

Design and Access Statement

Replacement of windows on the rear and side elevations

80c Belsize Park Road, London, NW3 4NG



Front elevation of the above addressed property (marked in red)

DECEMBER 15, 2015

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1. INTRODUCTION

This Design and Access Statement has been prepared in support of the planning application for the replacement of windows on the side and rear elevations at 80c Belsize Park Gardens, London, NW3 4NG.

2. SITE CONTEXT AND LAYOUT

The building at 80 Belsize Park Gardens (please refer to the attached location plan) is comprised of four storeys, all in residential use class C3 as flats. The property for which the replacement of windows is proposed is Flat C, which is located at the Upper ground Floor.

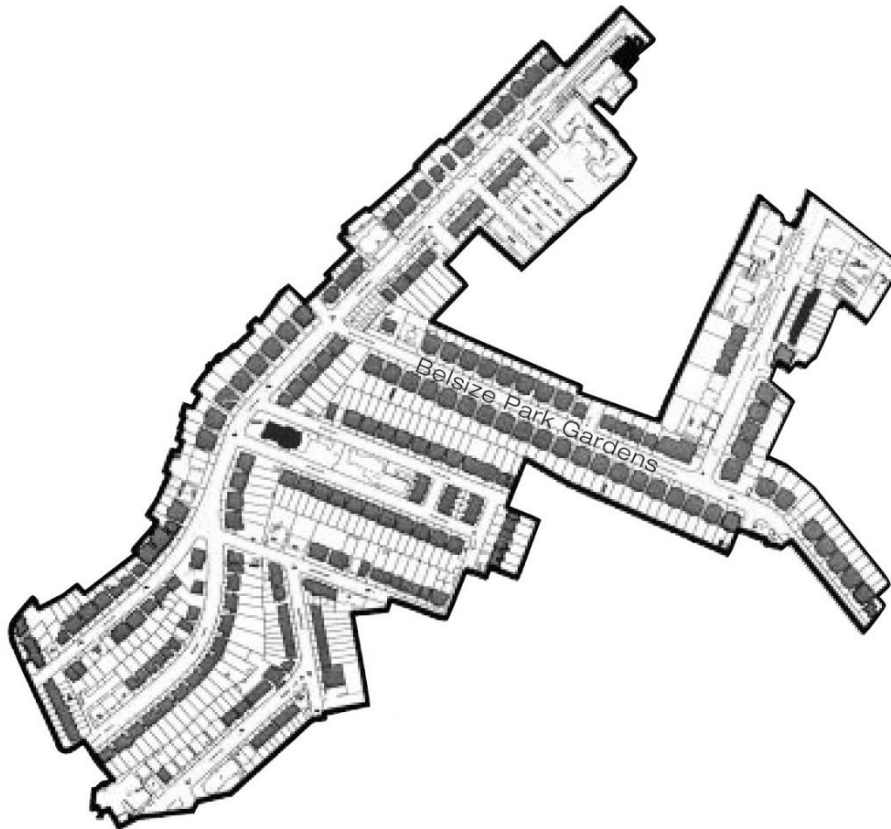


Figure 1 – Belsize Park subarea (1) – source: Belsize Conservation Area Statement document, London Borough of Camden)

The site is located within the Belsize Conservation Area (subarea 1: Belsize Park, see Figure 1), an area which was first designated for conservation status in 1973 as being “an area of large scale, imposing semi-detached Victorian Villas of distinct yet

uniform appearance. They show elaborate and consistent architectural detail and within the designated boundary there is little to detract from the unity of appearance. Belsize Village is also an area of considerable charm, the particular character of the village being one of the main justifications for designation.” (Source: Belsize Conservation Area Statement, London Borough of Camden). The predominant type of housing on Belsize Park Gardens is the paired, symmetrical, semi-detached, Victorian Villa and no. 80 falls well within this context. The layout of the site therefore reflects the character of the local area and the proposal will not negatively impact it.

3. PROPOSAL

The windows' locations, sizes and technical specifications can be found on the attached drawings and window table. The windows to be replaced on the rear elevation are shown in Figure 1. For the side elevation, due to the small distance between no. 80 and the next building, a suitable photo could not be taken, but can be seen on the attached drawings as well as on a site visit.



Figure 1 – Rear elevation and the windows marked for replacement (red)

It can also be seen that the glazing area for the windows is presently lower than it was originally (see Figure 1) and the proposal will restore these windows to their original full height, therefore contributing to the preservation of the original aspect of the building.

3.1. Scale

The scale, mass and height of the proposal will not be excessive, as the proposed windows would be of the same nature, size and materials as the existing and also matching the adjoining property at no. 78 Belsize Park Gardens.

3.2. Design

The design of the elevations would not be affected, as the size of the windows is not going to be modified, and their nature will be preserved. On the rear elevation, the bay would have a middle French door and two side windows, all being double glazed timber frame white painted, similar to the adjoining property at no. 78 (Figure 2).



Figure 2 – No. 80 (left) and no. 78 (right) rear elevations (please note the French window at no.78, which is proposed for no. 80)

On the side elevation, the existing two small Crittall windows and single glazed timber frame window will be replaced with double glazed timber frame sash windows, white painted to match with the existing.

The proposed renewal of the rear and side windows will add a fresh look to the building as a whole, without detracting from the overall aspect of the neighbourhood and the character of the Belsize Conservation area. The front elevation will not be affected.

3.3. Landscaping

The street scene and existing landscape will not be adversely affected by the proposal in any way as the windows which are proposed to be replaced are located on the side and rear elevations.

The uses and aspects of the existing building will be maintained.

3.4. Access

The existing access routes will not be modified.

4. CONCLUSION

As the proposed replacement of windows complies with the Council's Planning Policies, as it will make use of the same type of materials, will not alter the window sizes and as it is intended for the rear and side elevation only, thus enhancing the existing site, the proposal has been designed to meet the requirements of the Belsize Conservation area and is therefore submitted to your consideration for approval.

Appendix:

