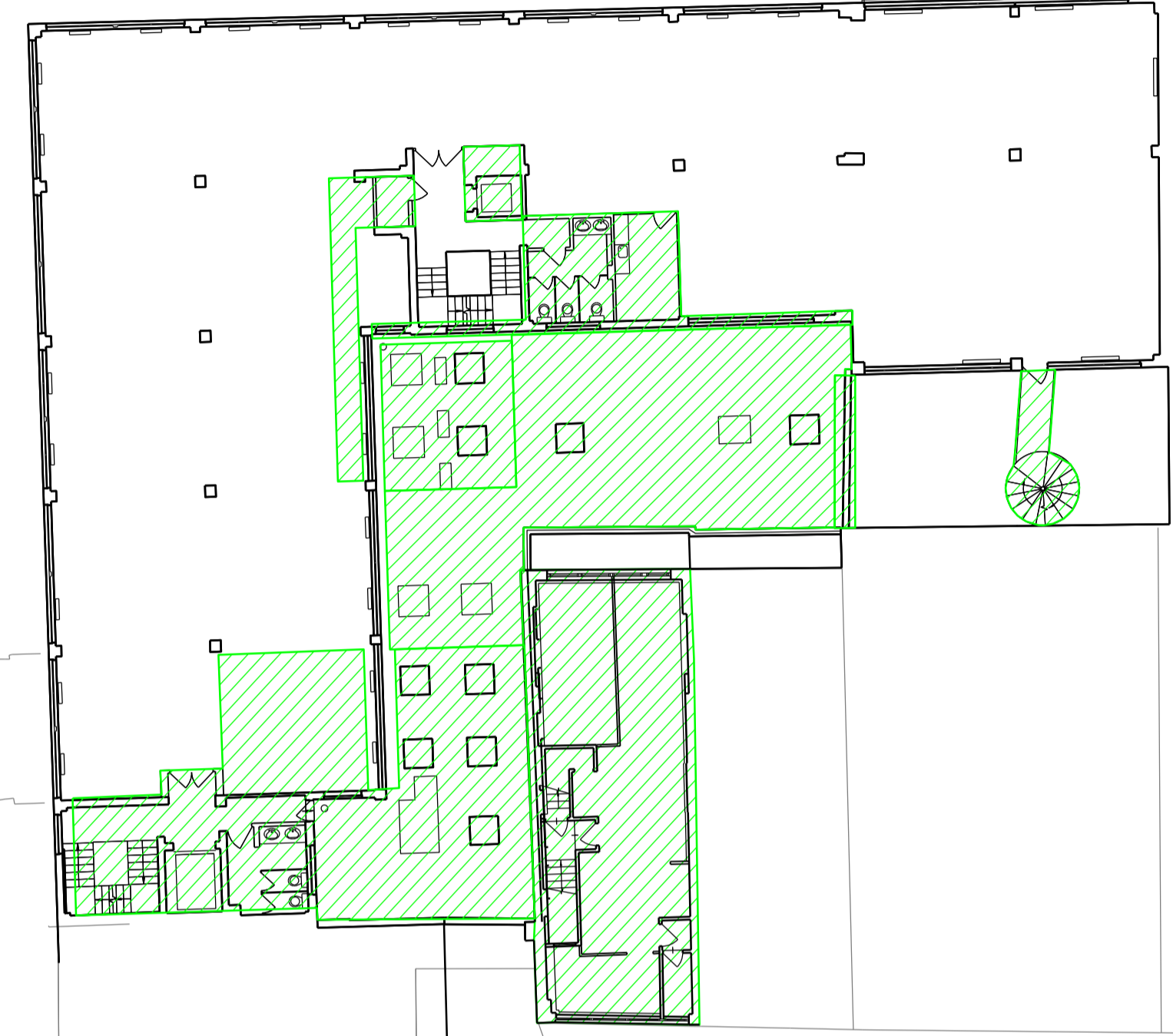
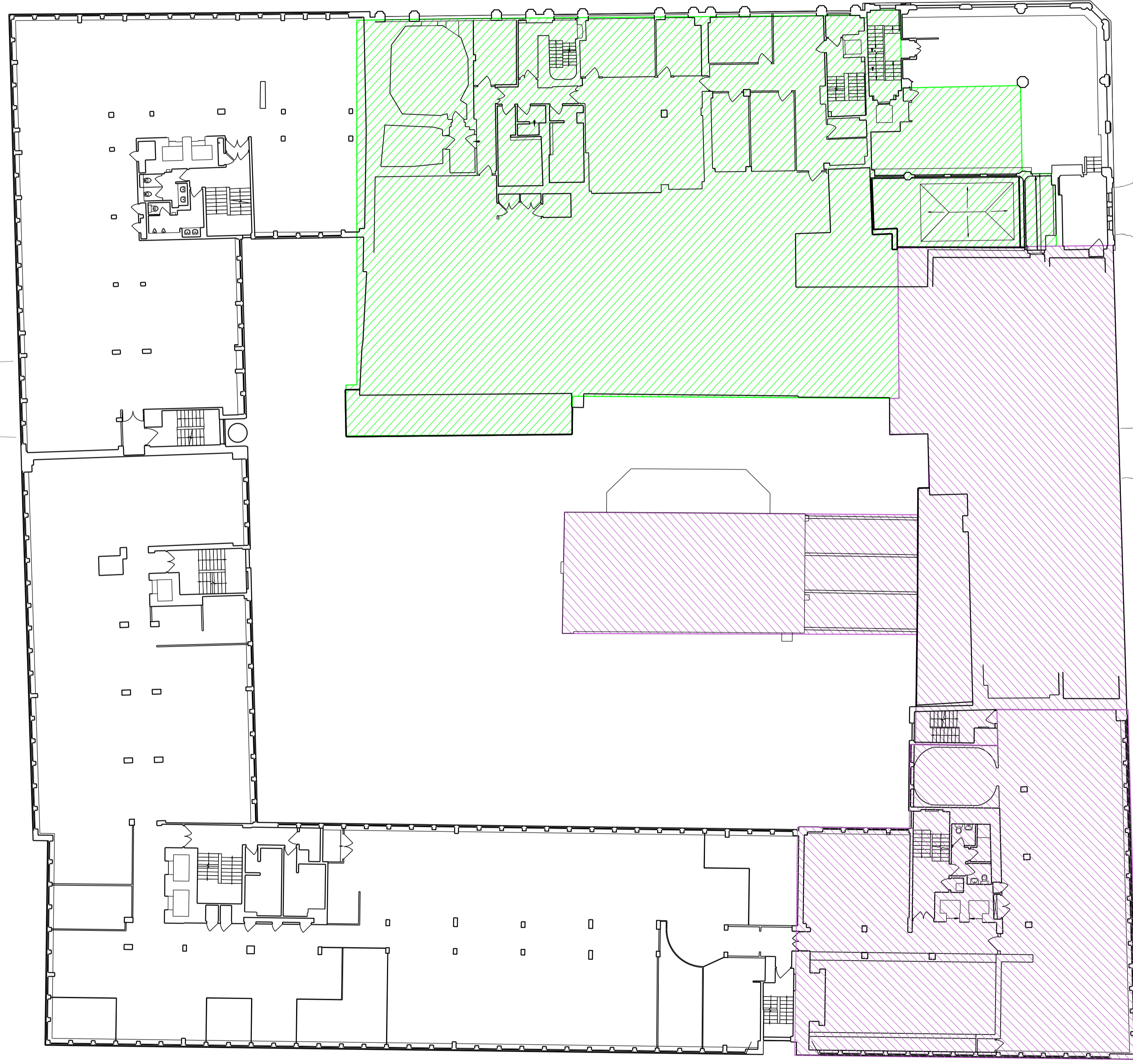


Project
**80 Charlotte Street &
 65 Whitfield Street**

Drawing Title
**Existing / Demolition:
 Level 01 floor plan**

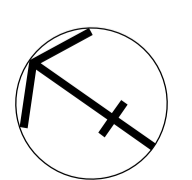
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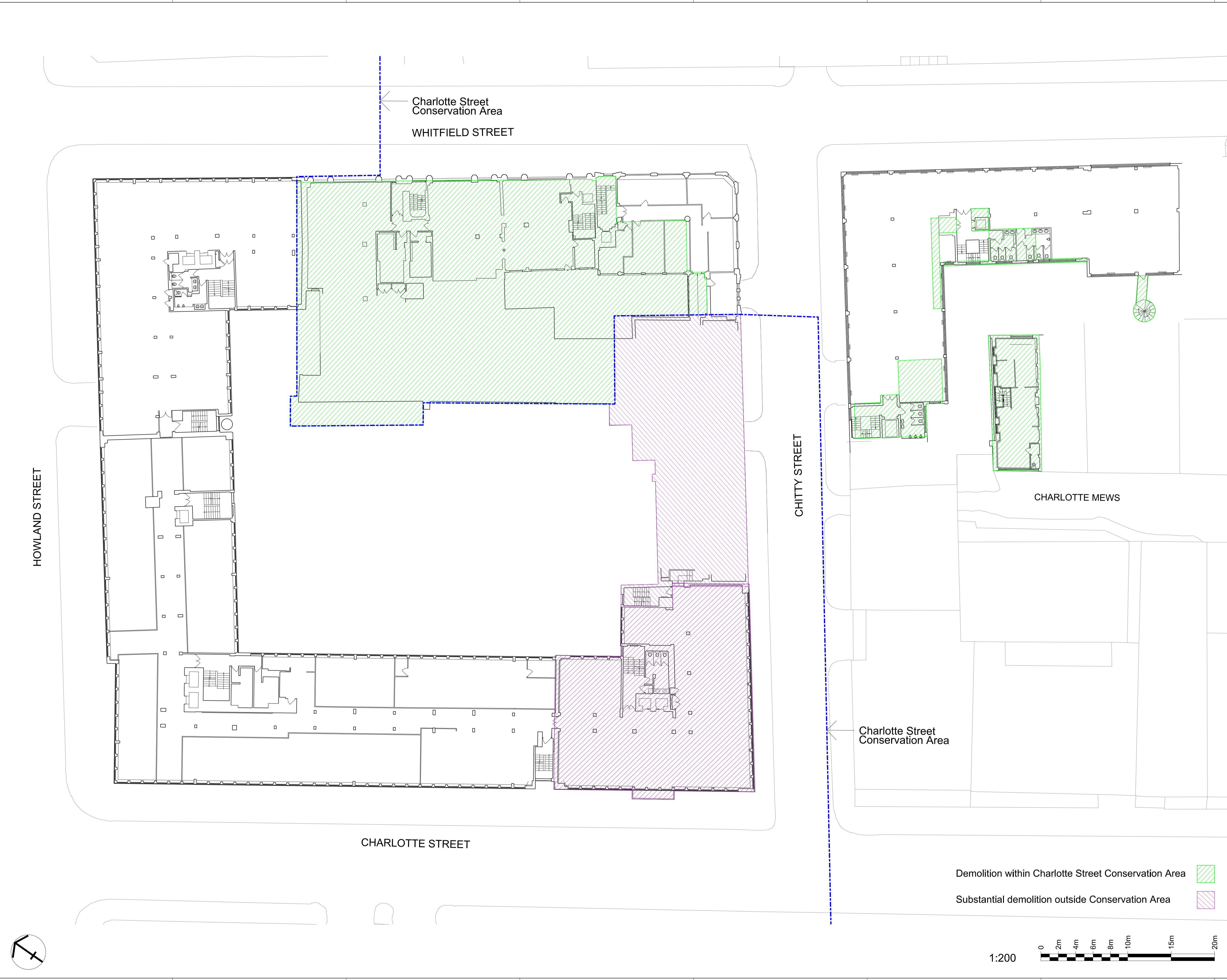
Project No. Draw No. Rev No.
0355 P1101 05



Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area





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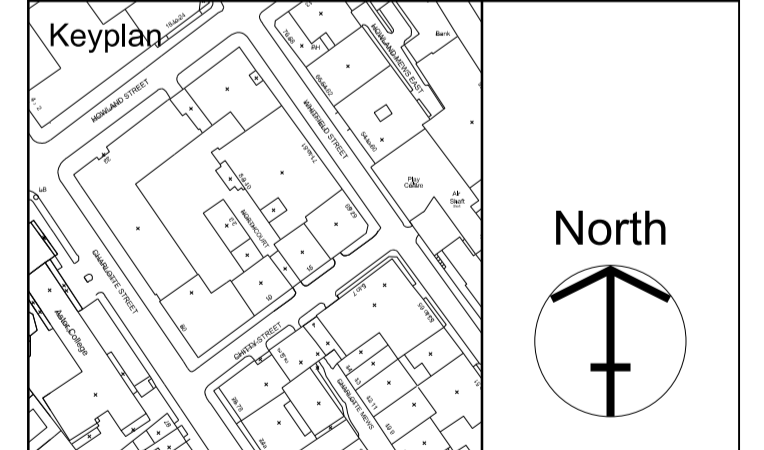
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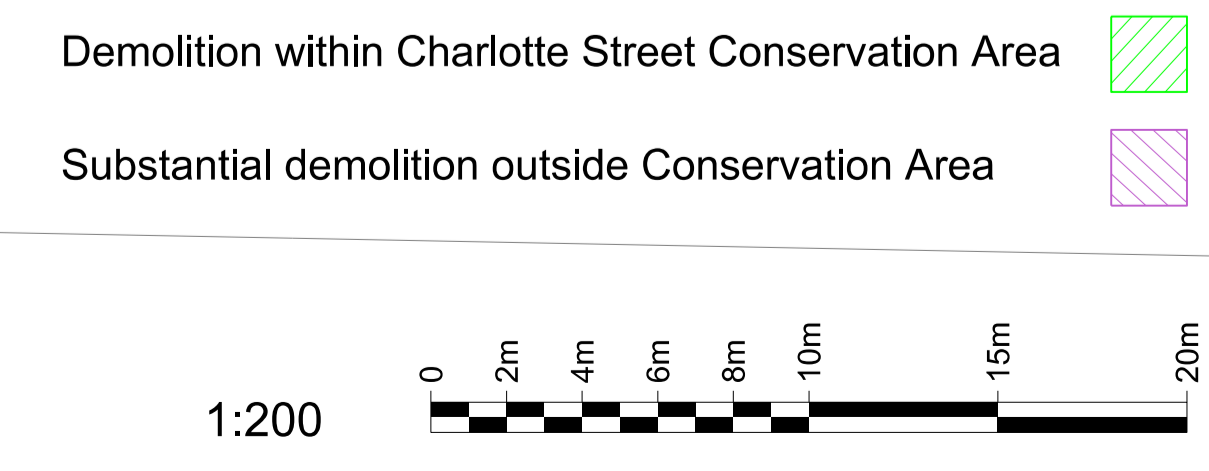
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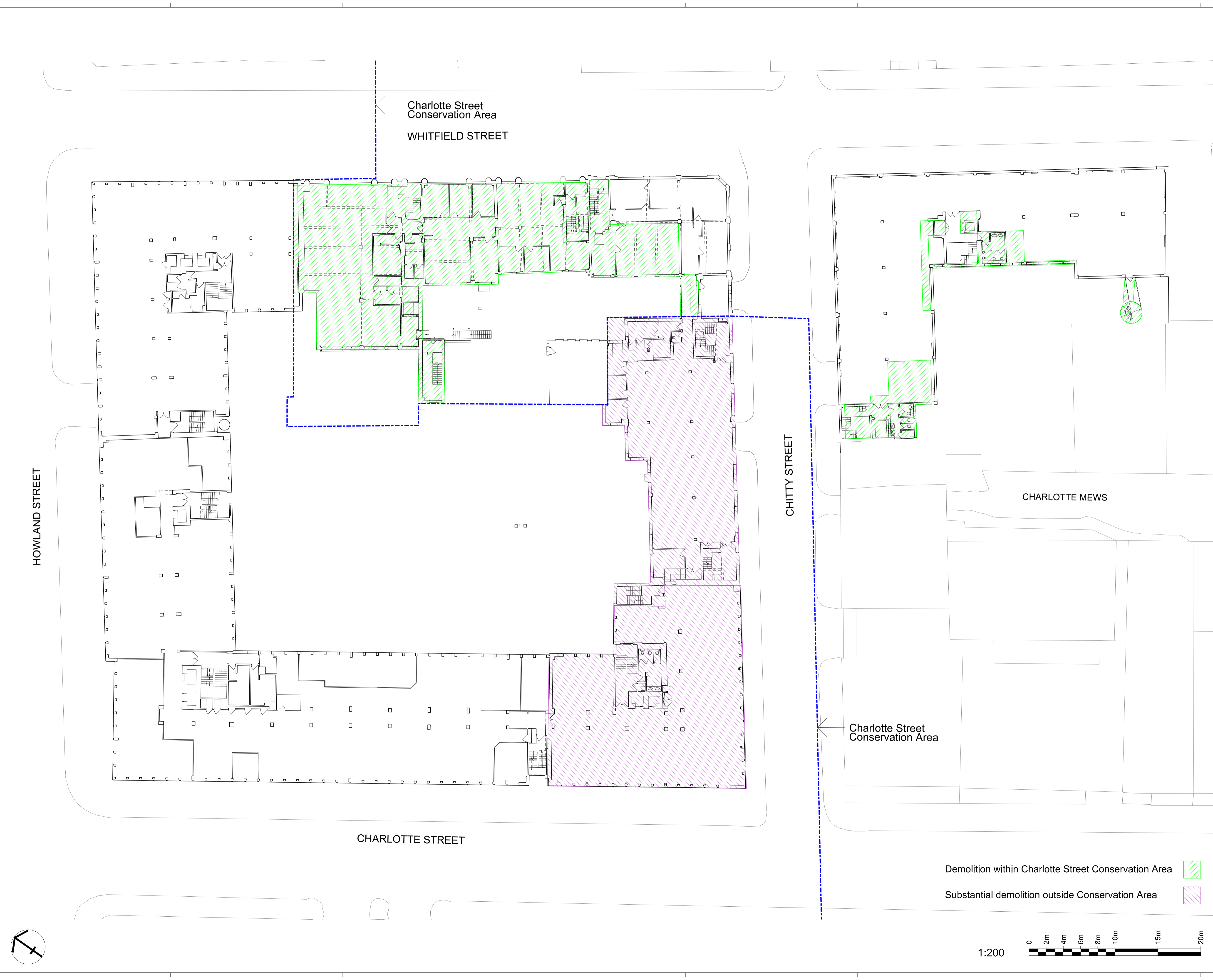


Project
**80 Charlotte Street &
 65 Whitfield Street**

Drawing Title
**Existing / Demolition:
 Level 02 floor plan**

Scale	Paper Size	Date
1:200	@A1	09.12.10
Project No.	Draw No.	Rev No.
0355	P1102	04





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Project
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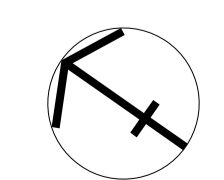
Drawing Title
**Existing / Demolition:
Level 03 floor plan**

Scale	Paper Size	Date
1:200	@A1	09.12.10

Project No.	Draw No.	Rev No.
0355	P1103	04

Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area



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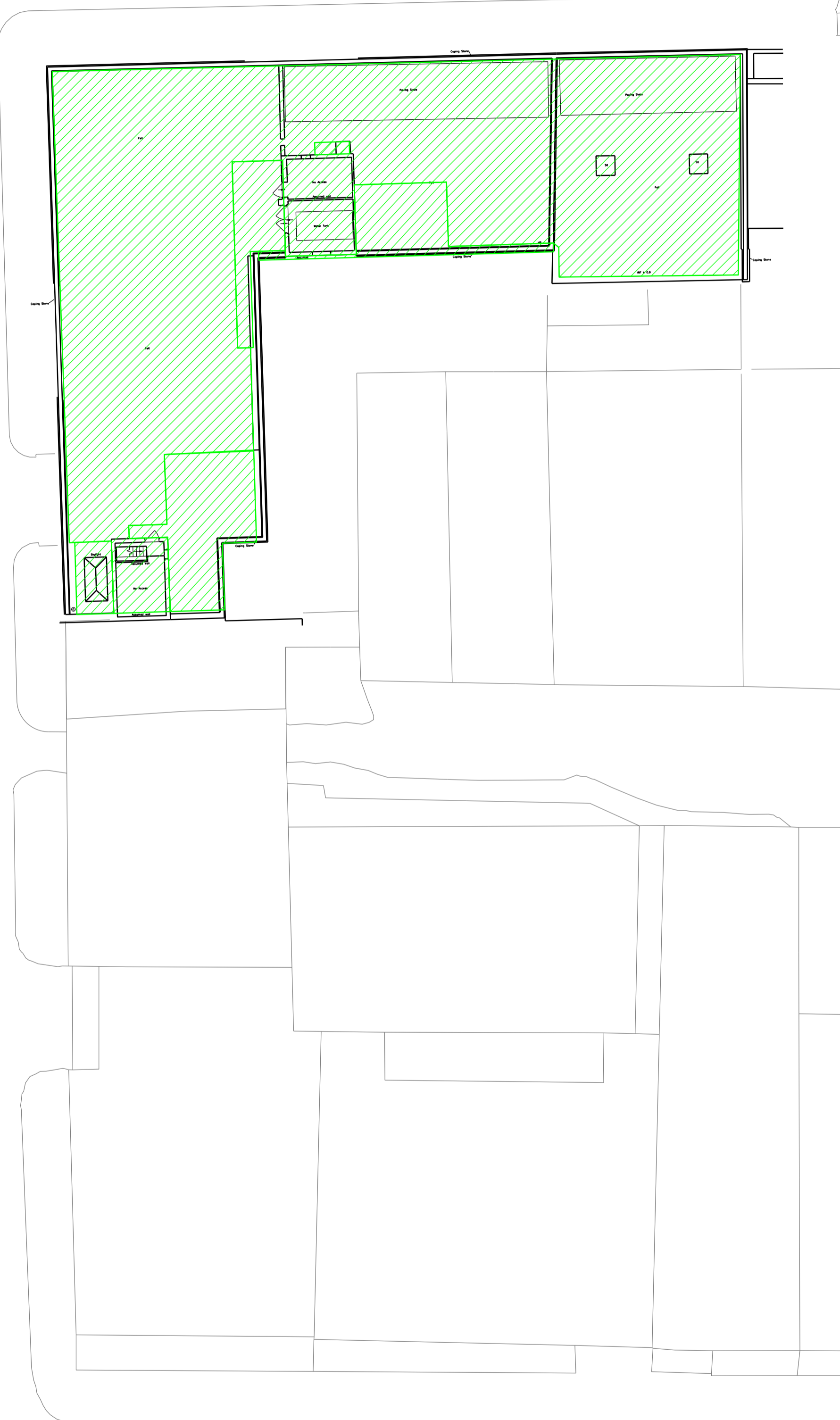
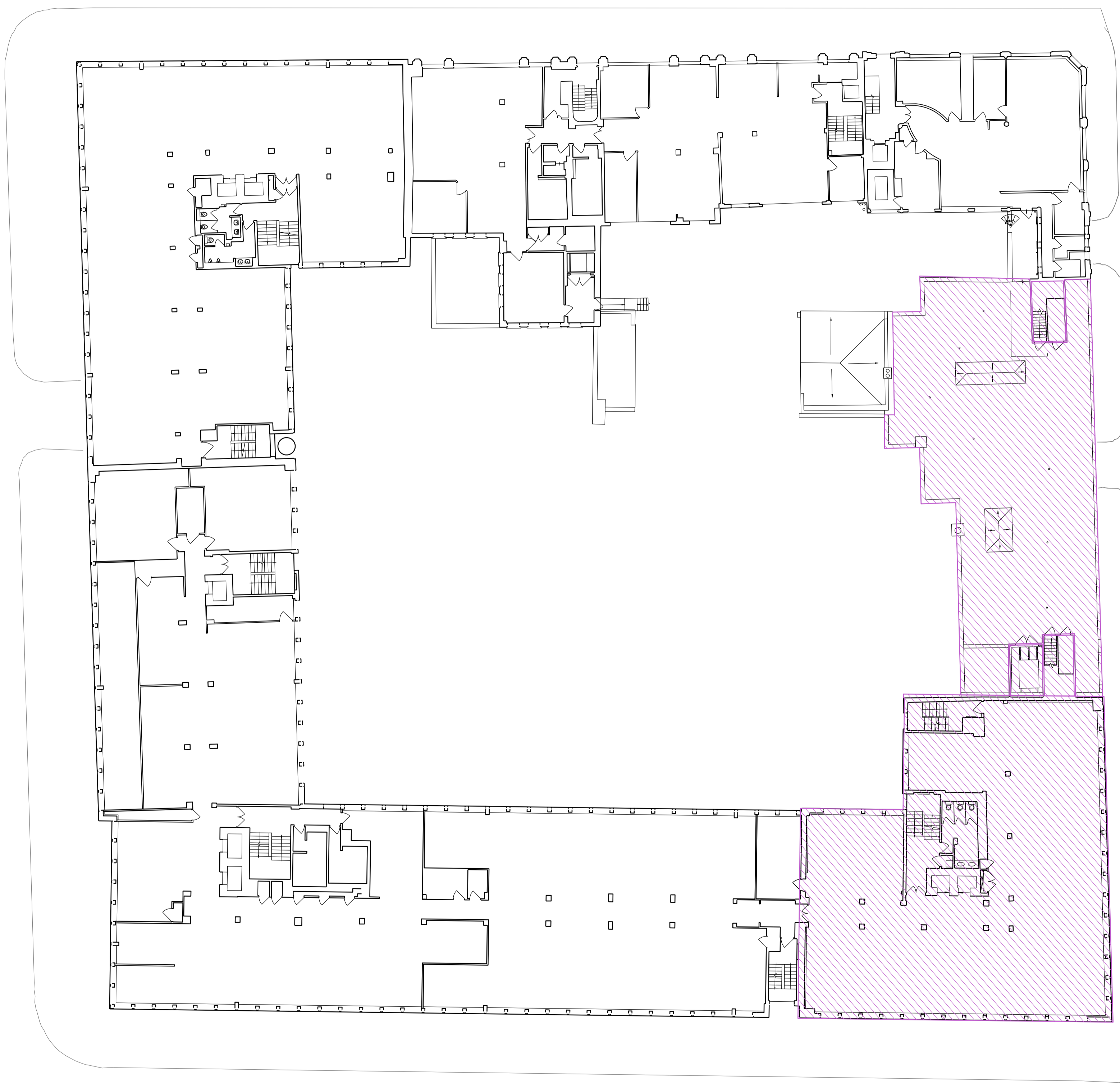


Project
**80 Charlotte Street &
 65 Whitfield Street**

Drawing Title
**Existing / Demolition:
 Level 04 floor plan**

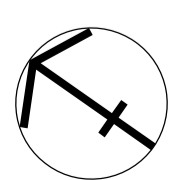
Scale Paper Size Date
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Project No. Draw No. Rev No.
0355 P1104 05



Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area



HOWLAND STREET

Charlotte Street Conservation Area

WHITFIELD STREET

CHITTY STREET

CHARLOTTE MEWS

CHARLOTTE STREET

Charlotte Street Conservation Area

Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area

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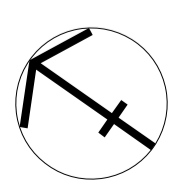


Project
**80 Charlotte Street &
65 Whitfield Street**

Drawing Title
**Existing / Demolition:
Level 05 floor plan**

Scale	Paper Size	Date
1:200	@A1	09.12.10

Project No.	Draw No.	Rev No.
0355	P1105	00





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 - S Green/ brown roof
 - T Terrace/ balcony
 - U Transparent glass panels

Rev	Date	Reason For Issue	Chk
00	24/09/13	Section 73	MT

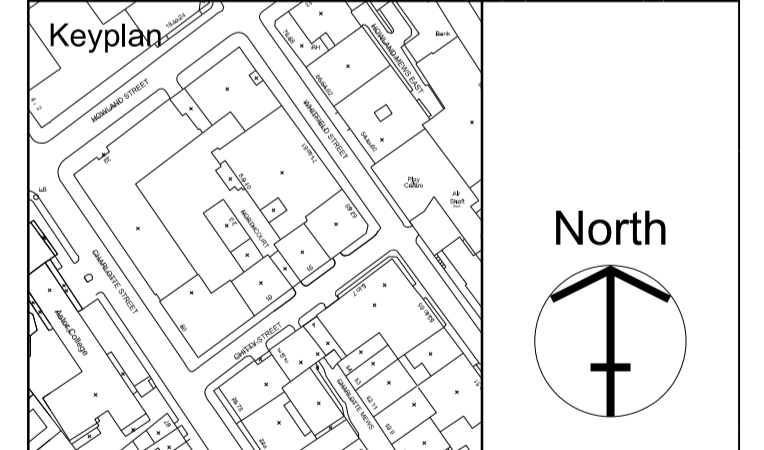
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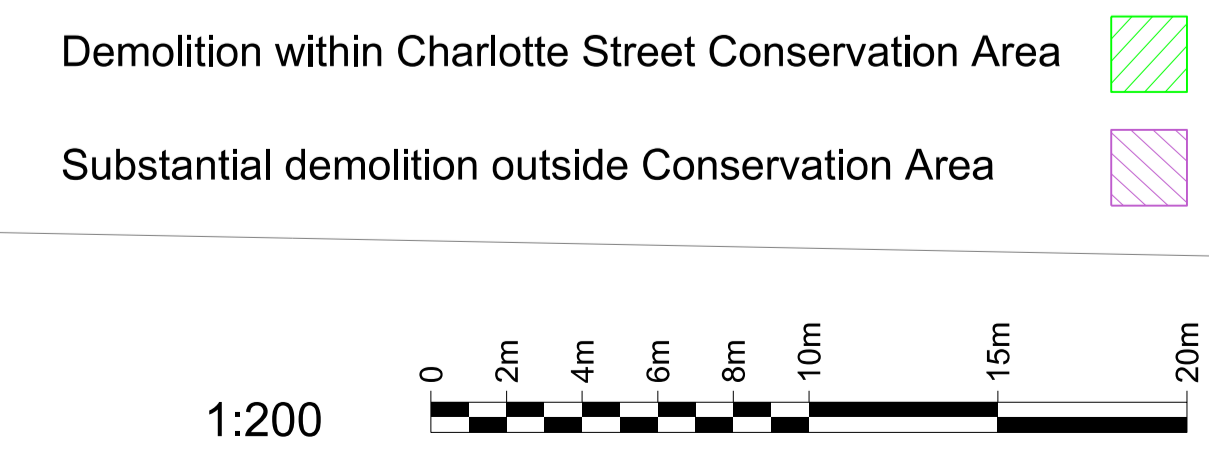
Project

80 Charlotte Street &
65 Whitfield Street

Drawing Title

Existing / Demolition:
Level 06 floor plan

Scale	Paper Size	Date
1:200	@A1	09.12.10
Project No.	Draw No.	Rev No.
0355	P1106	00





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00	24/09/13	Section 73	MT
Rev	Date	Reason For Issue	Chk

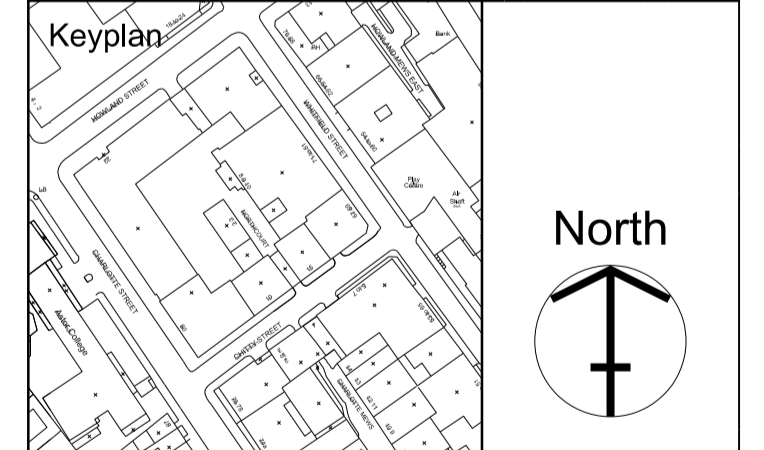
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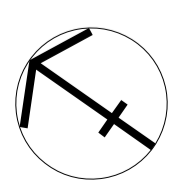
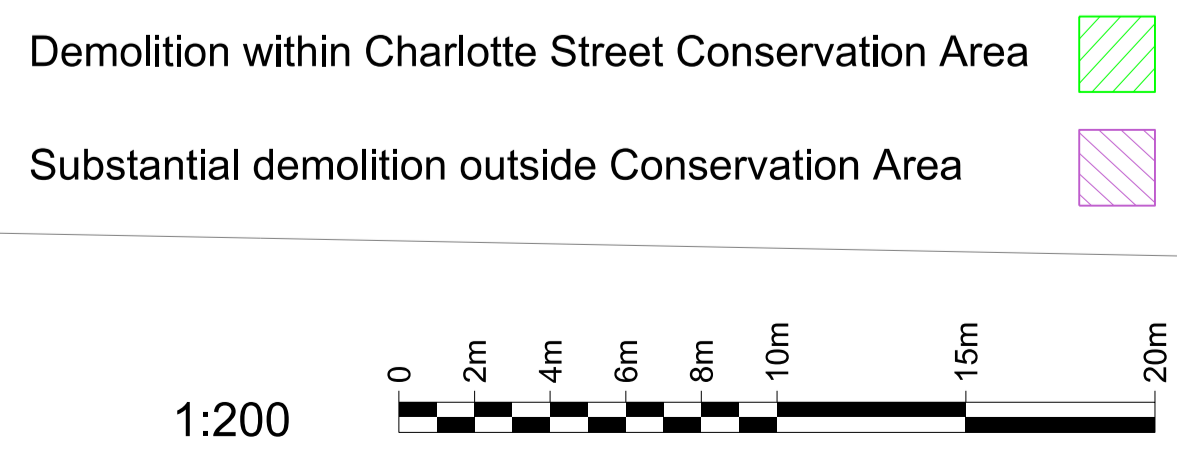
Project

