

AS PERCENTAGE OF PRINCIPAL STRUCTURAL WALLS (excluding garden retaining walls)

- 57% Existing walls to be retained
- 21% Walls to be demolished approved as per planning ref 2014/1783/P
- 22% Additional walls to be demolished

- GENERAL NOTES**
- THIS DRAWING IS NOT TO BE SCALED
  - DIMENSIONS TO TAKE PREFERENCE TO SCALED DIMENSIONS
  - ALL CONTRACTORS MUST COMPLY WITH THE LATEST CODES OF PRACTICE AND TO BE TO THE ENTIRE SATISFACTION OF LOCAL AUTHORITIES
  - ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE WORK IS PUT IN HAND
  - THE CONTRACTOR IS TO VERIFY ALL LEVELS, DIMENSIONS AND BUILDING LINES BEFORE ANY WORK COMMENCES ON SITE
  - ALL SETTING OUT TO BE THE CONTRACTORS ENTIRE RESPONSIBILITY
  - ALL SERVICES TO BE COORDINATED BY THE CONTRACTOR BEFORE COMMENCING ANY WORK
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY SITE VISITS BY LOCAL AUTHORITIES AND IS TO PAY ANY FEES CONNECTED THEREWITH
- READ THESE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ENGINEERS AND CONSULTANT DRAWINGS AND BEINGS WHERE APPLICABLE

**REVISION NOTES**

NO.	DATE	DESCRIPTION

**PROJECT TITLE**  
**WHITESTONE HOUSE NW3**

**DRAWING TITLE**  
**EXISTING LOWER GROUND FLOOR PLAN- DEMOLITION**

**SCALE**  
**1:100 @ A3**

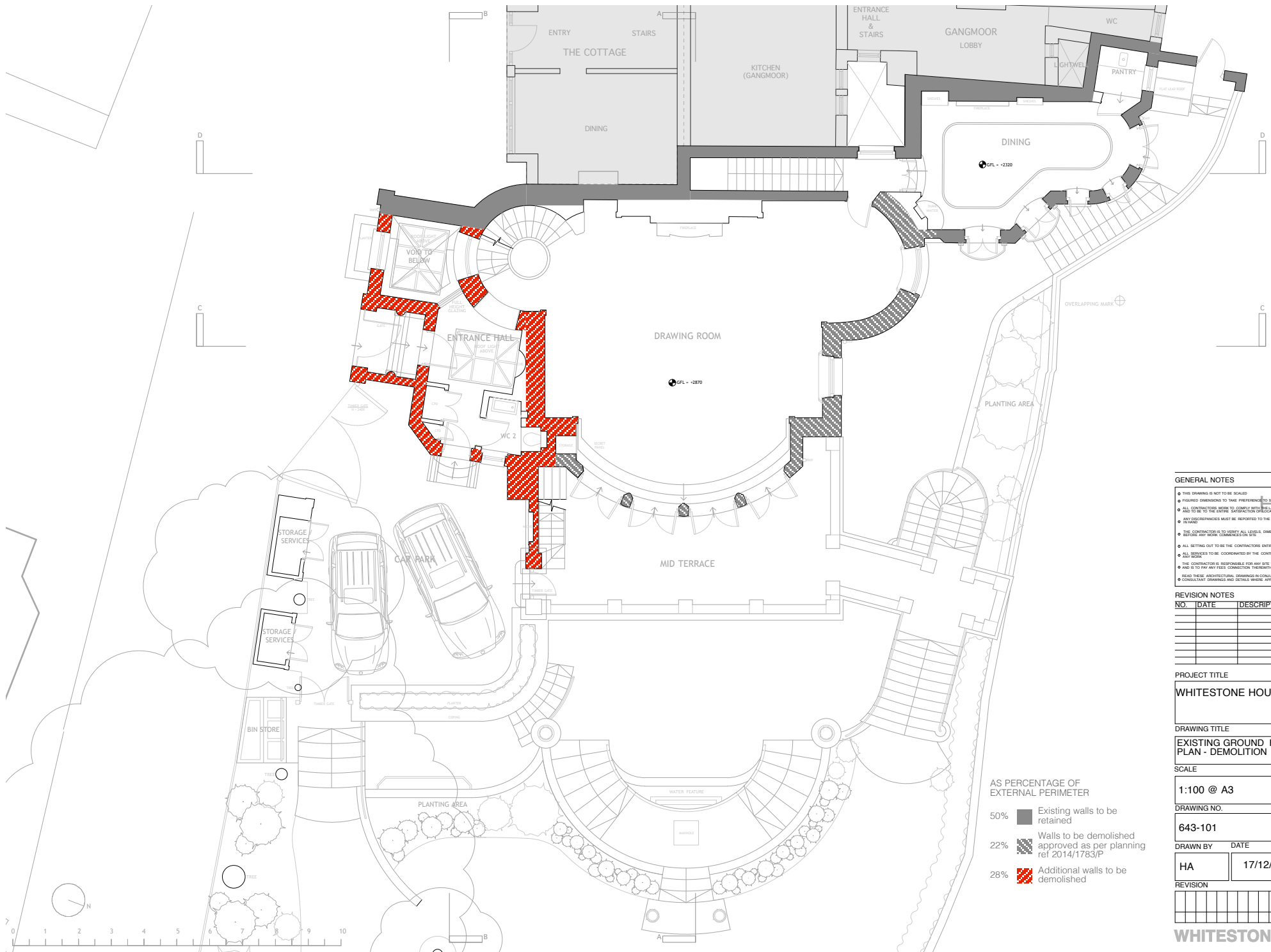
**DRAWING NO.**  
**643-100**

**DRAWN BY**      **DATE**  
**HA**                      **17/12/15**

**REVISION**


**Bentheim**  
 Unit 2, Cranke Street, 225 Kenil Rd, Luton, MK1 1BN, UK (001 753 3427) [info@bentheim.co.uk](mailto:info@bentheim.co.uk)  
**JONATHAN FREGGARD ARCHITECTS**  
 17 Princes Square, South London, SE1 0AD (020 8911 0908)

**WHITESTONE HOUSE**



- GENERAL NOTES**
- THIS DRAWING IS NOT TO BE SCALED
  - FIGURED DIMENSIONS TO THIS PREFERRED UNLESS CALLED DIMENSIONS
  - ALL CONTRACTORS MUST COMPLY WITH THE LATEST CODES OF PRACTICE AND TO BE TO THE ENTIRE SATISFACTION OF LOCAL AUTHORITIES
  - ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE WORK IS PUT IN HAND
  - THE CONTRACTOR IS TO VERIFY ALL LEVELS, DIMENSIONS AND BUILDING LINES BEFORE ANY WORK COMMENCES ON SITE
  - ALL SETTING OUT TO BE THE CONTRACTORS ENTIRE RESPONSIBILITY
  - ANY WORK TO BE COORDINATED BY THE CONTRACTOR BEFORE COMMENCING
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY SITE VISITS BY LOCAL AUTHORITIES AND IS TO PAY ANY FEES CONNECTED THEREWITH
  - READ THESE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ENGINEERS AND CONSULTANT DRAWINGS AND BEINGS WHERE APPLICABLE

**REVISION NOTES**

NO.	DATE	DESCRIPTION

**PROJECT TITLE**  
**WHITESTONE HOUSE NW3**

**DRAWING TITLE**  
**EXISTING GROUND FLOOR PLAN - DEMOLITION**

**SCALE**  
**1:100 @ A3**

**DRAWING NO.**  
**643-101**

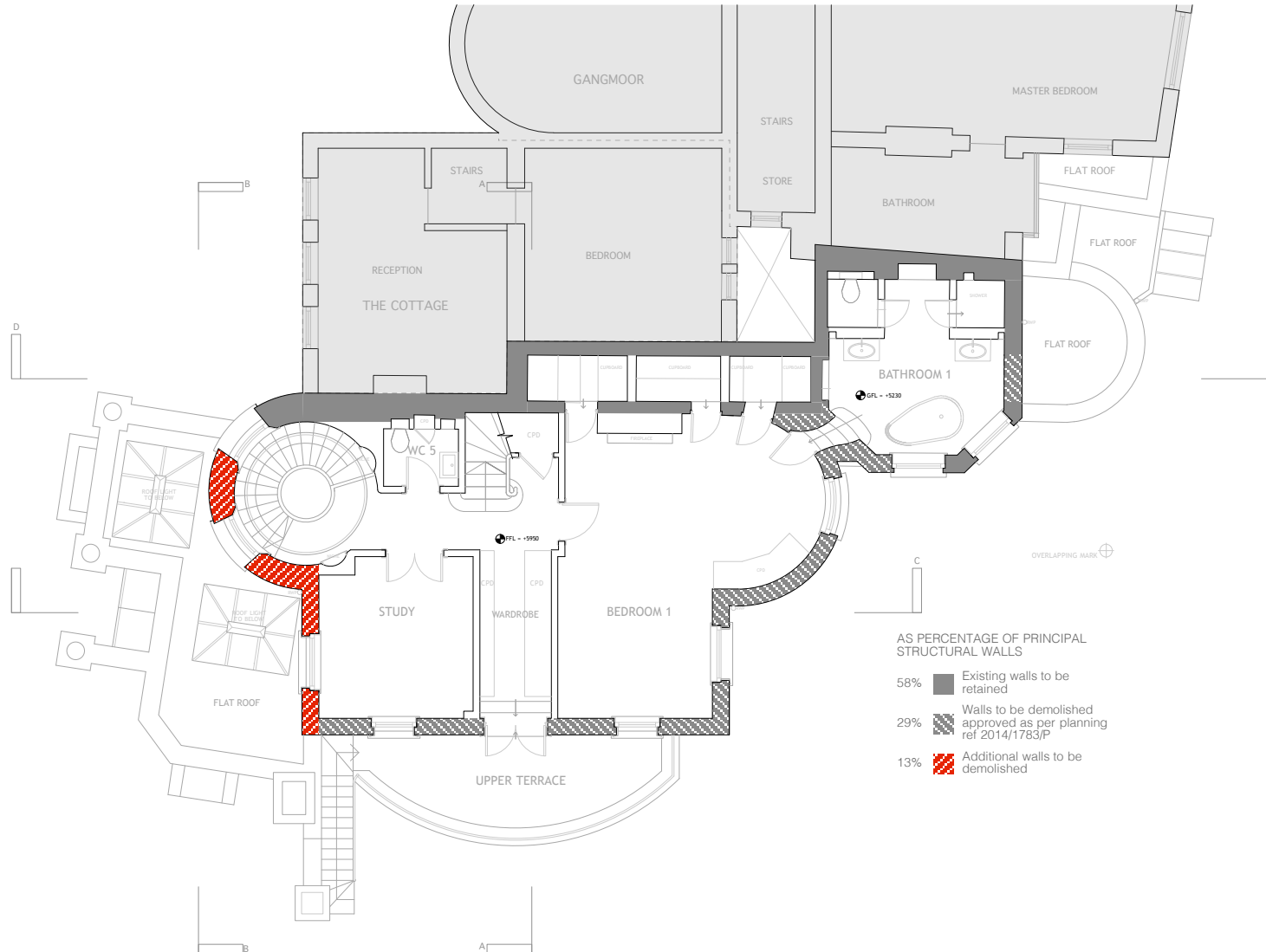
**DRAWN BY** HA      **DATE** 17/12/15

**REVISION**


- AS PERCENTAGE OF EXTERNAL PERIMETER**
- 50% Existing walls to be retained
  - 22% Walls to be demolished approved as per planning ref 2014/1783/P
  - 28% Additional walls to be demolished

**Bentham**  
 Jonathan Freegard Architects  
 17th Floor, 225 Kent Road, London W10 1SH, Tel: 020 7296 3627, Email: info@bentham.co.uk  
 17th Floor, 225 Kent Road, London W10 1SH, Tel: 020 7296 3627, Email: info@bentham.co.uk

**WHITESTONE HOUSE**



AS PERCENTAGE OF PRINCIPAL STRUCTURAL WALLS

- 58% Existing walls to be retained
- 29% Walls to be demolished approved as per planning ref 2014/1783/P
- 13% Additional walls to be demolished

- GENERAL NOTES**
- ◆ THIS DRAWING IS NOT TO BE SCALED
  - ◆ FIGURED DIMENSIONS TO TAKE PRECEDENCE TO SCALED DIMENSIONS
  - ◆ ALL CONTRACTORS MUST COMPLY WITH THE LATEST CODES OF PRACTICE AND TO BE TO THE ENTIRE SATISFACTION OF LOCAL AUTHORITIES
  - ◆ ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE WORK IS PUT IN HAND
  - ◆ THE CONTRACTOR IS TO VERIFY ALL LEVELS, DIMENSIONS AND BUILDING LINES BEFORE ANY WORK COMMENCES ON SITE
  - ◆ ALL SETTING OUT TO BE THE CONTRACTORS ENTIRE RESPONSIBILITY
  - ◆ ALL SERVICES TO BE COORDINATED BY THE CONTRACTOR BEFORE COMMENCING ANY WORK
  - ◆ THE CONTRACTOR IS RESPONSIBLE FOR ANY SITE VISITS BY LOCAL AUTHORITIES AND IS TO PAY ANY FEES CONNECTED THEREWITH
  - ◆ READ THESE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ENGINEERS AND CONSULTANT DRAWINGS AND BEINGS WHERE APPLICABLE

**REVISION NOTES**

NO.	DATE	DESCRIPTION

**PROJECT TITLE**

**WHITESTONE HOUSE NW3**

**DRAWING TITLE**

**EXISTING FIRST FLOOR PLAN - DEMOLITION**

**SCALE**

**1:100 @ A3**

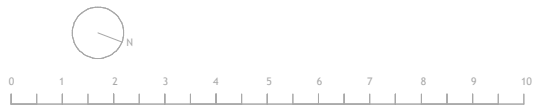
**DRAWING NO.**

**643-102**

**DRAWN BY**      **DATE**

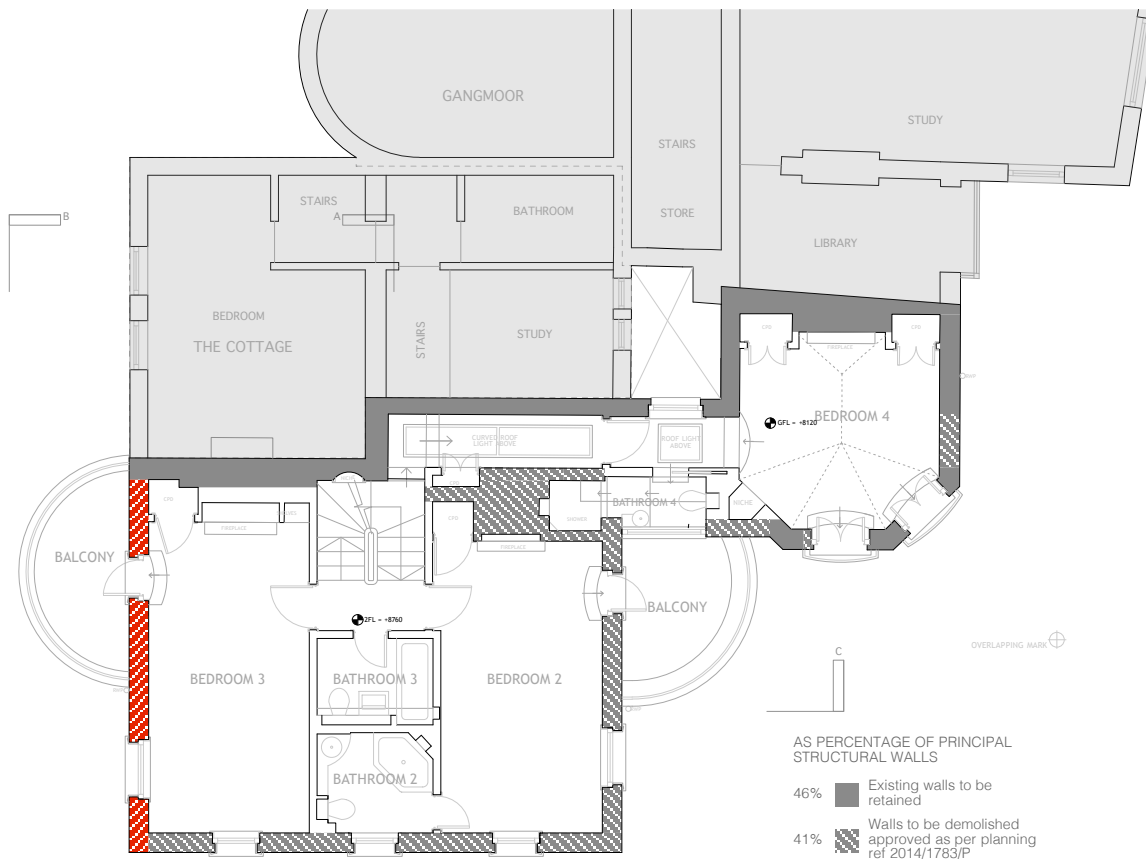
**HA**                      **17/12/15**