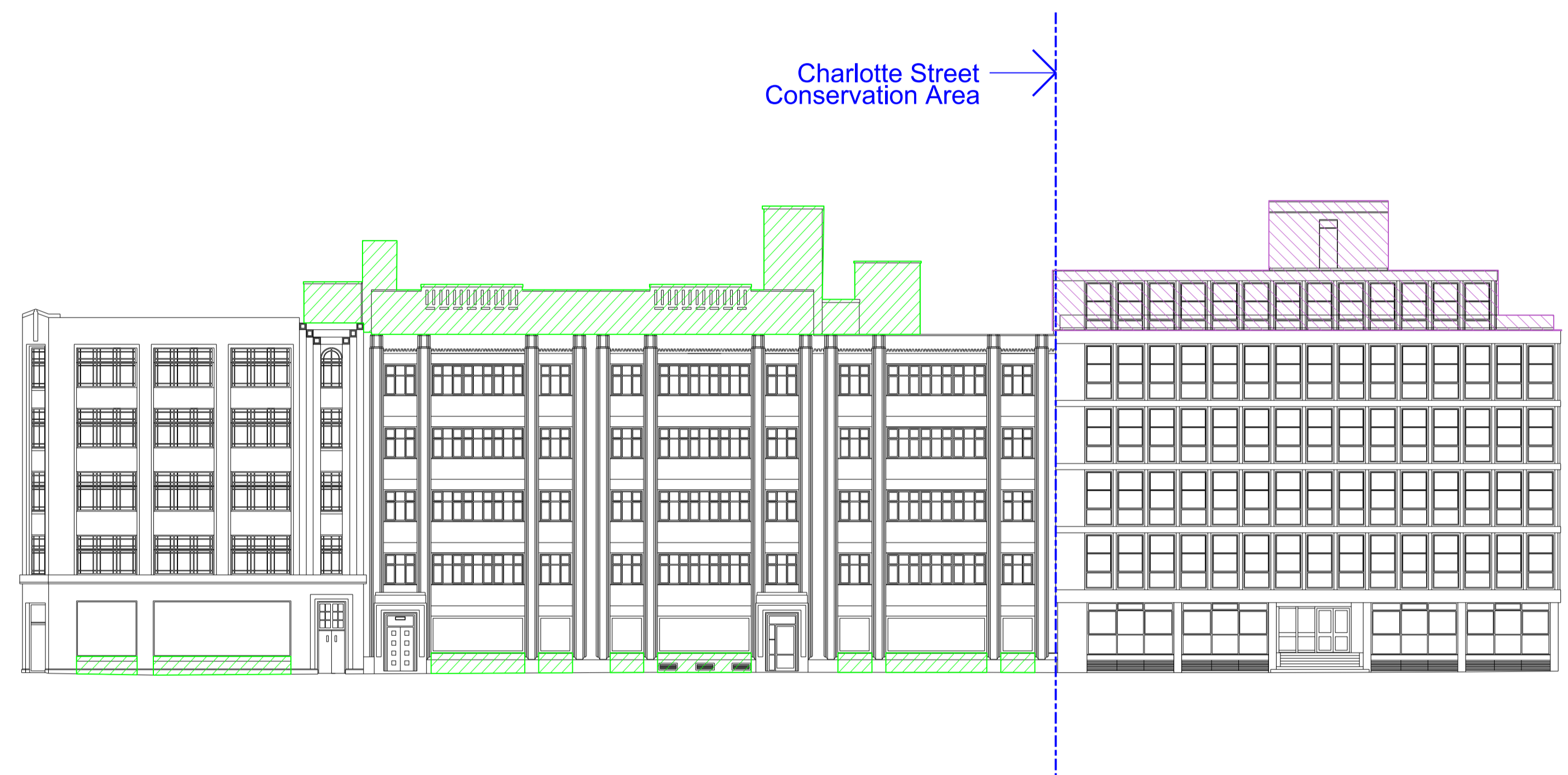
80 Charlotte Street &
 65 Whitfield Street

Drawing Title

Existing / Demolition:
 Level 07 floor plan

Scale	Paper Size	Date
1:200	@A1	09.12.10
Project No.	Draw No.	Rev No.
0355	P1107	00



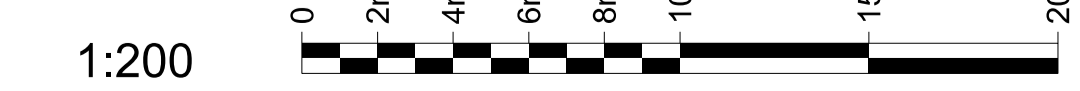


Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area

01 Whitfield Elevation E-W

1:200



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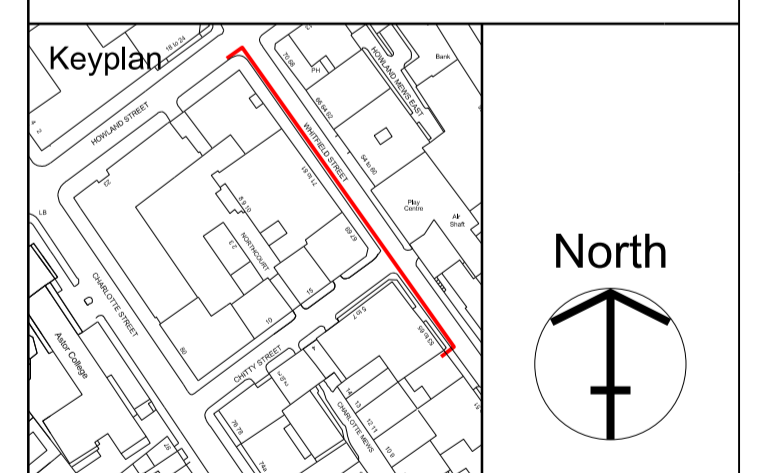
01	23.10.13	Section 73	MT
00	09.12.10	Planning Application	MT
Rev	Date	Reason For Issue	Chk

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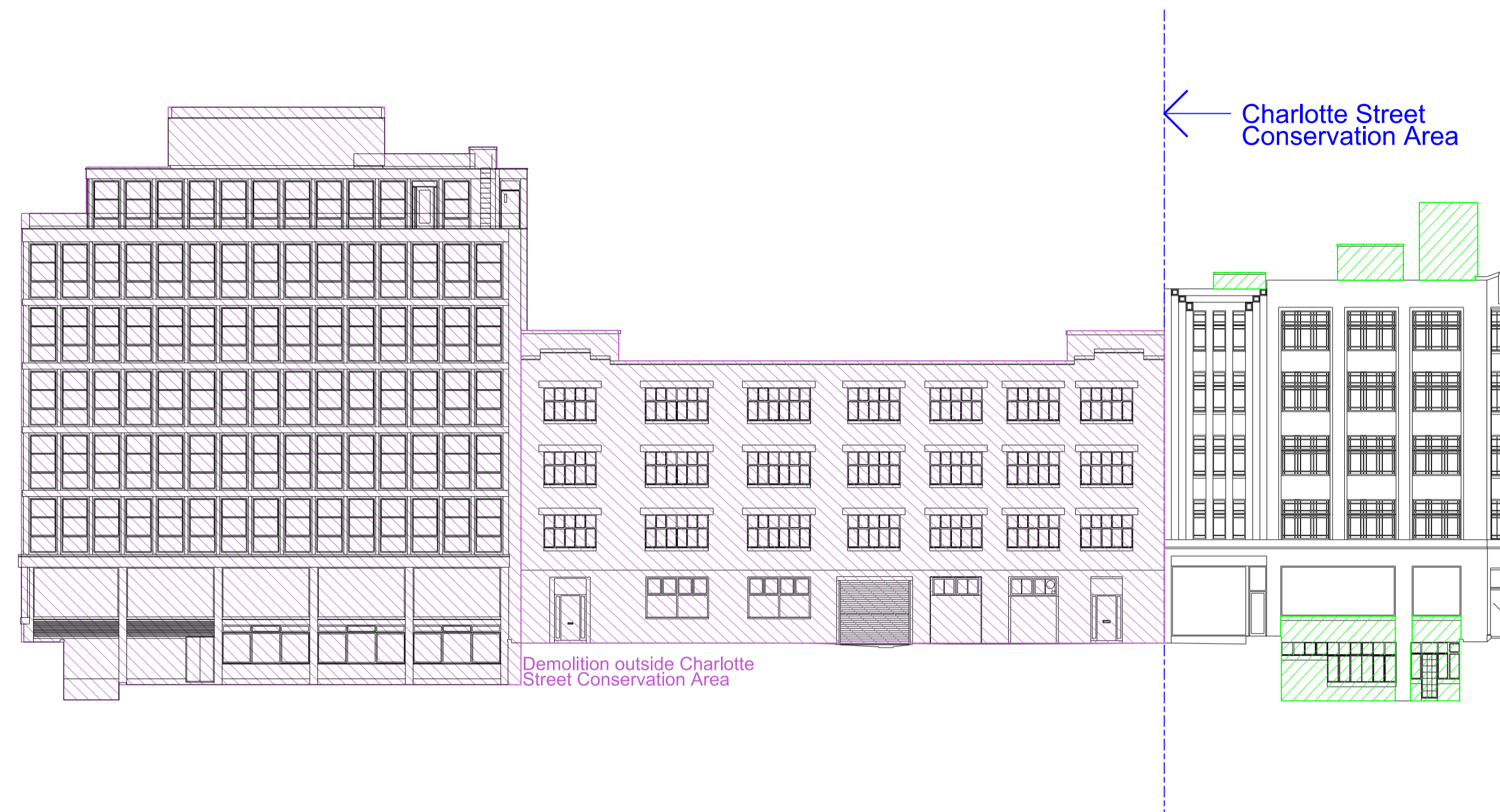