**REVISION**

**Bentheim**  
 Jonathan Freegard Architects  
 177 Regent Square, London W1B 4AH  
 T: 020 7730 3427  
 F: 020 7730 3427  
 E: jonathan@bentheim.com  
 www.bentheim.com

**WHITESTONE HOUSE**



AS PERCENTAGE OF PRINCIPAL STRUCTURAL WALLS

- 46% Existing walls to be retained
- 41% Walls to be demolished approved as per planning ref 2014/1783/P
- 13% Additional walls to be demolished

- GENERAL NOTES**
- ◆ THIS DRAWING IS NOT TO BE SCALED
  - ◆ FIGURED DIMENSIONS TO TAKE PRECEDENCE TO SCALED DIMENSIONS
  - ◆ ALL CONTRACTORS MUST COMPLY WITH THE LATEST CODES OF PRACTICE AND TO BE TO THE ENTIRE SATISFACTION OF LOCAL AUTHORITIES
  - ◆ ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE WORK IS PUT IN HAND
  - ◆ THE CONTRACTOR IS TO VERIFY ALL LEVELS, DIMENSIONS AND BUILDING LINES BEFORE ANY WORK COMMENCES ON SITE
  - ◆ ALL SETTING OUT TO BE THE CONTRACTORS ENTIRE RESPONSIBILITY
  - ◆ ALL SERVICES TO BE COORDINATED BY THE CONTRACTOR BEFORE COMMENCING ANY WORK
  - ◆ THE CONTRACTOR IS RESPONSIBLE FOR ANY SITE VISITS BY LOCAL AUTHORITIES AND IS TO PAY ANY FEES CONNECTED THEREWITH
  - ◆ READ THESE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ENGINEERS AND CONSULTANT DRAWINGS AND BEINGS WHERE APPLICABLE