Project
**80 Charlotte Street &
65 Whitfield Street**

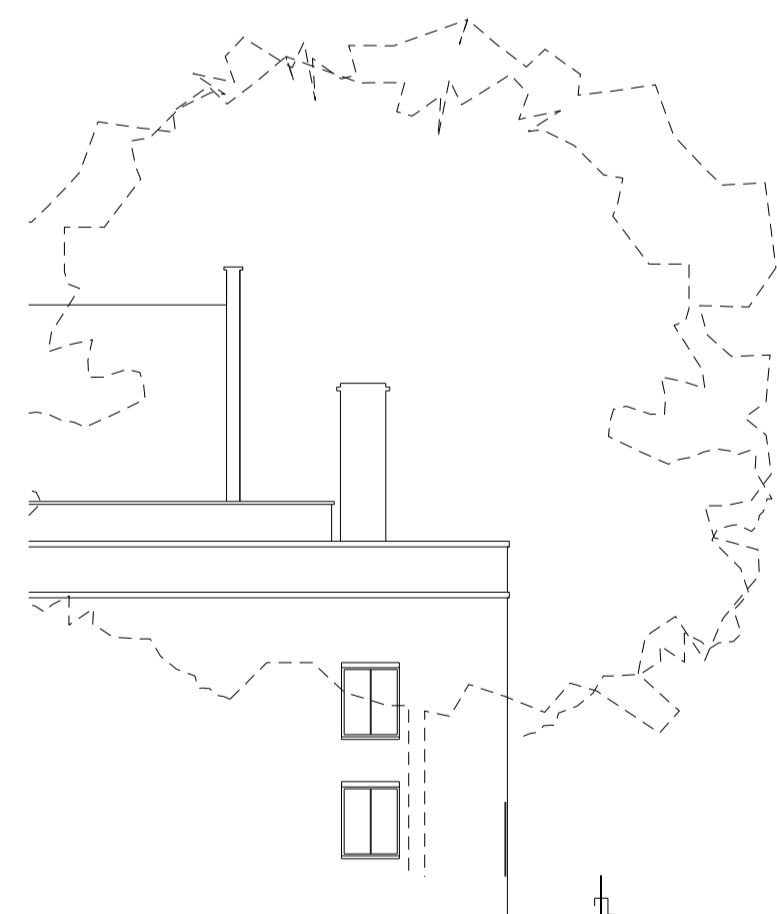
Drawing Title
**Existing / Demolition:
Whitfield Street
E-W**

Scale	Paper Size	Date
1:200	@A1	09.12.10

Project No.	Draw No.	Rev No.
0355	P1300	01



01 Chitty Street Elevation (North) E-N
1:200



02 Chitty Street Elevation (South) E-S
1:200

Demolition within Charlotte Street Conservation Area
Substantial demolition outside Conservation Area



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01	23.10.13	Section 73	MT
00	09.12.10	Planning Application	MT
Rev	Date	Reason For Issue	Chk

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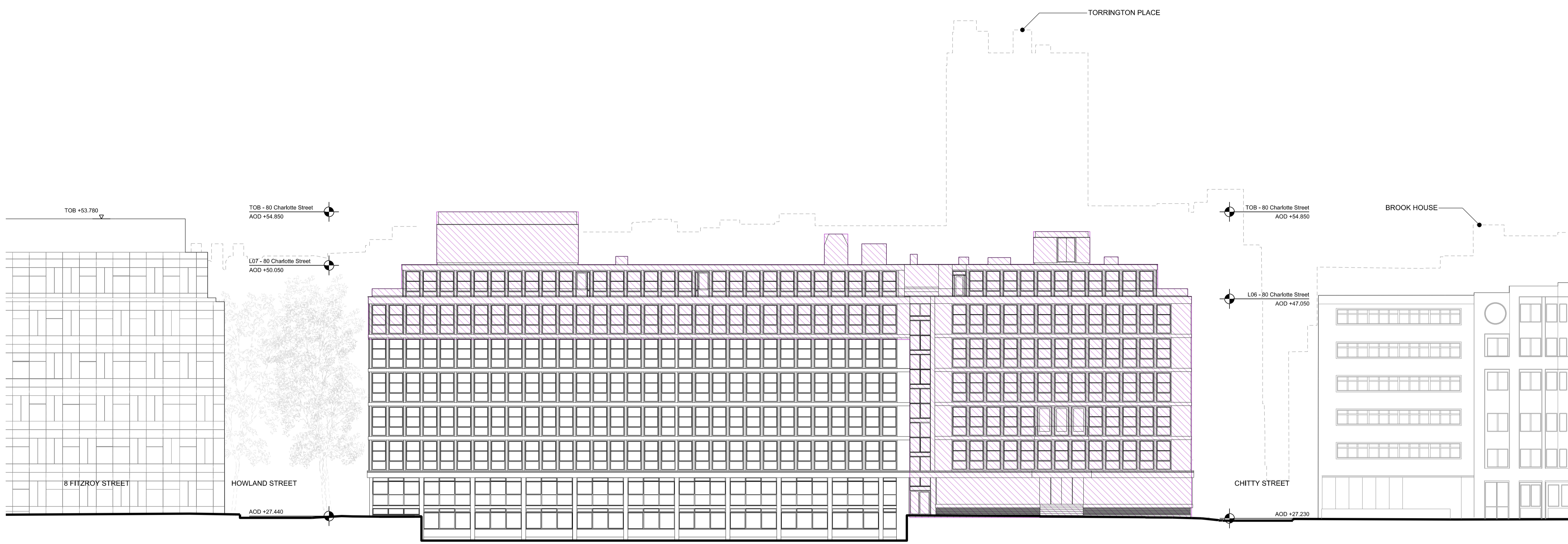


Project
**80 Charlotte Street &
65 Whitfield Street**

Drawing Title
**Existing / Demolition:
Chitty Street
North and South Elevation
E-N, E-S**