**REVISION NOTES**

NO.	DATE	DESCRIPTION

**PROJECT TITLE**  
**WHITESTONE HOUSE NW3**

**DRAWING TITLE**  
**EXISTING SECOND FLOOR PLAN - DEMOLITION**

**SCALE**  
**1:100 @ A3**

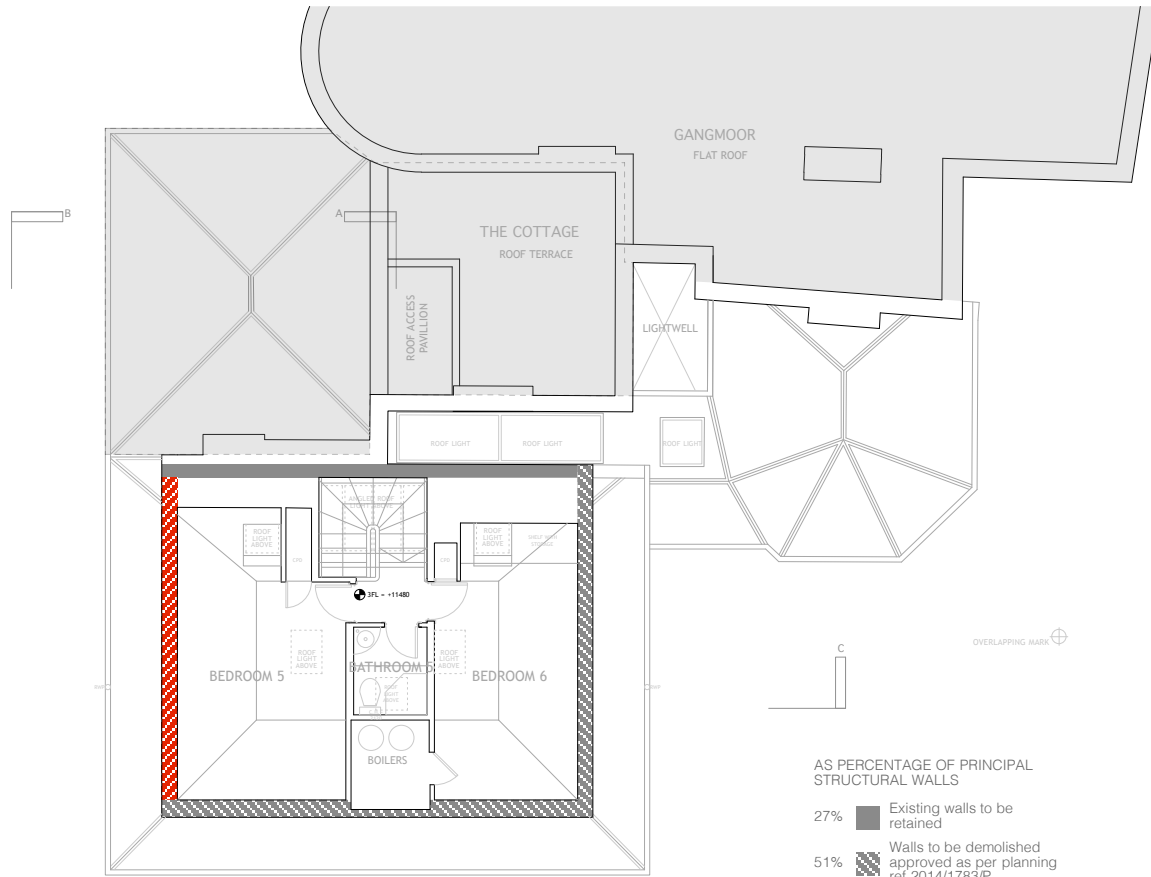
**DRAWING NO.**  
**643-103**

**DRAWN BY** HA      **DATE** 17/12/15

**REVISION**


**Bentheim**  
 Jonathan Fregard Architects  
 Unit 2 Oxford Street, 202 West Rd, London W1B 9SH, Tel: 020 7776 9427, david@bentheim.co.uk  
 17 Finsbury Square, London EC2A 1EJ, Tel: 020 7776 9427, david@bentheim.co.uk





AS PERCENTAGE OF PRINCIPAL STRUCTURAL WALLS

- 27% Existing walls to be retained
- 51% Walls to be demolished approved as per planning ref 2014/1783/P
- 21% Additional walls to be demolished

**GENERAL NOTES**

- ◆ THIS DRAWING IS NOT TO BE SCALED
- ◆ FIGURED DIMENSIONS TO TAKE PRECEDENCE TO SCALED DIMENSIONS
- ◆ ALL CONTRACTORS MUST COMPLY WITH THE LATEST CODES OF PRACTICE AND TO BE TO THE ENTIRE SATISFACTION OF LOCAL AUTHORITIES
- ◆ ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE WORK IS PUT IN HAND
- ◆ THE CONTRACTOR IS TO VERIFY ALL LEVELS, DIMENSIONS AND BUILDING LINES BEFORE ANY WORK COMMENCES ON SITE
- ◆ ALL SETTING OUT TO BE THE CONTRACTORS ENTIRE RESPONSIBILITY
- ◆ ALL WORKS TO BE COORDINATED BY THE CONTRACTOR BEFORE COMMENCING ANY WORK
- ◆ THE CONTRACTOR IS RESPONSIBLE FOR ANY SITE VISITS BY LOCAL AUTHORITIES AND IS TO PAY ANY FEES CONNECTED THEREWITH
- ◆ READ THESE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ENGINEERS AND CONSULTANT DRAWINGS AND BEINGS WHERE APPLICABLE

**REVISION NOTES**

NO.	DATE	DESCRIPTION

**PROJECT TITLE**  
**WHITESTONE HOUSE NW3**

**DRAWING TITLE**  
**EXISTING THIRD FLOOR PLAN - DEMOLITION**

**SCALE**  
**1:100 @ A3**

**DRAWING NO.**  
**643-104**

**DRAWN BY** HA      **DATE** 17/12/15

**REVISION**


**WHITESTONE HOUSE**

**Bentheim**  
 Jonathan Freegard Architects  
 177 Kingsway, London WC2B 6EX  
 Tel: 020 7278 9427  
 Email: info@bentheim.co.uk