Scale	Paper Size	Date
1:200	@A1	09.12.10

Project No.	Draw No.	Rev No.
0355	P1301	01



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 - THIS SURVEY HAS BEEN CARRIED OUT TO AN ACCURACY CONSISTENT WITH A PRESENTATION SCALE OF 1:200. INTERROGATED DIMENSIONS WILL BE WITHIN THE TOLERANCE ASSOCIATED WITH THIS AND SMALLER SCALES ONLY.
 - THE IDENTIFICATION OF SERVICE COVERS HAS BEEN MADE BY A SURFACE INSPECTION ONLY. CRITICAL IDENTIFICATIONS SHOULD BE VERIFIED BY THE LIFTING OF COVERS OR A FULL UTILITIES SURVEY.
 - DUE TO THE INHERENT INSTABILITY OF PAPER MATERIALS, DRAWINGS PLOTTED ON PAPER MAY BE STRETCHED AND DISTORTED. DIMENSIONS SCALED FROM PAPER PLOTS SHOULD THEREFORE BE TREATED WITH CAUTION.
 - THE ASTA HOUSE DATA WAS SURVEYED BY PLOWMAN CRAVEN IN OCTOBER 2004, PROJECT NO. 8527.
 - ALL QUOTED DIMENSIONS ARE IN METRES
 - DRAWING UNITS ARE METRES

00	23.10.13	Section 73	MT
Rev	Date	Reason For Issue	Chk

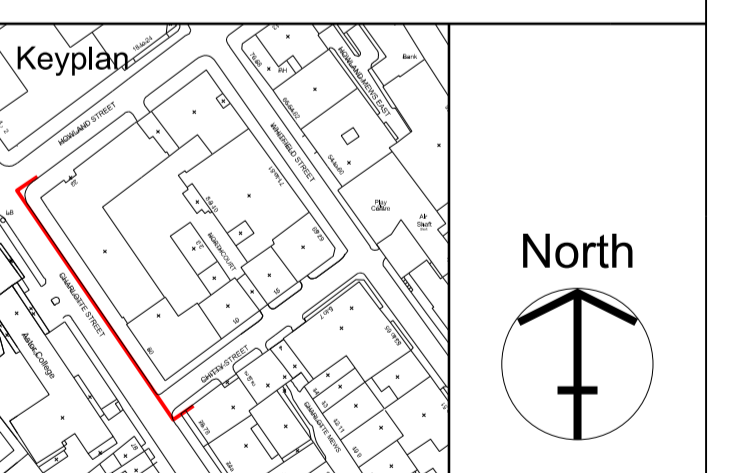
00	23.10.13	Section 73	MT
Rev	Date	Reason For Issue	Chk

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Project
80 Charlotte Street &
65 Whitfield Street

Drawing Title
Existing/ Demolition elevations:
Charlotte Street
E-1

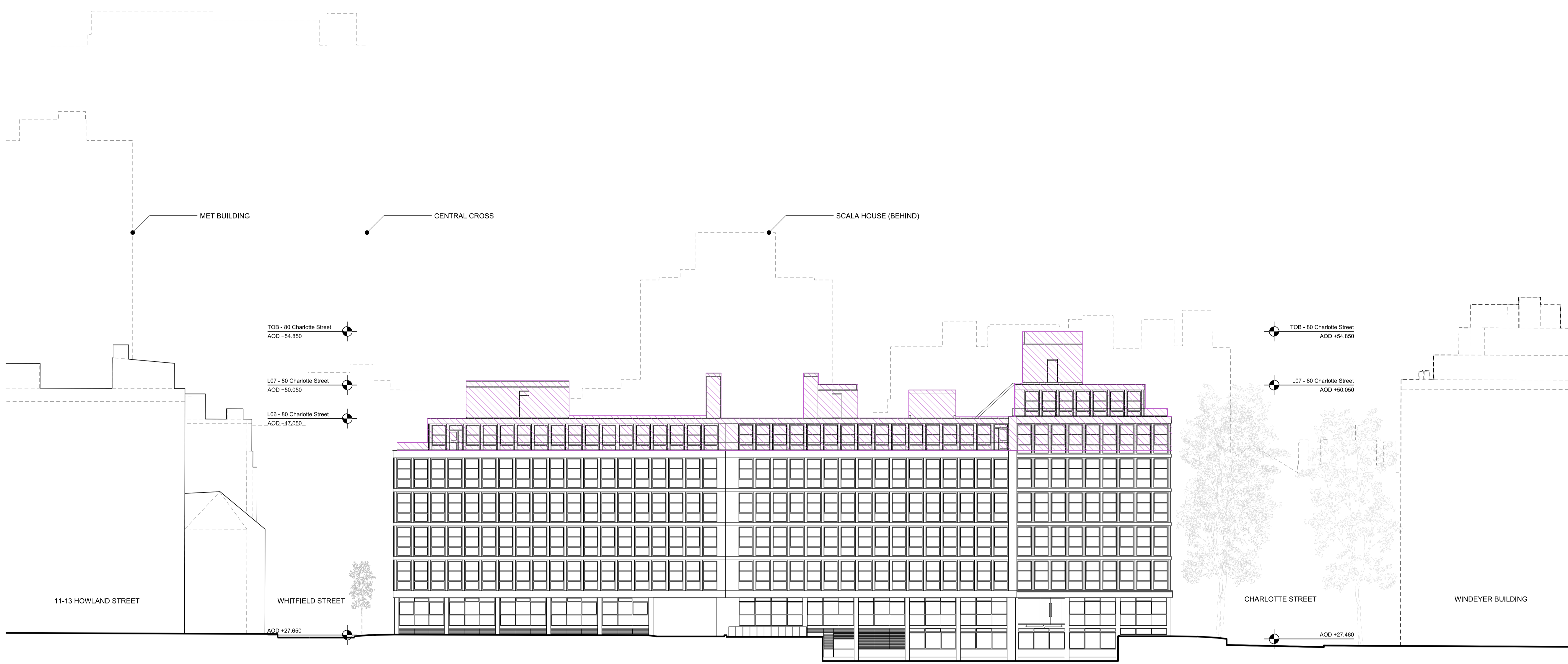
Scale	Paper Size	Date
1: 200	@A1	19.01.11
Project No.	Draw No.	Rev No.
0355	P1310	00

Charlotte Elevation
1:200

Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area

1:200



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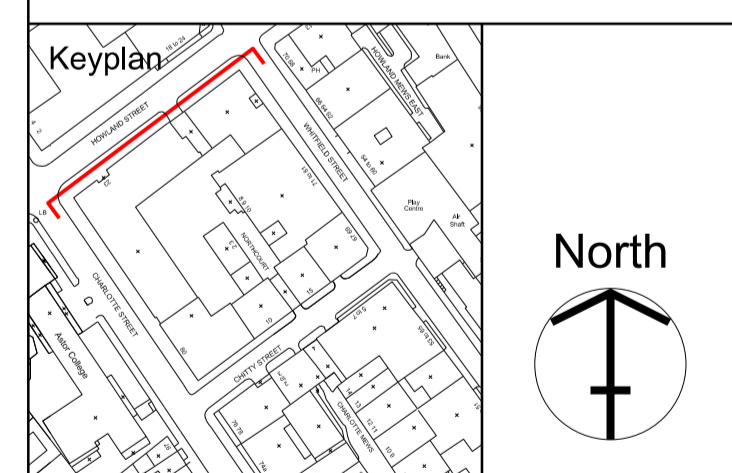
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Project
80 Charlotte Street & 65 Whitfield Street

Drawing Title
Existing/ Demolition elevation: Howland Street E-2

Scale	Paper Size	Date
1: 200	@A1	19.01.11
Project No.	Draw No.	Rev No.
0355	P1311	00

Demolition within Charlotte Street Conservation Area

Substantial demolition outside Conservation Area

Howland Elevation
 1:200

